

Planning Commission Minutes  
November 10, 2022

(The agenda was filed with the City Clerk of The City of Oklahoma City at 4:45 p.m. on November 04, 2022)

19. (SPUD-1467) Application by Lacey D. Crouch to rezone 900 NW 45th Street from the R-1 Single Family Residential Districts to the SPUD-1467 Simplified Planned Unit Development District. Ward 2.

Applicant was present. No protestors were present.

Amended Technical Evaluation;

1. The SPUD should specify a minimum lot size of 2,500 square feet.
2. The existing driveway approach on Francis will be utilized and shall not be widened to more than 22-feet.

**RECOMMENDED APPROVAL SUBJECT TO TECHNICAL EVALUATION AS AMENDED.**

MOVED BY POWERS, SECONDED BY CLAIR

AYES: CLAIR, POWERS, FRALEY, PRIVETT, HINKLE, GOVIN, PENNINGTON,  
NOBLE

ABSENT: LAFORGE



**STAFF REPORT**  
**The City of Oklahoma City**  
**Planning Commission**  
**November 10, 2022**

**Item No. IV. 19.**

**(SPUD-1467) Application by Lacey D. Crouch to rezone 900 NW 45th Street from the R-1 Single Family Residential Districts to the SPUD-1467 Simplified Planned Unit Development District. Ward 2.**

**I. GENERAL INFORMATION**

**A. Contacts**

**1. Applicant/Developer Representative**

Name Charles Allen  
Company Allen Engineering, Inc.  
Phone 405-840-9901  
Email callen@aeswins.com

**B. Case History**

This is a new application.

**C. Reason for Request**

This application is to permit two single family residences.

**D. Existing Conditions**

**1. Comprehensive Plan Land Use Typology Area: Urban – Medium (UM)**

UM applies to fully urbanized areas of the city, most of which were built prior to the 1960s. Developments are expected to be larger in scale and have greater intensity and mixture of uses than developments found in UL. Development within UM areas should support efficient transit usage and provide pedestrian and bicycle access to retail, services, parks, and other destinations. Priorities for the UM areas include “infill” developments on vacant lots, rehabilitation of underutilized property, and development that supports revitalization of distressed neighborhoods.

**2. Size of Site: 0.1607 acres**

**3. Zoning and Land Use**

	<b>Subject Site</b>	<b>North</b>	<b>East</b>	<b>South</b>	<b>West</b>
<b>Zoning</b>	R-1	R-1	R-1	R-1	R-1
<b>Land Use</b>	Residential	Residential	Residential	Residential	Residential

- 4. Development Context:** The subject site is located on the southwest corner of NW 45<sup>th</sup> Street and N Francis Avenue. The Western Avenue District is one block to the west. The subject site is zoned R-1 and developed with a single-family residence. All surrounding property is zoned R-1. The SPUD is requested with a reduced minimum lot size in order to allow a second home to be constructed along N Francis Avenue.

## **II. SUMMARY OF PUD APPLICATION**

This site will be developed in accordance with the regulation of the **R-2, Medium-Low Density Residential District** (OKC Zoning Ordinance, 2020 as amended.), except that the following restrictions will apply:

1. The following use(s) will be the only use(s) permitted on this site:

Permitted Use Units: Single-Family Residential (8200-14)

2. Maximum Building Height: 35 Feet and two stories
3. Maximum Building Size: N/A
4. Maximum Number of Buildings: N/A

### **5. Building Setback Lines**

<u>900 NW 45<sup>th</sup> Street</u>	<u>4505 N. Francis Avenue</u>
North: 30' Front	5' Side
South: 10' Rear	0' Side
East: 0' Side	3' Front
West: 5' Side	0' Rear

6. Open Space: Open space will be provided in the side and rear setbacks. A minimum of twenty percent (20%) open space shall be provided in this SPUD.
7. Sight-proof Screening: No sight-proof screening shall be required for this SPUD.
8. Landscaping: The subject parcel shall meet all requirements of the City of Oklahoma City's Landscaping Ordinance in place at the time of development. A 5-foot landscaped buffer shall be included on the West boundary abutting Residential.
9. Signs:

#### **8.1 Freestanding Accessory Signs**

No freestanding accessory signs or pole signs will be allowed in this SPUD.

Electronic Message Display signs shall not be permitted in this SPUD.

#### 8.2 Attached Signs

Attached signs will be in accordance with the base zoning district regulations.

#### 8.3 Non-accessory Signs

Non-accessory signs are specifically prohibited in this SPUD.

10. Access: Access to the property is from NW 45<sup>th</sup> Street, N. Francis Avenue and an alley along the South side of the property.
11. Sidewalks: No existing sidewalks are located in the surrounding area and no sidewalks are proposed for this SPUD.

## II. Other Development Regulations:

1. Architecture: Exterior building wall finish of buildings, exclusive of windows and doors, shall consist of a minimum 80% brick veneer, split face block, rock or stone masonry. EIFS, stucco, wood, or concrete-board shall be permitted. Exposed metal or exposed concrete block finish buildings shall not be permitted.
2. Open Space: Yard requirements in this SPUD shall be as shown on Exhibit B, Master Development Plan.
3. Street Improvements: N/A
4. Other:

Lighting: The site lighting in this SPUD shall be in accordance with Chapter 59, Article XII, Section 59-12350 of the Oklahoma City Municipal Code, 2020, as amended.

Dumpsters: Residential trash collection will be utilized to serve this site.

Parking: This SPUD shall provide shared parking between the two homes. The proposed new single-family residence will have an attached single car garage and two covered parking spaces.

Proposed is a future drive from NW 45<sup>th</sup> Street to serve 900 NW 45<sup>th</sup> Street. The parking spaces shown on the Master Development Plan shall be deemed to satisfy the required parking for all uses within this SPUD.

Common Areas: Maintenance of all common areas in the development and maintenance of all amenities located within the common areas shall be the responsibility of the owner(s) of said property. No structures, storage of material, grading, fill, or other obstructions, including fences, either temporary or permanent, that shall cause a blockage of flow or an adverse effect on the functioning of the storm water facility, shall be placed within the common areas intended for the use of conveyance of storm water, and/or drainage easements shown.

### III. Supporting Documents

- Exhibit A: Legal Description
- Exhibit B: Master Development Plan
- Exhibit C: Floor Plan, Elevations and Renderings

### III. REVIEW COMMENTS

This application was submitted to the following agencies, departments, and/or divisions for review and comment. An asterisk indicates that the agency, department, and/or division responded with no adverse comments.

#### A. Outside Agencies

- 1. Oklahoma City-County Health Department**
- 2. Oklahoma City Urban Renewal Authority (OCURA)**
- 3. Oklahoma Gas and Electric (OGE)**
- 4. Oklahoma Natural Gas:** Please be advised ONG has an underground or aboveground facility in the area. If you need our facilities relocated to accommodate your excavation or construction, ONG will provide you a cost estimate. Prior to excavation, please contact OKIE-ONE 1-800-522-6543 a minimum of 48 hours prior for exact location of our facilities.
- 5. Oklahoma Water Resources Board (OWRB)**
- 6. School District(s) Oklahoma City**

**7. Oklahoma Department of Transportation (ODOT)**

**B. City Departments**

**1. Airports**

**2. Central Oklahoma Transportation and Parking Authority (COTPA)**

**3. Fire**

No Objection

**4. Information Technology/Geographic Support**

**5. Parks and Recreation**

**6. Police**

**7. Public Works**

**a. Engineering**

**b. Streets, Traffic and Drainage Maintenance**

**Storm Sewer Availability**

- 1) The Public Works Drainage Division staff has reviewed the subject application. All development, new construction, and/or substantial improvements planned within the proposed area shall be subject to chapter 16 of the Oklahoma City Municipal Code.
- 2) Storm sewers in accordance with the City's Drainage Ordinance will be required. Development abutting section line roads with drainage flows that exceed the capacity of OKC standard ditch detail (D-100) will necessitate the installation of enclosed storm sewer and/or concrete channel. These improvements shall be placed to provide a minimum of 35' clearance distance from the centerline of the section. Concrete channels must be entirely outside public right-of-way.
- 3) A flood and/or drainage study will be required to establish finished floor elevations, common lot areas or private drainage easements. A final plat should not be submitted until the study has been reviewed and approved by the Public Works Department.

- 4) Plans for drainage improvements within the private drainage reserves and/or common areas must be submitted for review, and payment of inspection fees shall be made prior to construction. Building permits will not be issued until construction is complete. If a subdivision abuts a stream, the private drainage easements and/or common area along stream shall extend to flow line of stream at a minimum.
- 5) Place the following note on the plat and construction plans: Maintenance of the Common Areas and/or Private Drainage Easements shall be the responsibility of the property owner. No structures, storage of material, grading, fill or other obstructions, including fences, either temporary or permanent shall be placed within the common areas and/or drainage easements shown.
- 6) Drainage easements shall be clearly denoted as public or private in owner's dedication, on the plat, and/or in the plat notes.
- 7) Construction within the limits of this SPUD will require an erosion control plan in accordance with EPA Storm Water Discharge permitting: CFR Vol. 57, No. 175, September 9, 1992. A copy of the EPA Notice of Intent (NOI) will be required prior to the issuance of work orders or permits for construction activities disturbing an area of 1/2 acre or greater.
- 8) Sidewalk shall be installed for all new construction and/or at the time of a residential use to a more intense use on all lots having frontage on public streets classified as a major or minor arterial.
- 9) All private roads /streets will have private storm sewer systems.
- 10) Engineer/developers will be contacting PW for detention determination before they submit their final plat and plans.
- 11) Add the statement: All drainage design for this development shall be in accordance with the applicable requirements of chapter 16 of the Oklahoma City Municipal Code that are in effect at the time the plans are submitted for review.

**a. Stormwater Quality Management**

**b. Traffic Management**

- 1) All right-of-way needed in order to bring this property into conformance with Municipal Code requirements should be donated in conjunction with this application.

- 2) The shown ADA accessible parking stalls require review and approval of the Oklahoma City Traffic and Transportation Commission and City Council.
- 3) Proposed street/driveways must be clearly marked at the site in order for Traffic Management to verify sight distance compliance.
- 4) Proposed street/driveways must meet the driveway separation requirements of the City of Oklahoma City Subdivision Regulations.
- 5) On street angled parking is not subject to Planning Commission Consideration. Per OCMC 2012 State Statute 32-302 requires all on-street angled parking to be approved by the Traffic and Transportation Commission and designated by ordinance passed by the Oklahoma City Council.

## **8. Utilities**

### **a. Engineering**

#### **Paving**

- 1) Sight triangles are required at all intersections and minimum right of way standard widths must be granted.
- 2) Sidewalk shall be installed for all new construction on lots/ parcel having frontage on public streets. Additional easements must be granted if they are place beyond the current right of way.
- 3) (Section 9.9) Concrete approaches are required in the right of way vehicular access point. Paving and striping may be required for any working within the right of way.
- 4) (Section 9.10.5)Any placement of arches or other private structure placed in public easements must are subject to Revocable Permit approval.

#### **Wastewater Availability**

- 1) An existing 8” wastewater main(s) is adjacent to the subject site(s) and a service connection will be permitted in accordance with City Standard Specifications. A separate service connection is required for each building/structure.

- 2) Minimum ten (10) foot horizontal separation required for water mains and five (5) foot for other crossings. Minimum two (2) foot vertical separation required for all crossings. All wastewater mains must have a minimum cover of six (6) feet and a depth no greater than eighteen (18) feet.
- 3) The developer will be required to extend the wastewater collection system to each lot or site within the subdivision or land improvements in accordance with City Standard Specifications and the current Subdivision Regulations.
- 4) Proposed wastewater main(s) must be located in a twenty (20) foot wide easement. No trees, signs, dumpster, fences, and/or structures shall be permitted within any proposed or existing utility easement.

**b. Solid Waste Management**

- 1) The City can provide service for up to 3 units on a single water meter. Any more than 3 units on the same meter will have to be serviced by a private hauler. A dumpster could be utilized provided there is not enough frontage space for cart placement.

**c. Water/Wastewater Quality**

**Water Availability**

- 1) An existing 6" water main(s) is adjacent to the subject site(s) and a service connection will be permitted in accordance with City Standard Specifications. A separate service connection and meter is required for each building/structure.
- 2) Minimum ten (10) foot horizontal separation required for wastewater mains and five (5) foot for other mains. Minimum two (2) foot vertical separation required for all crossings. All water mains must have a minimum cover of five (5) feet along section line roads and four (4) feet elsewhere.
- 3) In accordance with ODEQ regulations, the City provides water at a minimum pressure of 25 psi. The developer is responsible for designing and construction of all fixtures to provide adequate domestic and fire protection under minimum pressure conditions. The developer will be responsible for any failure of domestic and fire protection systems which require water pressure in excess of 25 psi.

- 4) Proposed water main(s) must be located within a utility easement or right-of-way. No trees, signs, dumpster, fences, and/or structures shall be permitted within any proposed or existing utility easement.
- 5) All existing and proposed meters must meet current specifications and standard details and be located in the right-of-way or utility easement within grassy areas outside of sidewalks, driveways, streets and/or paving.
- 6) All domestic and fire suppression services must have separate water service connections. Fire hydrants maximum spacing is 500 foot and must be located within 10 foot of a hard surface (i.e. sidewalk, street, and/or paving).

## **9. Planning**

### **a. Comprehensive Plan Considerations**

#### **1) LUTA Development Policies:**

##### Site Design:

- Maintain historical lot and block sizes where possible and appropriate.
- Utilize Best Management Practices (BMP) for stormwater.

##### Location:

- Mixture of density, lot size and building scale is appropriate as long as land use compatibility is achieved.

Density: The Urban Medium Intensity LUTA outlines a density range of 10 to 40 dwelling units per acre.

*National, state, and local permitting require basic best management practices for stormwater management. The SPUD would allow a 0.16-acre residential parcel to be split and an additional home built, for a density of 12 du/acre.*

##### Automobile Connectivity:

- Maintain and enhance the connectivity of the street network.
- Keep alleys open and functional.

*The alley that runs along the south boundary of the site has been closed (CE-515).*

##### Pedestrian Connectivity:

- Provide sidewalk connections to nearby uses.

*Sidewalks are not available in the area and not required in the Master Design Statement.*

- 2) **Compatibility:** The comprehensive plan includes a land use compatibility matrix used to identify potential conflicts between major land use categories. When locating the proposed residential uses adjacent to existing low intensity residential, “Building Scale and Site Design” are potential compatibility issues identified by the comprehensive plan.  
Building Scale and Site Design: The comprehensive plan calls for mitigation measures for new projects if the setbacks are significantly deeper or more shallow than the predominant character of adjacent development; the building’s orientation to the street differs from the predominant character of adjacent development; building size or street frontage dramatically differs from that of adjacent uses, the lot coverage (including buildings and paved areas) dramatically exceeds that of adjacent uses, or if buildings within 40 ft. of a single-family residential structure exceed a 3:1 ratio in height. *The SPUD proposes a reduced minimum lot size in order to split the parcel and build one new home. The existing home faces NW 45<sup>th</sup> Street and the proposed new home would be oriented toward N Francis Avenue. The existing home’s driveway is located on N Francis Ave. The conceptual plans indicate a potentially wider driveway serving the existing parking area and a new attached garage, and a new driveway on NW 45<sup>th</sup> Street. Driveway widths should not exceed Code and garages should be set back at least 20 feet to prevent cars parking over the right-of-way.*
- 3) **Service Efficiency:**
  - Water: *Served*
  - Sewer: *Fully Served*
  - Fire Service: *Urban Service Level*
- 4) **Environmentally Sensitive Areas:** No ESAs were identified on the site.
- 5) **Transportation System:** This site is located at the southwest corner of NW 45<sup>th</sup> Street and N Francis Avenue, both Neighborhood Streets in the Urban Medium LUTA. The nearest transit (bus) service is located three blocks west on N Classen Blvd. Access to the City trail system is available to the east along N Shartel Avenue.
- 6) **Other Development Related Policies**
  - Support diversity and integration of housing unit types and sizes in all land use typology areas in order to meet the diverse needs of households of different sizes, generational needs, incomes, and preferences. (SU-4)
  - Require sidewalks on both sides of all streets in urban LUTAs. (C-7)
  - Preserve mature, healthy trees and incorporate them into the design of new development or redevelopment projects to the greatest extent possible. (G-26)

**b. Plan Conformance Considerations**

The subject site is located at the southwest corner of NW 45<sup>th</sup> Street and N Francis Avenue. The subject site is zoned R-1 and developed with a single-family residence facing NW 45<sup>th</sup> Street. The SPUD is requested to allow a second home to be constructed along N Francis Avenue. The proposal to increase density in the Urban Medium LUTA is in conformance with UM density ranges and comprehensive plan goals to provide a mixture of residential housing types. However, the setbacks should be consistent for both homes, driveway widths limited, and garages should be set back at least 20 feet from the right-of-way.

**IV. STAFF RECOMMENDATION**

*Staff recommendations are advisory only and do not constitute Planning Commission decisions. Staff recommendations are based on a technical evaluation of information submitted at the time of review. Determination of conformance with policies contained in the comprehensive plan is the purview of the Planning Commission. Planning Commission decisions require a vote of five members to approve or deny an item. The Planning Commission may consider in its decision-making process any additional relevant information presented at the public hearing by the public, applicant, and/or City departments.*

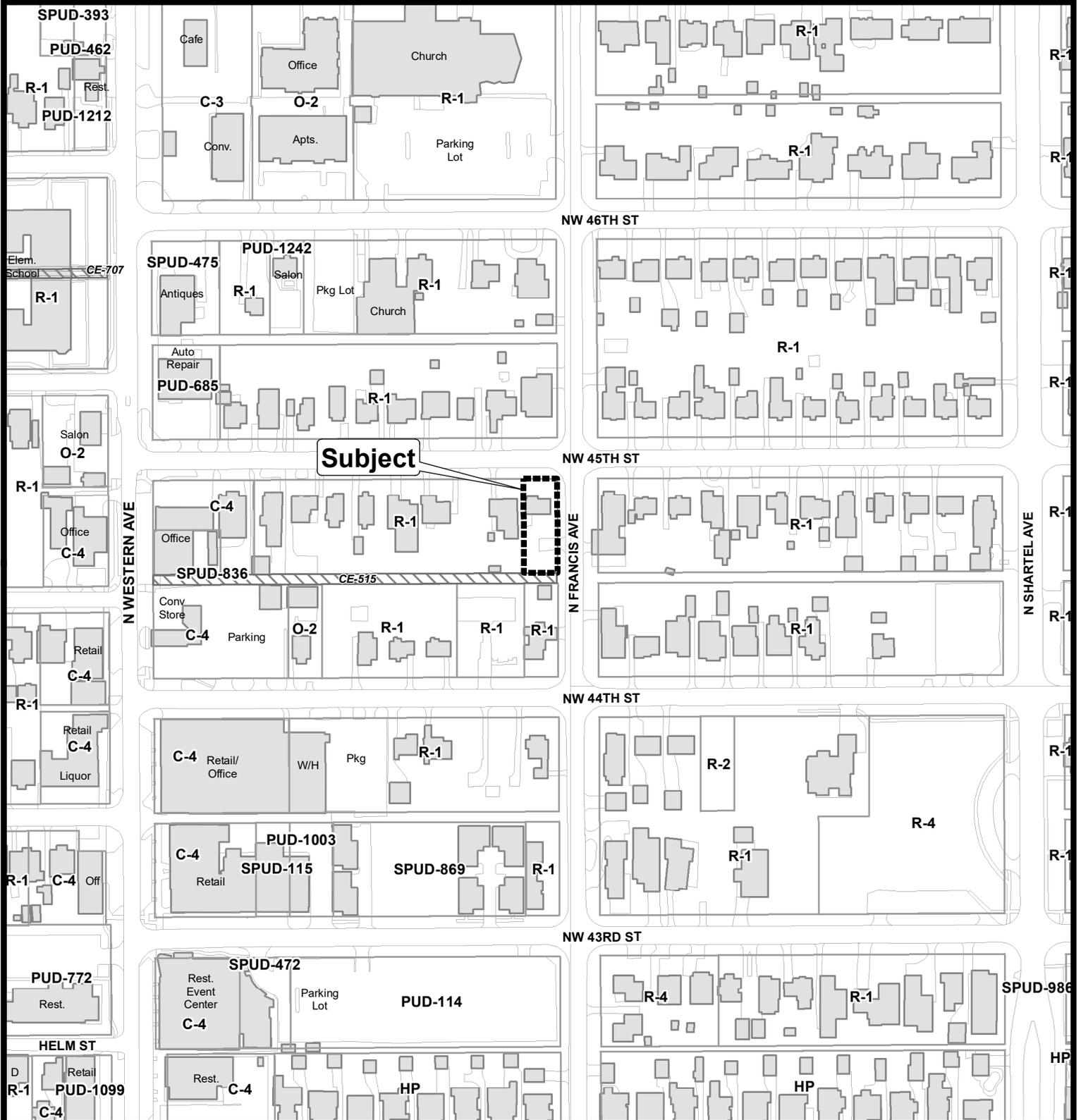
**Approval of the application subject to the following Technical Evaluation(s):**

1. The SPUD should specify a minimum lot size of 2,500 square feet.
2. The existing driveway approach on Francis will be utilized and shall not be widened.

All Engineering Division and Water/Wastewater Utilities Division requirements must be met. Additional changes to the SPUD may be required during either Divisions review of construction plans and prior to City Council approval.

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**Case No: SPUD-1467    Applicant: Lacey D. Crouch**  
**Existing Zoning: R-1**  
**Location: 900 NW 45th St.**



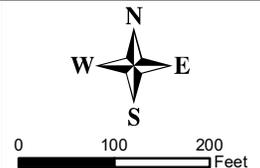
**Subject**

*Note: "Subject" is located approximately 1,798' South of NW 50th St.*



The City of  
**OKLAHOMA CITY**

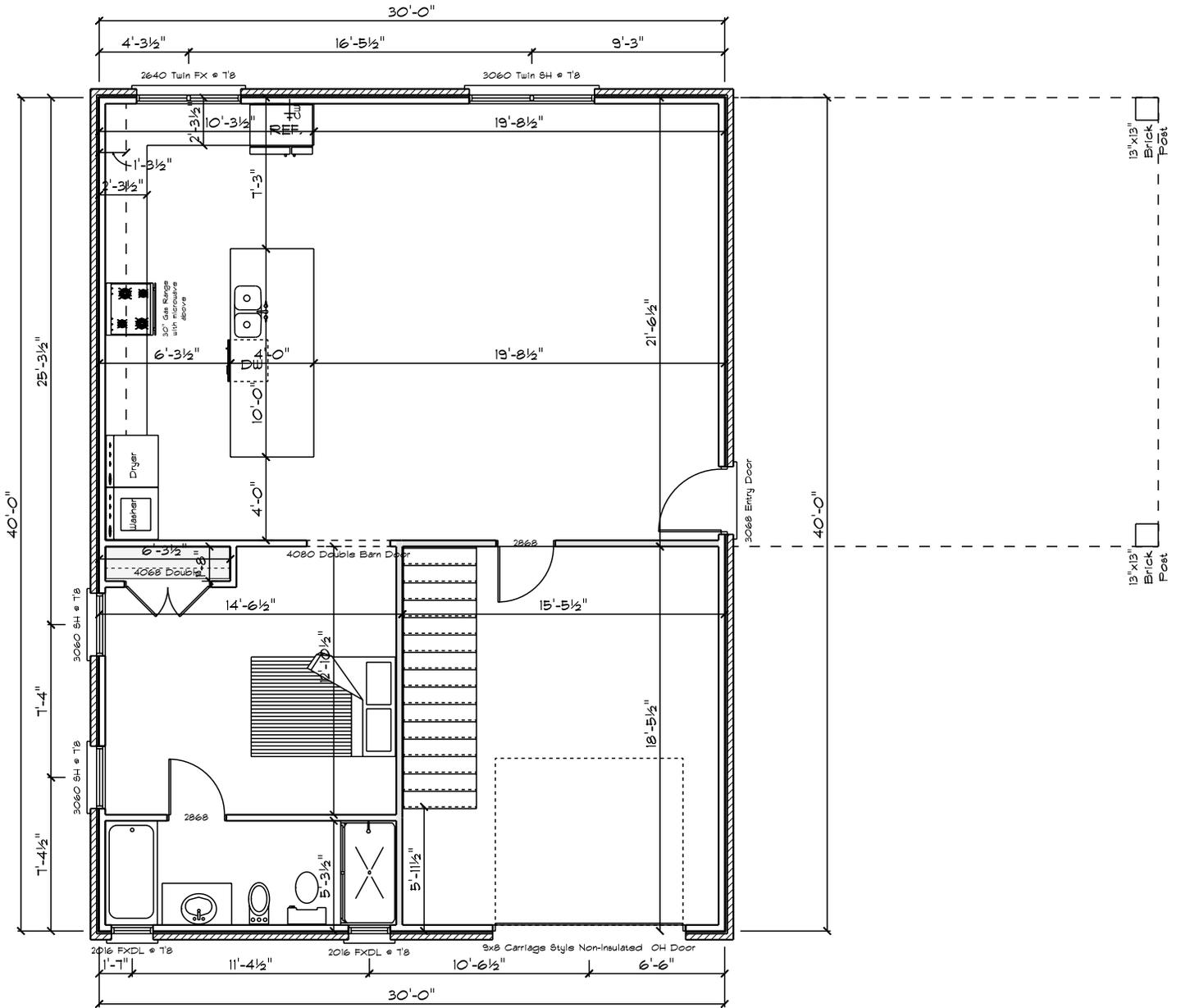
# Simplified Planned Unit Development





# Exhibit C - Floor Plan

**1200 SF**



# Exhibit D - Elevation & Rendering



## Exhibit D - Elevation & Rendering



Case No: SPUD-1467    Applicant: Lacey D. Crouch  
Existing Zoning: R-1  
Location: 900 NW 45th St.



Aerial Photo from 2/2020

Note: "Subject" is located approximately 1,798' South of NW 50th St.



The City of  
OKLAHOMA CITY

# Simplified Planned Unit Development

