

***SPUD-1467 MASTER DESIGN STATEMENT***

THE CITY OF OKLAHOMA CITY  
SIMPLIFIED PLANNED UNIT DEVELOPMENT

SPUD-1467

MASTER DESIGN STATEMENT

FOR

900 NW 45<sup>th</sup> Street  
Oklahoma City, Oklahoma 73118

September 21, 2022

**PREPARED BY:**

Mr. Charles W. Allen  
Allen Engineering Services, Inc.  
1601 SW 89th Street, Suite C-200  
Oklahoma City, Oklahoma 73159  
Tel: (405) 840-9901  
Fax: (405) 681-4881  
E-mail: callen@aeswins.com

**FOR:**

Ms. Lacey Crouch  
900 NW 45<sup>th</sup> Street  
Oklahoma City, Oklahoma 73118  
Tel: (405) 820-0348

This document serves as the Master Design Statement and fulfills the ordinance requirements for the Simplified Planned Unit Development (Chapter 59, Section 14150.B of the Oklahoma City Municipal Code, 2020 as amended.).

I. Special Development Regulations:

The following Special Development Regulations and/or limitations are placed upon the development of the Simplified Planned Unit Development. Planning and zoning regulations will be those, which are in effect at the time of development of this Simplified Planned Unit Development, provided, however, that the density and or intensity of the SPUD shall not be increased. Development is when a permit is issued for any construction or addition to any structure on a development tract. Certain zoning districts are referred to as a part of the Special Development Regulations of this Simplified Planned Unit Development. For purposes of interpretation of these Special Development Regulations, the operative and controlling language and regulations of such zoning districts shall be the language and regulations applicable to the referenced zoning districts as contained in the City of Oklahoma City's Planning and Zoning Code as such exists at the time of development of this Simplified Planned Unit Development. In the event of conflict between provisions of this SPUD and any of the provisions of the Oklahoma City Municipal Code, as amended ("Code"), in effect at the time a permit is applied for with respect to any lot, block, tract and/or parcel of land subject to this SPUD, the provisions of the Code shall prevail and be controlling; provided however, that in the event of a conflict between the Special Use and Development Regulations specifically negotiated as a part of this SPUD and the provisions of the Code in effect at the time a permit is applied for with respect to any lot, block, tract and/or parcel of land subject to this SPUD, such Special Use and Development Regulations of this SPUD shall prevail and be controlling.

This site will be developed in accordance with the regulation of the **R-2, Medium-Low Density Residential District** (OKC Zoning Ordinance, 2020 as amended.), except that the following restrictions will apply:

1. The following use(s) will be the only use(s) permitted on this site:  
Permitted Use Units: Single-Family Residential (8200-14)
2. Maximum Building Height: 35 Feet and two stories
3. Minimum Lot Size: 2500 square feet
4. Maximum Building Size: N/A
5. Maximum Number of Buildings: N/A
6. Building Setback Lines  

	<u>900 NW 45<sup>th</sup> Street</u>	<u>4505 N. Francis Avenue</u>
North:	30' Front	5' Side

South:	10' Rear	0' Side
East:	0' Side	3' Front
West:	5' Side	0' Rear

7. Open Space: Open space will be provided in the side and rear setbacks. A minimum of twenty percent (20%) open space shall be provided in this SPUD.
8. Sight-proof Screening: No sight-proof screening shall be required for this SPUD.
9. Landscaping: The subject parcel shall meet all requirements of the City of Oklahoma City's Landscaping Ordinance in place at the time of development. A 5-foot landscaped buffer shall be included on the West boundary abutting Residential.
10. Signs:
  - 9.1 Freestanding Accessory Signs
 

No freestanding accessory signs or pole signs will be allowed in this SPUD.

Electronic Message Display signs shall not be permitted in this SPUD.
  - 9.2 Attached Signs
 

Attached signs will be in accordance with the base zoning district regulations.
  - 9.3 Non-accessory Signs
 

Non-accessory signs are specifically prohibited in this SPUD.
11. Access: Access to the property is from NW 45<sup>th</sup> Street, N. Francis Avenue (with a maximum drive width of 22 Feet) and an alley along the South side of the property.
12. Sidewalks: No existing sidewalks are located in the surrounding area and no sidewalks are proposed for this SPUD.

## II. Other Development Regulations:

1. Architecture: Exterior building wall finish of buildings, exclusive of windows and doors, shall consist of a minimum 80% brick veneer, split face block, rock or stone masonry. EIFS, stucco, wood, or concrete-board shall be permitted. Exposed metal or exposed concrete block finish buildings shall not be permitted.
2. Open Space: Yard requirements in this SPUD shall be as shown on Exhibit B, Master Development Plan.

3. Street Improvements: N/A

4. Other:

Lighting: The site lighting in this SPUD shall be in accordance with Chapter 59, Article XII, Section 59-12350 of the Oklahoma City Municipal Code, 2020, as amended.

Dumpsters: Residential trash collection will be utilized to serve this site.

Parking: This SPUD shall provide shared parking between the two homes. The proposed new single-family residence will have an attached single car garage and two covered parking spaces. Proposed is a future drive from NW 45<sup>th</sup> Street to serve 900 NW 45<sup>th</sup> Street. The parking spaces shown on the Master Development Plan shall be deemed to satisfy the required parking for all uses within this SPUD.

Common Areas: Maintenance of all common areas in the development and maintenance of all amenities located within the common areas shall be the responsibility of the owner(s) of said property. No structures, storage of material, grading, fill, or other obstructions, including fences, either temporary or permanent, that shall cause a blockage of flow or an adverse effect on the functioning of the storm water facility, shall be placed within the common areas intended for the use of conveyance of storm water, and/or drainage easements shown.

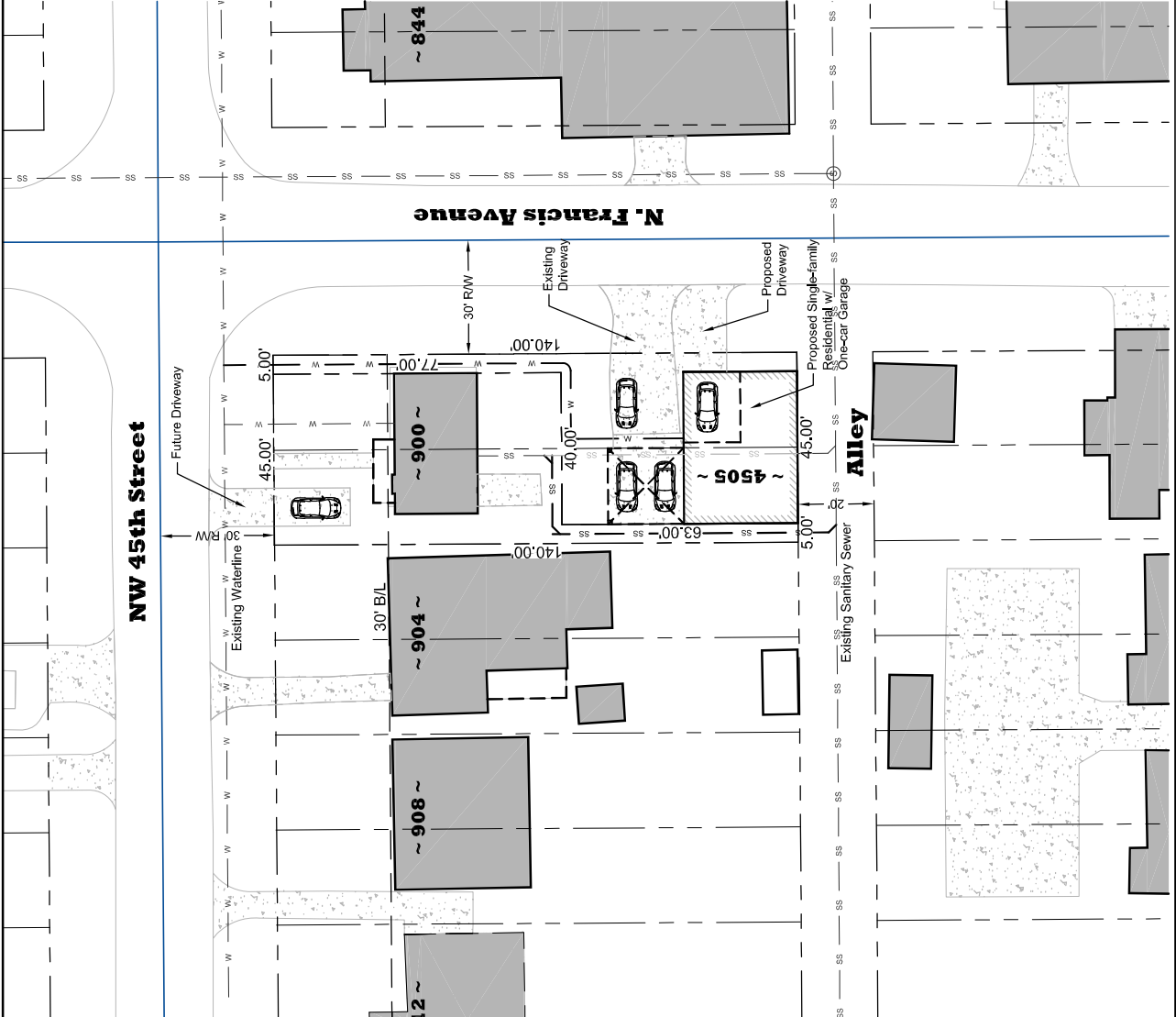
### III. Supporting Documents

Exhibit A: Legal Description  
Exhibit B: Master Development Plan  
Exhibit C: Floor Plan  
Exhibit D1-D2: Elevations and Renderings

**Exhibit “A”**  
**Legal Description**

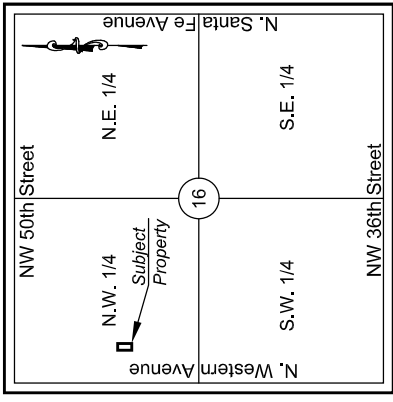
**SPUD-1467**  
**900 NW 45<sup>th</sup> Street**

Lots One (1) and Two (2), in Block Twenty-one (21), in Douglas Place Addition to Oklahoma City, Oklahoma County, Oklahoma, according to the recorded plat thereof.



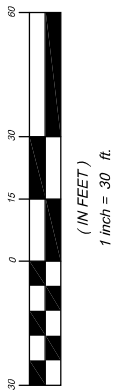
# Exhibit "B"

## Master Development Plan



Vicinity Map  
Section 16, Township 12N, Range 3W  
Not To Scale

GRAPHIC SCALE



### Legal Description

Lots One (1) and Two (2), in Block Twenty-one (21), in Douglas Place Addition to Oklahoma City, Oklahoma County, Oklahoma, according to the recorded plat thereof.

1200 SF

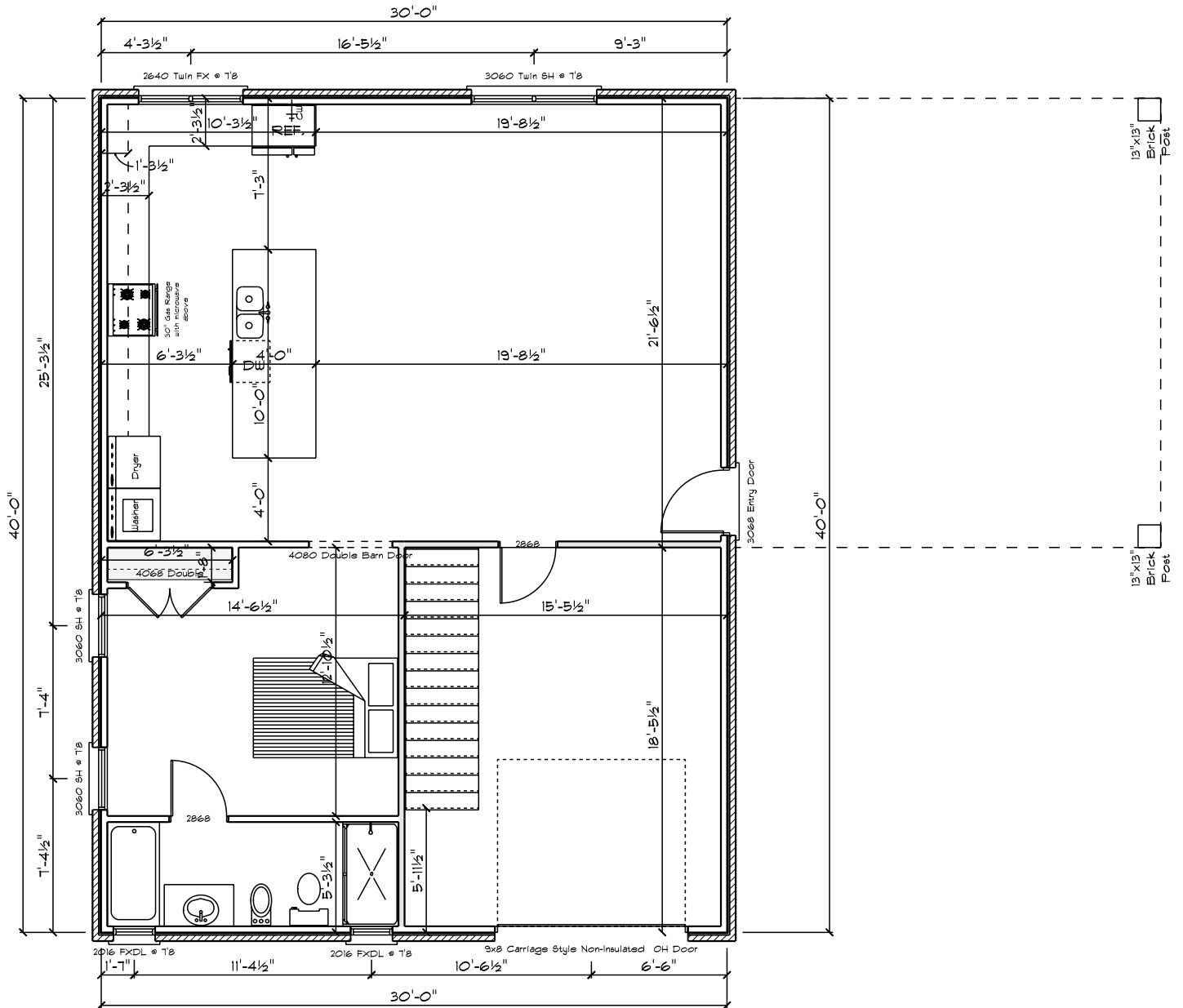


Exhibit D1 - Elevation & Rendering





Exhibit D2 - Elevation & Rendering

