



The City of OKLAHOMA CITY

<b>Staff Only:</b>	Date Stamp
Zoning: <u>HP or HL</u>	
District: <u>HH</u>	
HPCA- <u>22 - 00124</u>	
Received by: <u>KMF</u>	

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

NOTE: any relevant permits must be applied for and paid for separately in the Development Services Dept.  
NOTE: Contact Historic Preservation Staff for final design inspection when work is complete.

Please select:  New Project  Revision  Extension  Violation Notice Issued

Location of Proposed Work (Address): 1011 NW 14

Legal Description of Property (lot, block, addition): Harndale Addition, Part of Lots 57, 62-64

Year built: 1920 Exterior wall material: Brick Veneer Floor area: 2,145 sq.ft.

Itemized Work Items (List EACH ITEM proposed. Work not listed here will NOT be reviewed):

- New Construction  Addition  Fence  Demolition (specify structure) \_\_\_\_\_
- Paving (specify) \_\_\_\_\_  Renovation (specify) \_\_\_\_\_
- Work not specified above \_\_\_\_\_
- Relocate Pool equipment \_\_\_\_\_

**Owner's Authorization**

I hereby certify that all above statements and statements contained in all attached and transmitted exhibits are true to the best of my knowledge and belief. In the event this proposal is approved and begun, I agree to complete the changes in accordance with approved plans in a good and workmanlike manner. I authorize the City of Oklahoma City to enter the property for the purpose of observing and photographing the project for presentations and to ensure consistency between the approved proposal and the completed project.

(If applicable): I authorize my representative to speak for me in matters regarding this application. Any agreement made by my representative regarding this proposal will be binding upon me.

Owner's Signature [Signature] Date 8/1/2022  
 Name (printed) Amelia or Riley Marquis Organization \_\_\_\_\_  
 Address 1011 NW 14th Street Phone 405-863-0265 or 405-584-9119  
 City, State, Zip \_\_\_\_\_ Email rileym3014@gmail.com ameliahelen@outlook.com

I prefer to be:  Mailed or  Emailed  
 Representative Signature [Signature] Date 8/1/2022  
 Name (printed) Fallon Brooks Organization Creative Home Design  
 Address 100 N Broadway, Suite 100 Phone 405-270-6417  
 City, State, Zip Edmond, OK 73034 Email fallon@chd.design

I prefer to be:  Mailed or  Emailed.

Contact:  Owner  Representative

Is Federal money, a federal license or a federal permit included/required for any part of this project? Yes / No  
If yes, what Federal agency? \_\_\_\_\_

Is the property owner pursuing the Federal Tax Credits for Rehabilitation of income producing historic properties? Yes / No (For questions concerning the federal tax credit program, telephone the State Historic Preservation Office at (405) 522-4479).

NOTE: Specific deadlines apply to submission of additional documentation or requests for appeals. Should your project be continued or denied, you are responsible for compliance with those deadlines.



Tax I.D. No.: 045485600

Mall Tax Statement To:  
Encore Bank  
1801 Rahling Road Suite 100  
Little Rock, AR 72223

After Recording Return To:  
American Eagle Title Group, LLC  
6805 N. Crossen Ste. A  
Oklahoma City, OK 73116

Rec. & Ret. to:  
American Eagle Title Group  
421 NW 13th St, Suite 320  
Oklahoma City, OK 73103

**WARRANTY DEED**  
(Joint Tenancy)

KNOW ALL MEN BY THESE PRESENTS:

That **Jeffery M. Vernetti and Heidi Wasileski-Vernetti, husband and wife**,  
party of the first part, in consideration of the sum of \*\*\*TEN AND NO/100\*\*\*\*\* dollars and other valuable  
consideration, in hand paid, the receipt of which is acknowledged, does hereby grant, bargain, sell, and convey  
unto  
**Amelia Marquis and Riley Marquis, as joint tenants with the right of survivorship, and not as tenants in  
common, upon the death of one, the survivor and the heirs and assigns of the survivor, take the entire fee  
simple title**

Whose address is: **1011 NW 14 Street**  
**Oklahoma City, OK 73106**

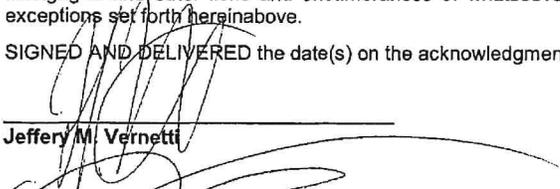
party of the second part, the following described real property and premises situated in **Oklahoma County, State  
of Oklahoma**, to wit:

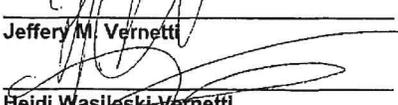
A part of Lots Fifty-seven (57) and Sixty-four (64), of HARNDALE ADDITION to Oklahoma City, Oklahoma County, Oklahoma according to  
the recorded plat thereof, and a part of Lot Sixty-three (63) of HARNDALE ADDITION, according to the recorded Amended plat of Lots 60,  
61, 62 and 63 of said addition to Oklahoma City, Oklahoma County, Oklahoma, according to the recorded plat thereof, more particularly  
described as follows: Beginning at the Southwest corner of Lot 57; thence East along the South boundary line of said Lot 57 a distance of 25  
feet; thence in a Northwesterly direction to a point on the North boundary line of said Lot 57, 24.5 feet East of the Northwest corner of said Lot  
57; thence West and parallel with the South boundary line of said Lots 57 and 63 a distance of 54.5 feet; thence South to a point on the  
South line of Lot 63, 30 feet West of the Southeast corner of Lot 63; thence East along the South boundary line of said Lot 63 to the Point of  
Beginning.

Together with all fixtures and improvements, and all appurtenances, subject to existing zoning ordinances, plat or  
deed restrictions, utility easements serving the property, including all mineral rights owned by party of the first part,  
which may be subject to lease, and excluding mineral rights previously reserved or conveyed of record, and  
warrants title to the same.

TO HAVE AND TO HOLD said described premises unto the said parties of the second part, and their heirs and  
assigns forever, free, clear and discharged of and from all former grants, claims, charges, taxes, judgments,  
mortgages and other liens and encumbrances of whatsoever nature, EXCEPT FOR and SUBJECT TO those  
exceptions set forth hereinabove.

SIGNED AND DELIVERED the date(s) on the acknowledgment(s) below.

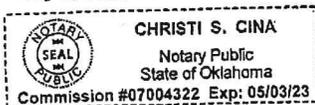
  
\_\_\_\_\_  
Jeffery M. Vernetti

  
\_\_\_\_\_  
Heidi Wasileski-Vernetti

ACKNOWLEDGMENT

State of Oklahoma County of Oklahoma ss:  
The foregoing instrument was acknowledged before me on this **1st day of June, 2022** by **Jeffery M. Vernetti and  
Heidi Wasileski-Vernetti, as husband and wife.**

My Commission Expires:  
**May 3, 2023**



  
\_\_\_\_\_  
Notary Public,  
**Christi Cina**

Closing Agent: American Eagle Title Group, LLC  
File Number: 2204-0100-61  
Underwriter: American Eagle Title Insurance Company

4/18

1011 NW 14th Street  
Oklahoma City, OK 73106

LEGAL DESCRIPTION

HARNDALE ADDITION, PART OF LOTS 57 AND 62-64

SHEET INDEX

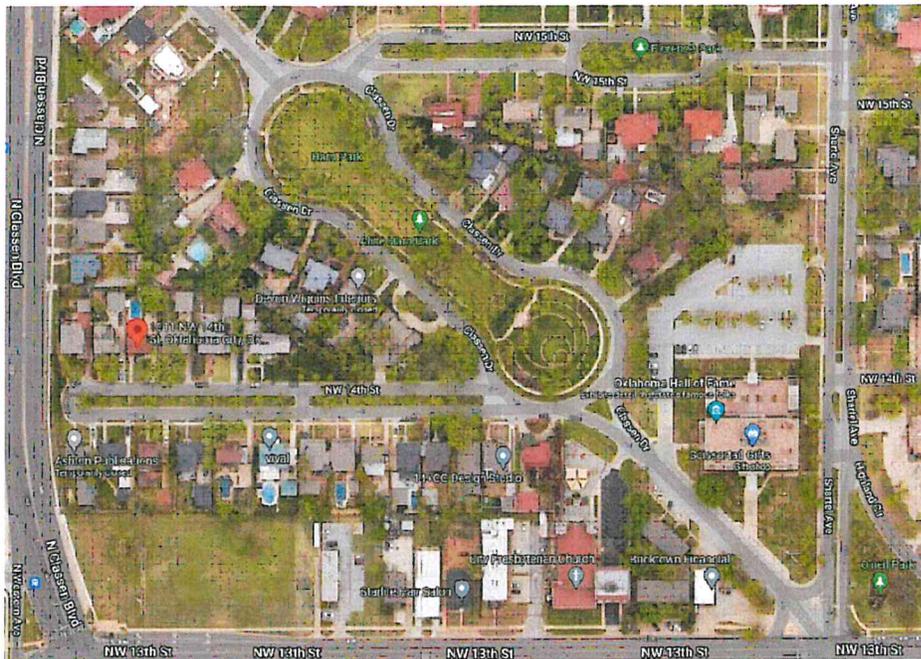
- A-1 TABLE OF CONTENTS
- A-2 EXISTING AND PROPOSED SITE PLANS
- A-3 FLOOR PLAN
- A-4 ELEVATIONS
- A-5 ELEVATIONS AND ROOF PLAN
- A-6 EXISTING CONDITIONS

ATTACHMENT A- MATERIAL SELECTIONS

**OBJECTIVES:**

1. REMOVE AND RELOCATE POOL EQUIPMENT.
2. BUILD SMALL ADDITION AND COVERED PORCH.

LOCATION MAP



100 N Broadway, Ste. 100  
Edmond, OK 73034  
405.270.6417

www.creativehomedesigners.com

PROJECT

1011 NW 14th Street  
OKC, OK 73106

SHEET NO.

A-1

DATE

8/1/2022

JOB

#HPCA-XX-XXXXX

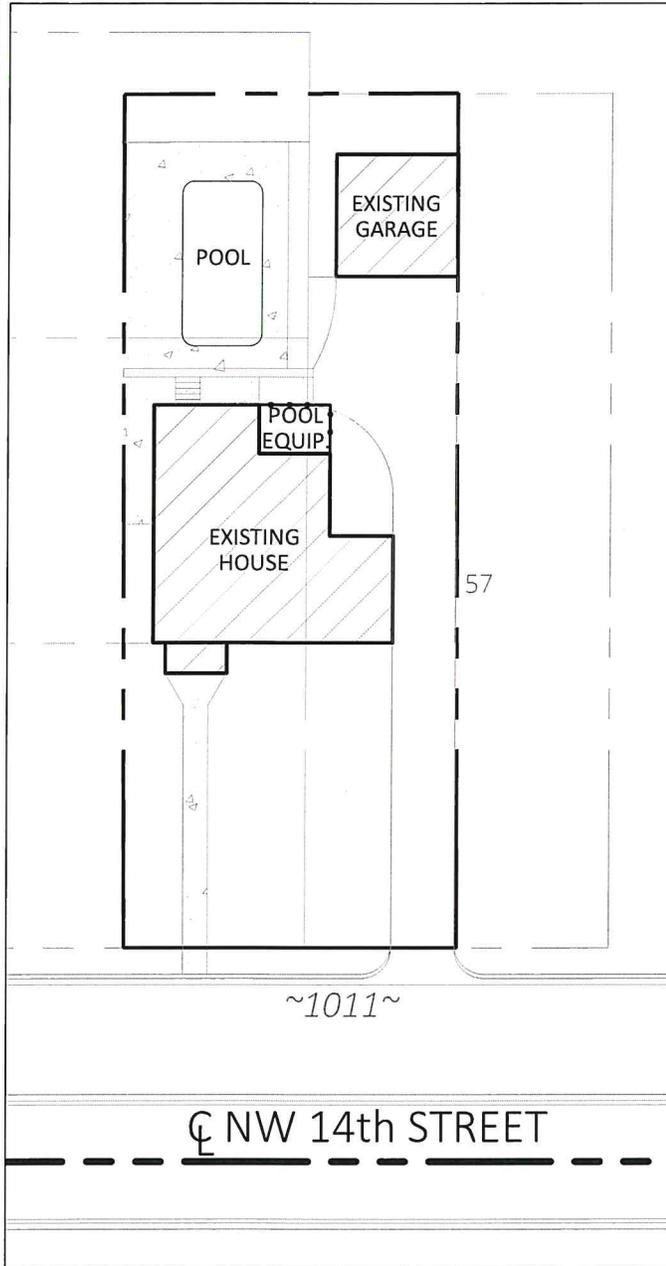
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FB/RI

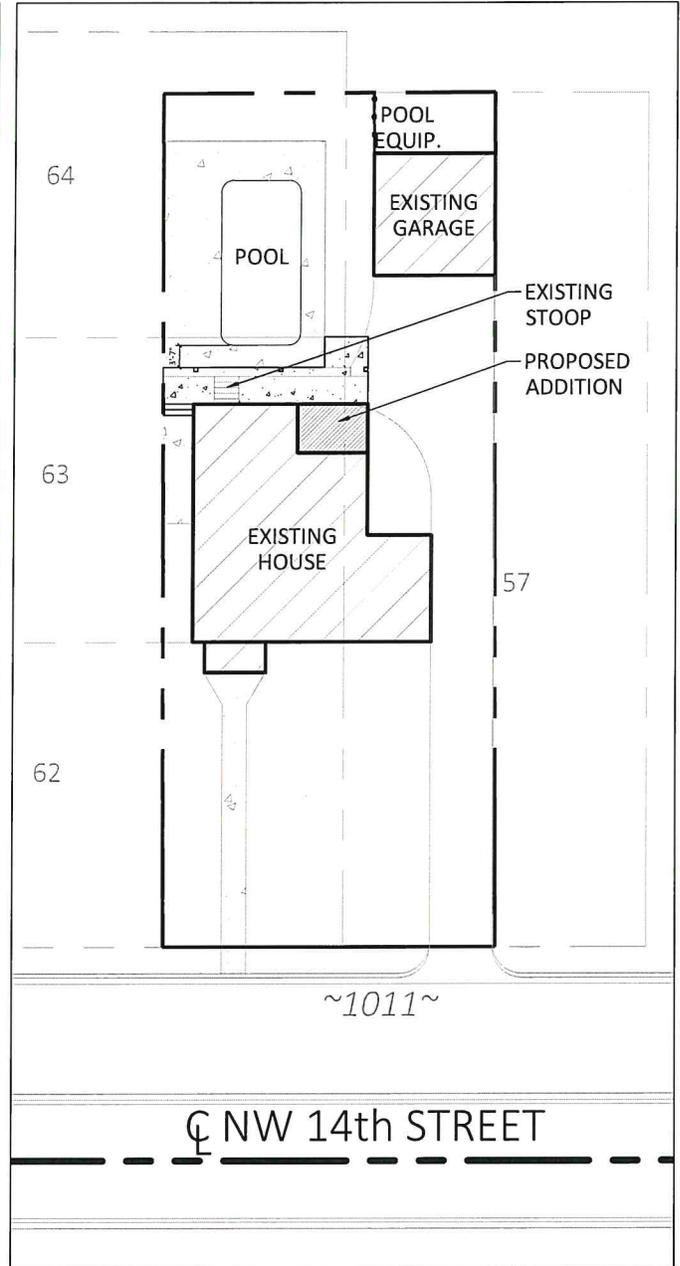
TITLE

Table of Contents





1 EXISTING SITE PLAN  
1" = 30'



2 PROPOSED SITE PLAN  
1" = 30'



100 N Broadway, Ste. 100  
Edmond, OK 73034  
405.270.6417

www.creativehomedesigners.com

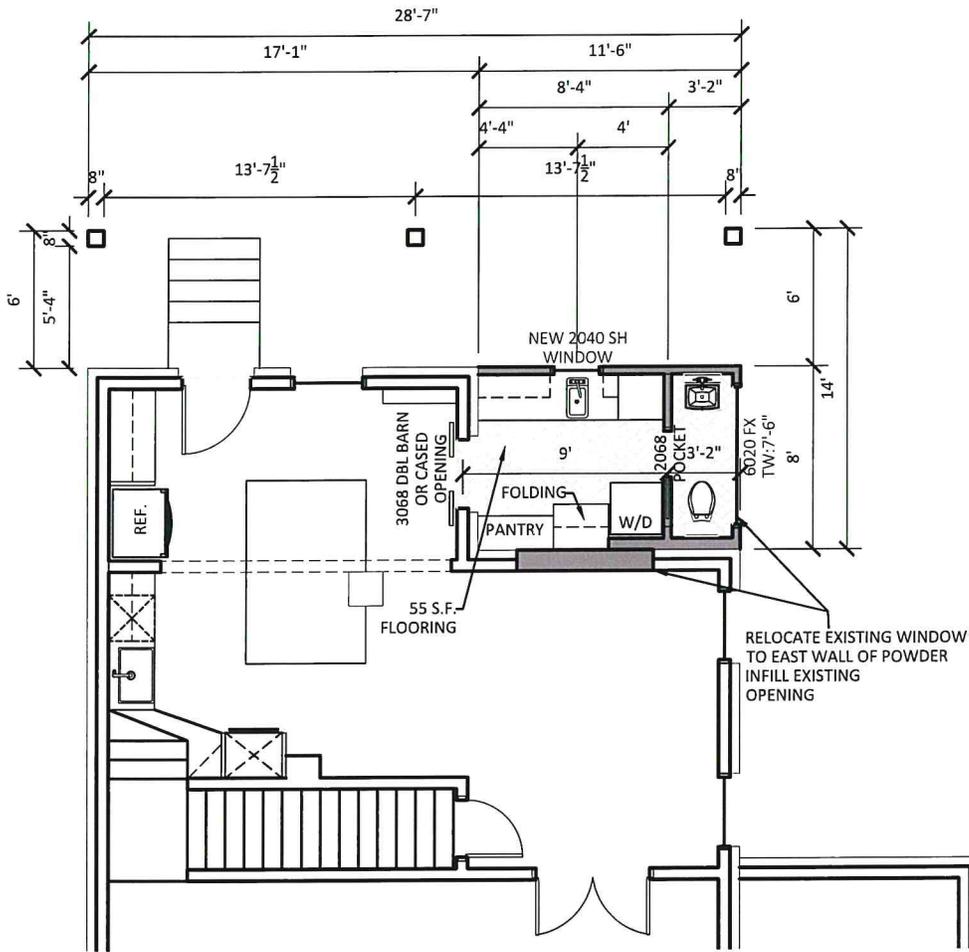
PROJECT 1011 NW 14th Street  
OKC, OK 73106

DATE 9/9/2022 JOB #HPCA-22-00124

DRAWN BY FB/RI TITLE SITE PLAN

SHEET NO.

A-2



**1** PROPOSED FLOOR PLAN  
1/8" = 1'-0"



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Edmond, OK 73034  
405.270.6417

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PROJECT

1011 NW 14th Street  
OKC, OK 73106

SHEET NO.

A-3

DATE

9/9/2022

JOB

#HPCA-22-00124

DRAWN BY

FB/RI

TITLE

GAR.FLOOR PLAN



**1** PROPOSED ADDITION ELEVATION (NORTH)(REAR)  
3/32" = 1'-0"

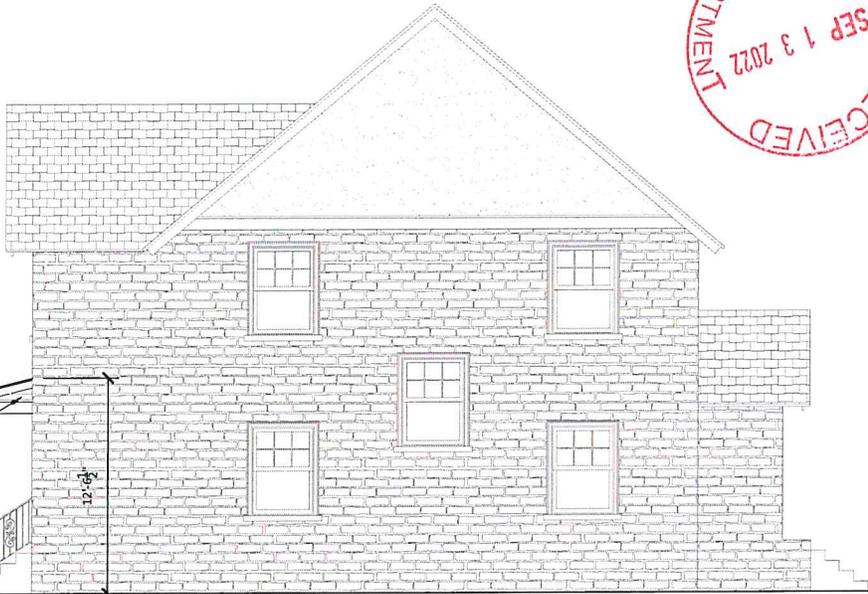


**2** PROPOSED ADDITION ELEVATION (EAST)  
3/32" = 1'-0"

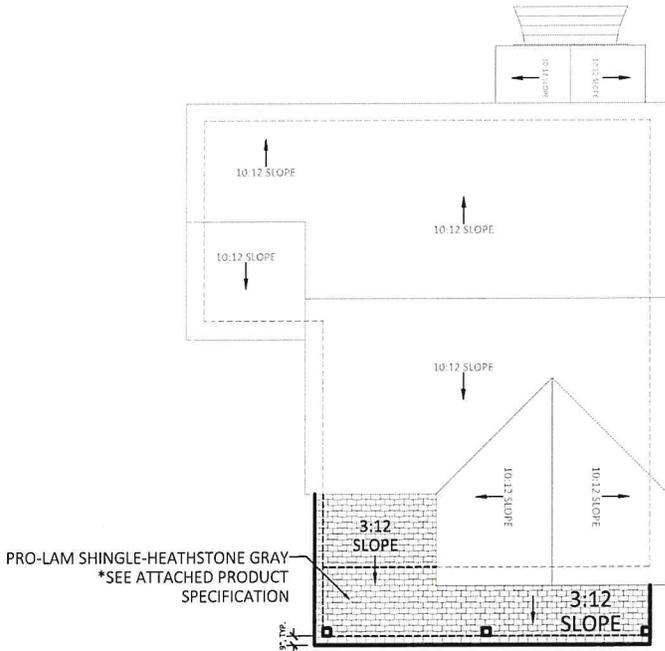
 100 N Broadway, Ste. 100 Edmond, OK 73034 405.270.6417 www.creativehomedesigners.com	PROJECT 1011 NW 14th Street OKC, OK 73106		SHEET NO. <b>A-4</b>
	DATE 9/9/2022	JOB #HPCA-22-00124	
	DRAWN BY FB/RI	TITLE GAR. ELEVATIONS	



- HARDIE SMOOTH PLANK 1x8 TRIM  
\*SEE ATTACHED PRODUCT SPECIFICATION
- PRO-LAM SHINGLE-HEATHSTONE GRAY  
\*SEE ATTACHED PRODUCT SPECIFICATION
- 7'-6" PLATE HEIGHT
- 1x6 FASCIA
- HARDIE SMOOTH PLANK  
CEMENT FIBER SIDING \*SEE  
ATTACHED PRODUCT  
SPECIFICATION
- 0'-0" FINISHED FLOOR
- 8" WOOD POST, PAINTED
- EXISTING CONCRETE STEPS  
AND RAILING TO REMAIN



**1** PROPOSED ADDITION ELEVATION (WEST)  
3/32" = 1'-0"



**2** PROPOSED ROOF PLAN  
1/16" = 1'-0"

 <p>100 N Broadway, Ste. 100 Edmond, OK 73034 405.270.6417</p> <p>www.creativehomedesigners.com</p>	PROJECT <b>1011 NW 14th Street OKC, OK 73106</b>		SHEET NO. <b>A-5</b>
	DATE <b>9/9/2022</b>	JOB <b>#HPCA-22-00124</b>	
	DRAWN BY <b>FB/RI</b>	TITLE <b>GAR. ELEVATIONS GAR. ROOF</b>	



① EXISTING REAR OF HOUSE



100 N Broadway, Ste. 100  
Edmond, OK 73034  
405.270.6417

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PROJECT	1011 NW 14th Street OKC, OK 73106	
DATE	9/9/2022	JOB #HPCA-22-00124
DRAWN BY	FB/RI	TITLE REAR OF HOUSE

SHEET NO.
A-6

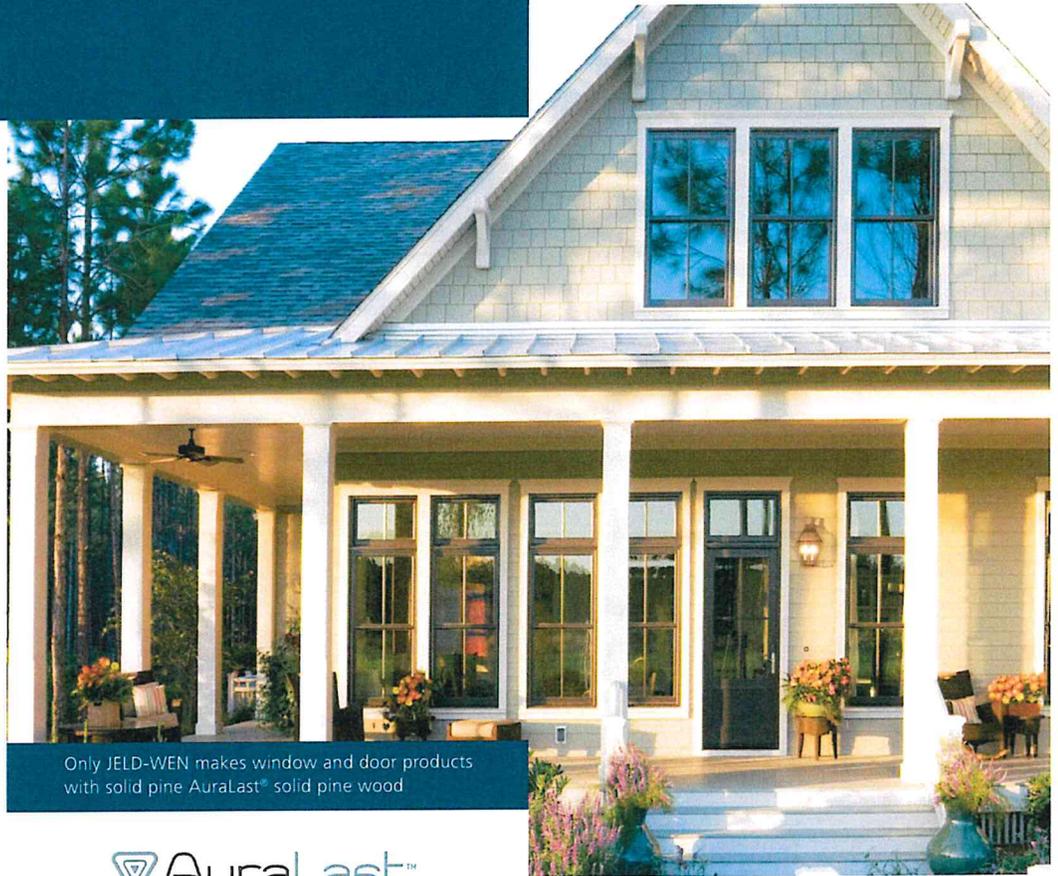


Unrivaled protection for life.



LIMITED LIFETIME WARRANTY

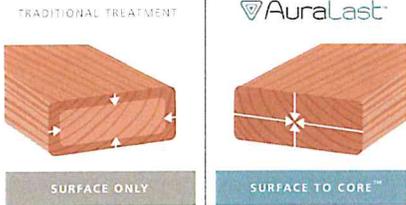
\*Pine wood windows, patio doors, door frames and components made with AuraLast® wood are backed with a lifetime limited warranty.



Only JELD-WEN makes window and door products with solid pine AuraLast® solid pine wood

All wood windows are the same, right? While they may appear the same on the outside, JELD-WEN® windows and doors constructed with AuraLast® pine go beyond the surface, providing unrivaled beauty and protection. Here's how...

AURALAST® - PROTECTION TO THE CORE™



JELD-WEN products made with AuraLast wood allow you to get the warmth and characteristics of wood that you desire, while eliminating the worry of rot and decay. Why settle for anything less!



See our warranty information at [jeld-wen.com](http://jeld-wen.com) or call 1-800-535-3936



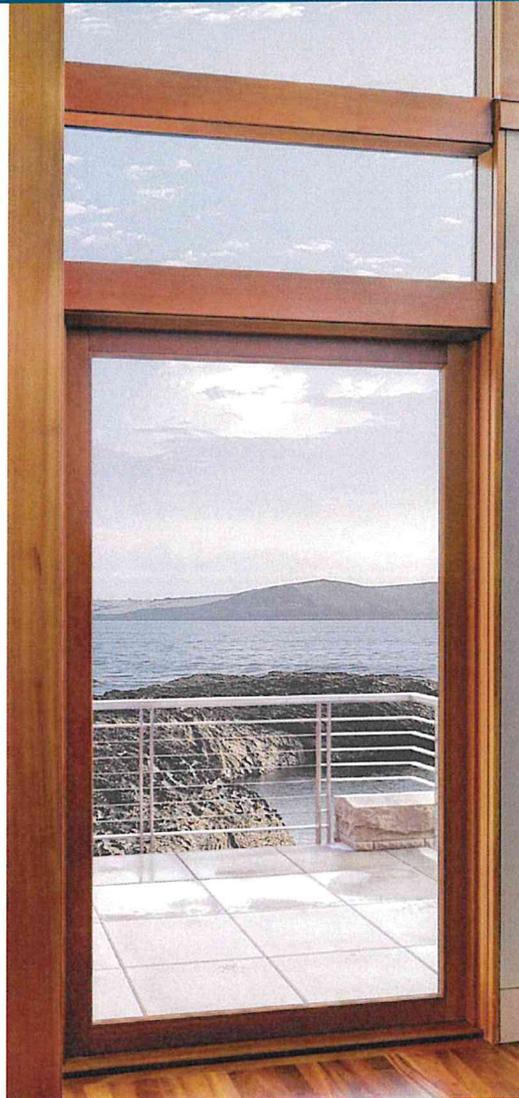
PROTECTION TO THE CORE™



PROTECTION TO THE CORE™



AuraLast® pine is a patented wood product that helps provide protection against wood rot, water damage and termites. This water-based process fortifies wood all the way to the core, providing an exclusive level of protection you'll only find through JELD-WEN.



**EASY ON THE ENVIRONMENT**

Water-based treatment releases up to 96% fewer volatile organic compounds (VOCs) during the manufacturing process than traditional solvent-based methods.

**WET WEATHER PROTECTION**

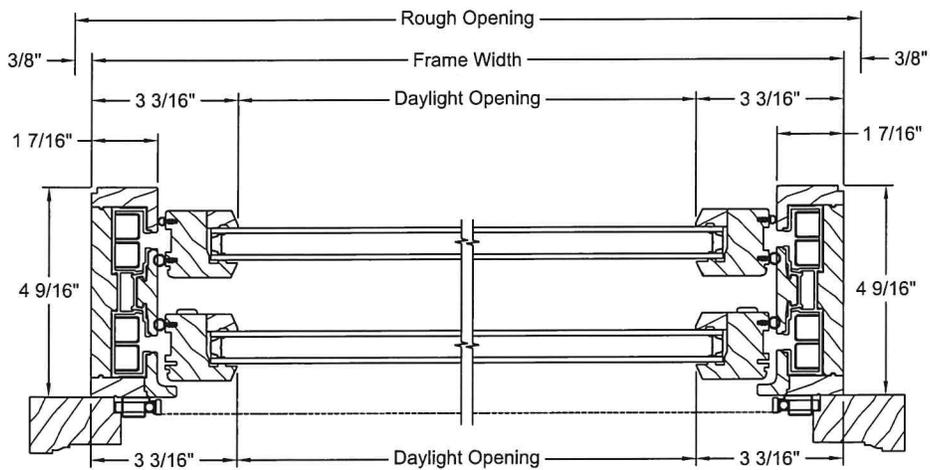
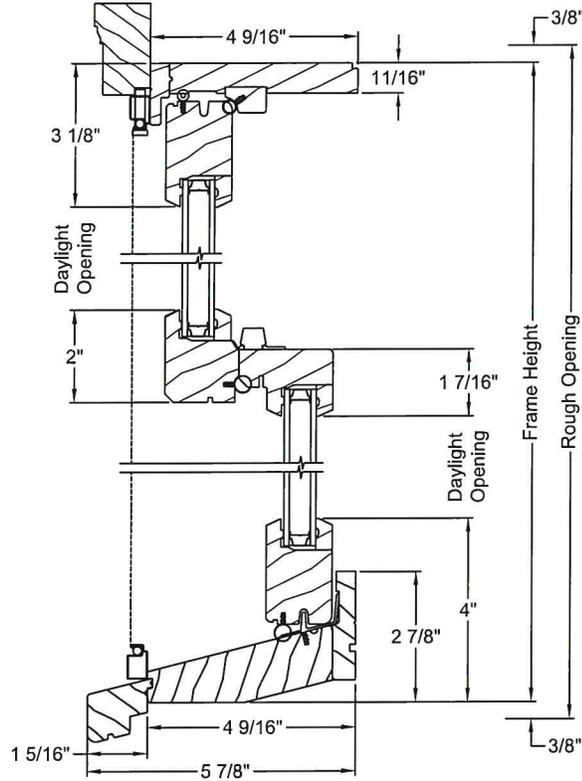
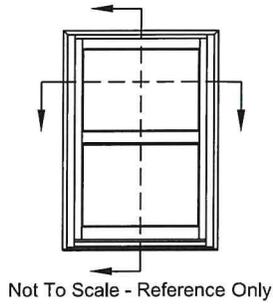
Whatever the climate, AuraLast protects against water damage and rot like no other. Whether it's humidity, storms or dampness, AuraLast® pine stands up to the rigors of wet weather.

**TERMITE PROTECTION**

Termites can be devastating to windows and doors, but not to those built with AuraLast® pine. It safely and effectively repels termites, preserving the beauty of your investment.



OPERATOR SECTIONS





## SPECIFICATIONS

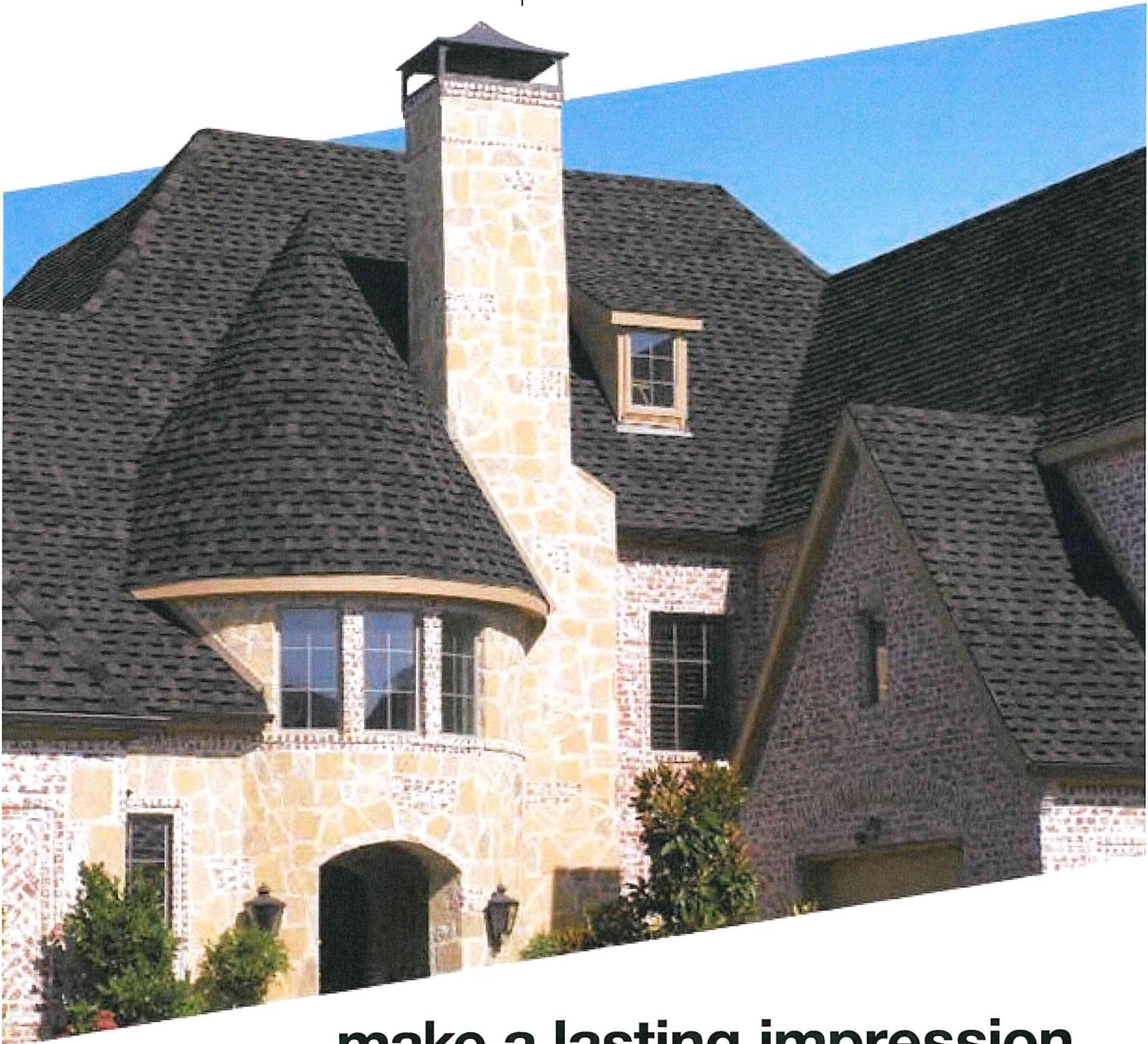
<b>Coverage Area (Sq. Feet)</b>	92	<b>Pressure Treated</b>	X
<b>Warranty</b>	Limited lifetime	<b>Panel Type</b>	N/A
<b>Actual Thickness (Inches)</b>	0.7187	<b>CA Residents: Prop 65 Warning(s)</b>	 <b>Prop 65 WARNING(S)</b>
<b>Type</b>	Lap siding	<b>Common Thickness (Inches)</b>	0.75
<b>Color/Finish Family</b>	Brown	<b>Actual Length (Inches)</b>	120
<b>Manufacturer Color/Finish</b>	natural wood	<b>Series Name</b>	N/A
<b>Common Width (Inches)</b>	8	<b>Common Length (Inches)</b>	120
<b>Material</b>	Plywood	<b>Actual Width (Inches)</b>	7.25



RECEIVED  
SEP 13 2022  
TRAINING DEPARTMENT



**ProLam**<sup>™</sup>  
*Architectural Shingles*



**make a lasting impression**  
and fall in love with your home all over again





**ProLam™**  
*Architectural Shingles*

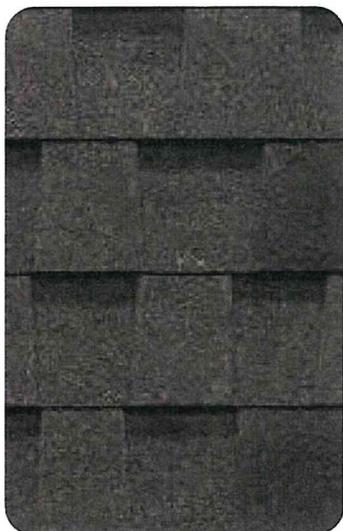


## Stylish Design. Affordable Protection.

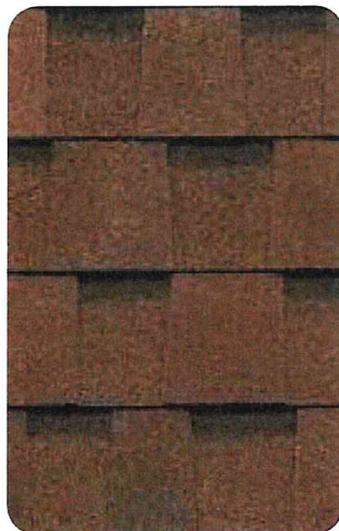
ProLam™ laminated, architectural shingles from Atlas feature oversized shingle dimensions, distinct shadow lines and random cuts that create the texture and charm of a multi-layered wood shake shingle. Select from seven designer colors to accent the beauty of any exterior.



Featured: Weathered Wood



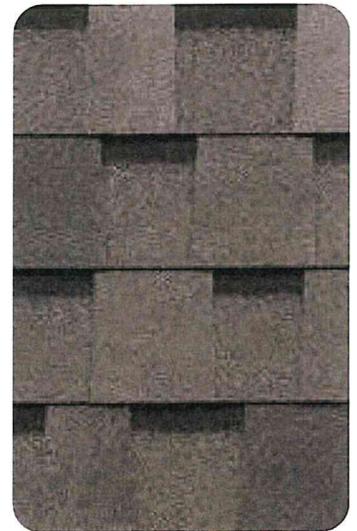
Black Shadow



Burnt Sienna



Desert Shake



Heathstone Gray



**Warranty**

Be confident in your purchase with a Lifetime Limited Warranty\* against manufacturing defects.



**Protection**

Protect the investment in your home against high wind with an Atlas up to 130 mph Wind Limited Warranty.\*



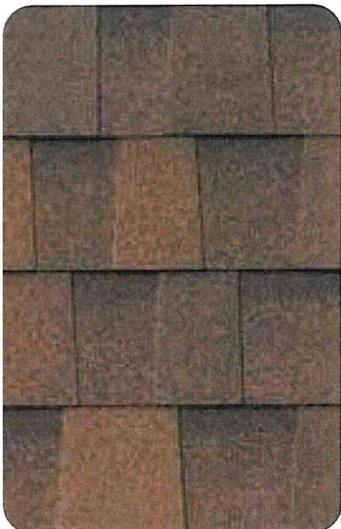
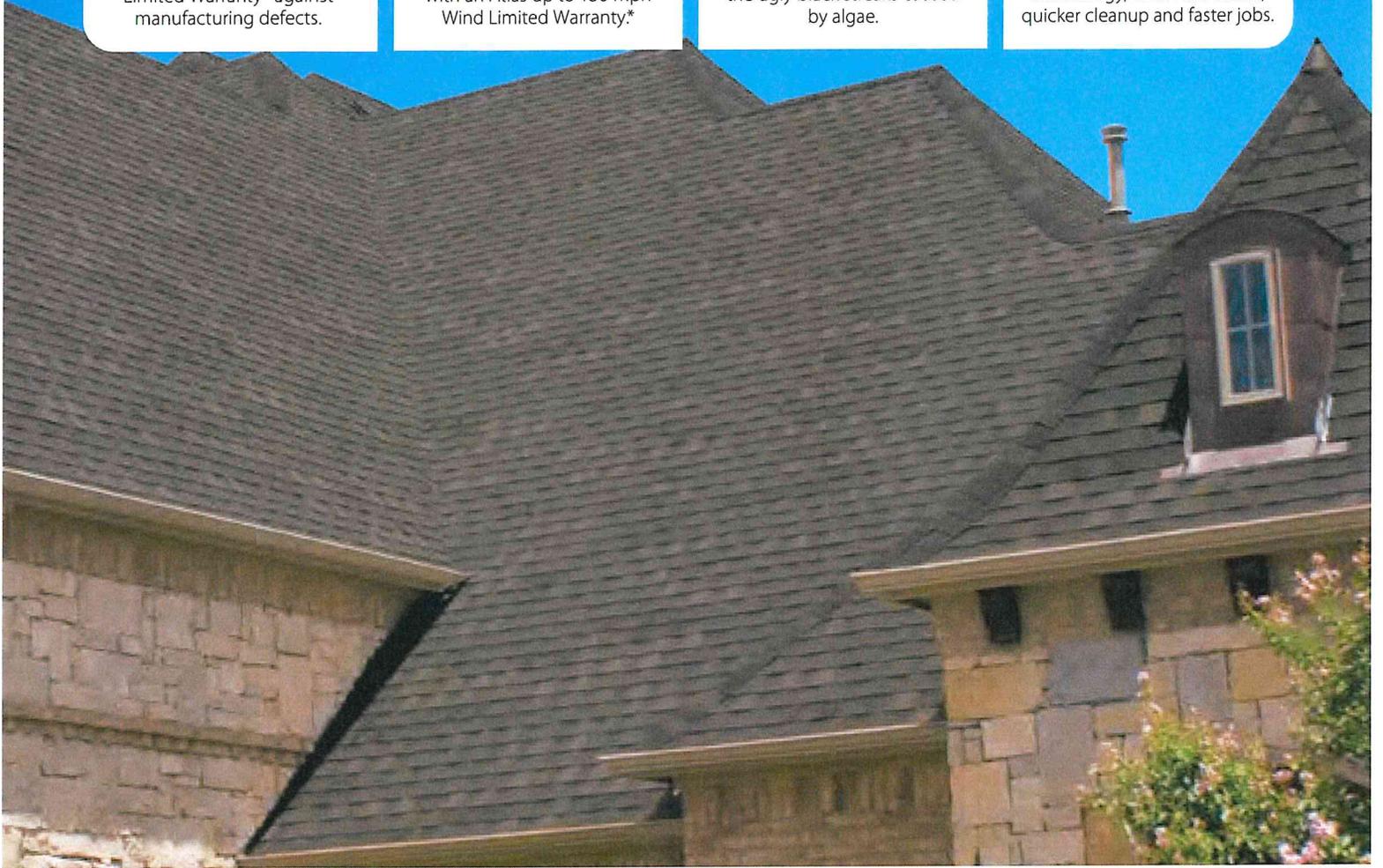
**Longevity**

Keep your roof looking clean and new longer by preventing the ugly black streaks caused by algae.



**Performance**

The industry's largest shingles, engineered with HP42" technology, mean less waste, quicker cleanup and faster jobs.



Heather



Pewter



Weathered Wood



To provide homeowners the most accurate representation of color options, several photo scans and house shots were utilized in various lighting conditions. Variations in lighting illustrate the color gradients on asphalt shingle roofs.

Color blends vary from shingle to shingle. Before installation, consult with your contractor and request to view the actual shingles being installed on your roof to ensure confidence in your final color selection.

# ProLam™

## Architectural Shingles

**Lifetime**  
LIMITED WARRANTY



With Atlas you get more than a roof. You get beautiful, lasting protection, backed by the industry's best warranty\* coverage — and the peace of mind that comes with it.

<b>Colors</b>	<b>Limited Warranty*</b>	<b>Wind Resistance*</b>	<b>Algae Resistance (ARS)*</b>
7 Colors	Lifetime	Up to 130 mph	10 Years

### Demand Peak Coverage

When you install an Atlas Signature Select® Roofing System<sup>1</sup>, all of the components are designed and backed by an Atlas warranty. In the unlikely event that you have a problem with your roof, you have a single company to turn to for support.

Unlike many other roofing warranties that promise more than they deliver, Atlas packs value and assurance into an enhanced Premium Protection Period with the installation of an Atlas Signature Select® Roofing System.

#### The Premium Protection Period includes:

- Non-prorated labor and materials
- Coverage of the full Atlas product system
- Tear off and disposal fees
- Transferability



- 1 Atlas WeatherMaster® Ice & Water Underlayment
- 2 Atlas Premium Underlayment
- 3 Atlas Pro-Cut® Starter Shingles
- 4 Atlas Roof Shingles
- 5 Atlas TruRidge™ & HighPoint™ Exhaust Ventilation
- 6 Atlas Pro-Cut® Hip & Ridge Shingles



Increase your Premium Protection Period by installing an Atlas Signature Select® Roofing System

**10** YEARS **>>** **15** YEARS

### Dreaming of a Home Redesign?

Get creative with the Roof Inspiration Center, a suite of home design tools from Atlas. From shingles to siding, reinvent the look of your home with the Roof & Home Design Studio. Like all your ideas in one spot? With RoofSwap! You can upload home photos, swipe for different looks and save your ideas to a mood board. Explore shingle styles, features and colors with the Visual Product Selector. Whether you have 3 minutes or 30, your new look is just around the corner.



[AtlasRoofing.com/Roof-Inspiration](https://AtlasRoofing.com/Roof-Inspiration)



\* Refer to the Atlas Roofing Limited Shingle Warranty for all coverage requirements.  
© Copyright 2020, Atlas Roofing Corporation ATL-195221-00 2/20

#AtlasProtects

AtlasRoofing.com

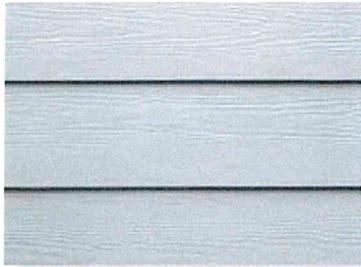
# HardiePlank®

Thickness 5/16 in  
Length 12 ft planks

## SELECT CEDARMILL® & SMOOTH

	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in	12 in
Width	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in	12 in
Exposure	4 in	5 in	6 in	7 in	8 in	10.75 in
Prime Pcs/Pallet	360	308	252	230	190	152
ColorPlus Pcs/Pallet	324	280	252	210	—	—
Pcs/Sq	25.0	20.0	16.7	14.3	12.5	9.3

## SELECT CEDARMILL®



	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in	12 in
Width	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in	12 in
STATEMENT COLLECTION™				✓		
DREAM COLLECTION™	✓	✓	✓	✓		
PRIME	✓	✓	✓	✓	✓	✓

## SMOOTH



	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in	12 in
Width	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in	12 in
STATEMENT COLLECTION™				✓		
DREAM COLLECTION™	✓	✓	✓	✓		
PRIME	✓	✓	✓	✓	✓	✓

## SELECT CEDARMILL®



## BEADED SMOOTH



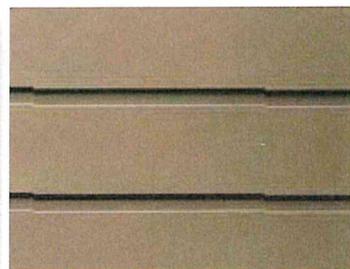
## BEADED CEDARMILL® & BEADED SMOOTH

Width	8.25 in		
Exposure	7 in	STATEMENT COLLECTION™	—
Prime Pcs/Pallet	240	DREAM COLLECTION™	✓
ColorPlus Pcs/Pallet	210	PRIME	✓
Pcs/Sq	14.3		

## CUSTOM COLONIAL ROUGHSAWN®



## CUSTOM COLONIAL SMOOTH®



## CUSTOM COLONIAL ROUGHSAWN® & CUSTOM COLONIAL SMOOTH®

Width	8 in		
Exposure	6.75 in	STATEMENT COLLECTION™	—
Prime Pcs/Pallet	240	DREAM COLLECTION™	✓
ColorPlus Pcs/Pallet	240	PRIME	✓
Pcs/Sq	14.9		



# ProLam™

Architectural Shingles



**make a lasting impression**  
and fall in love with your home all over again





MMI DOOR Fiberglass Front Doors are built to last and can add substantial curb appeal to your home. This fiberglass smooth front door unit comes with a Limited Lifetime Warranty on both the door component and the prehung MSystem, as well as a 10 year glass lite warranty. All of our fiberglass smooth front doors are virtually maintenance free and will not warp, rot, dent or split. Our prehung door unit (called the MSystem) seals out the weather and practically eliminates air and water infiltration all together. Common door size is 30-in x 80-in Unit dimension is 31.5-in x 81.75-in. The suggested rough opening is 32-in x 82.25-in. This unit comes with a 6-9/16-in wide primed composite frame.

- Fiberglass reinforced skin with insulated polyurethane core
- Common door size is 30-in x 80-in
- Overall unit dimension is 31.5-in x 81.75-in
- Suggested rough opening is 32-in x 82.25-in
- Prehung on a 6-9/16-in primed composite frame with matching brickmould, frame is 100% composite poly-fiber material that will never warp, splinter or rot
- The prehung unit comes with 3 satin nickel hinges, compression weatherstrip and composite adjustable sill
- Classic clear glass is double paned, tempered and insulated. Privacy rating is 0 out of 10
- Door comes primed, ready to paint
- Door and frame are prepped for both entry knob and deadbolt, 2-1/8-in bore diameter with 2-3/8-in backset

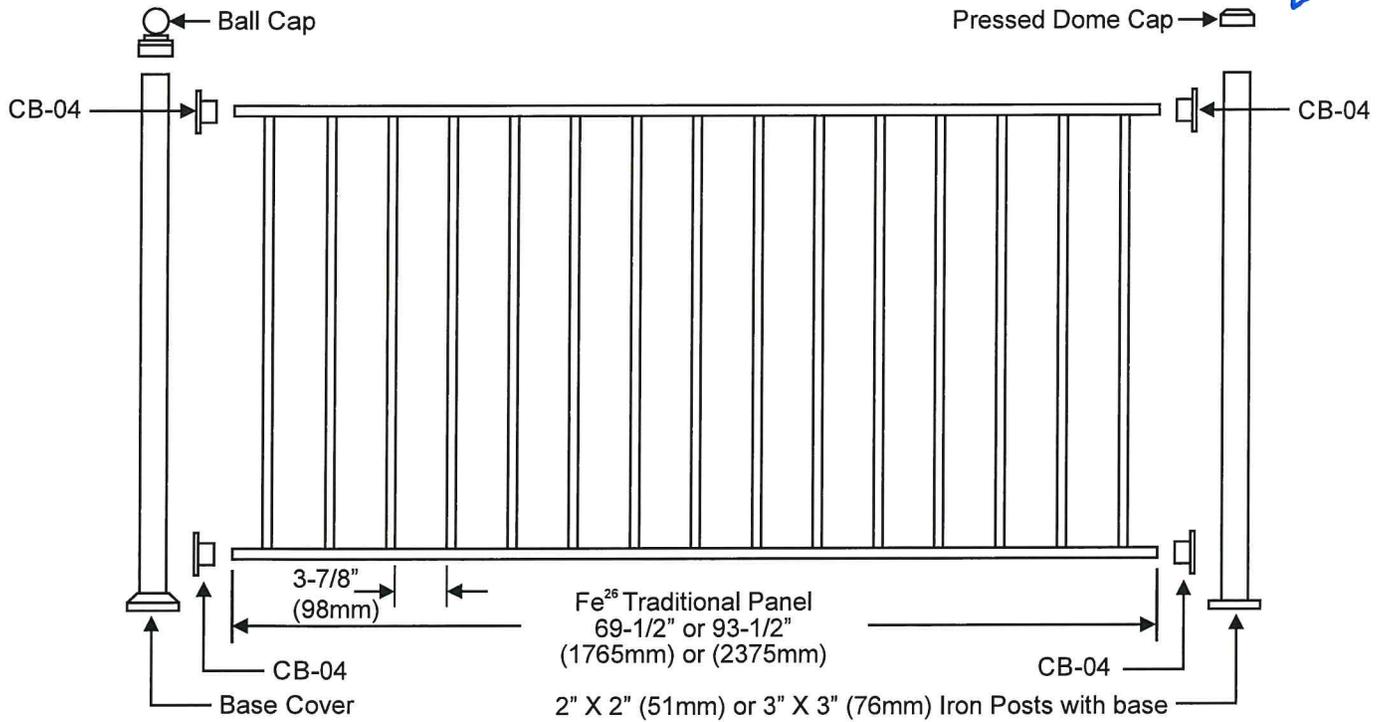
 [Warranty Guide](#)  
PDF

 [Dimensions Guide](#)  
PDF

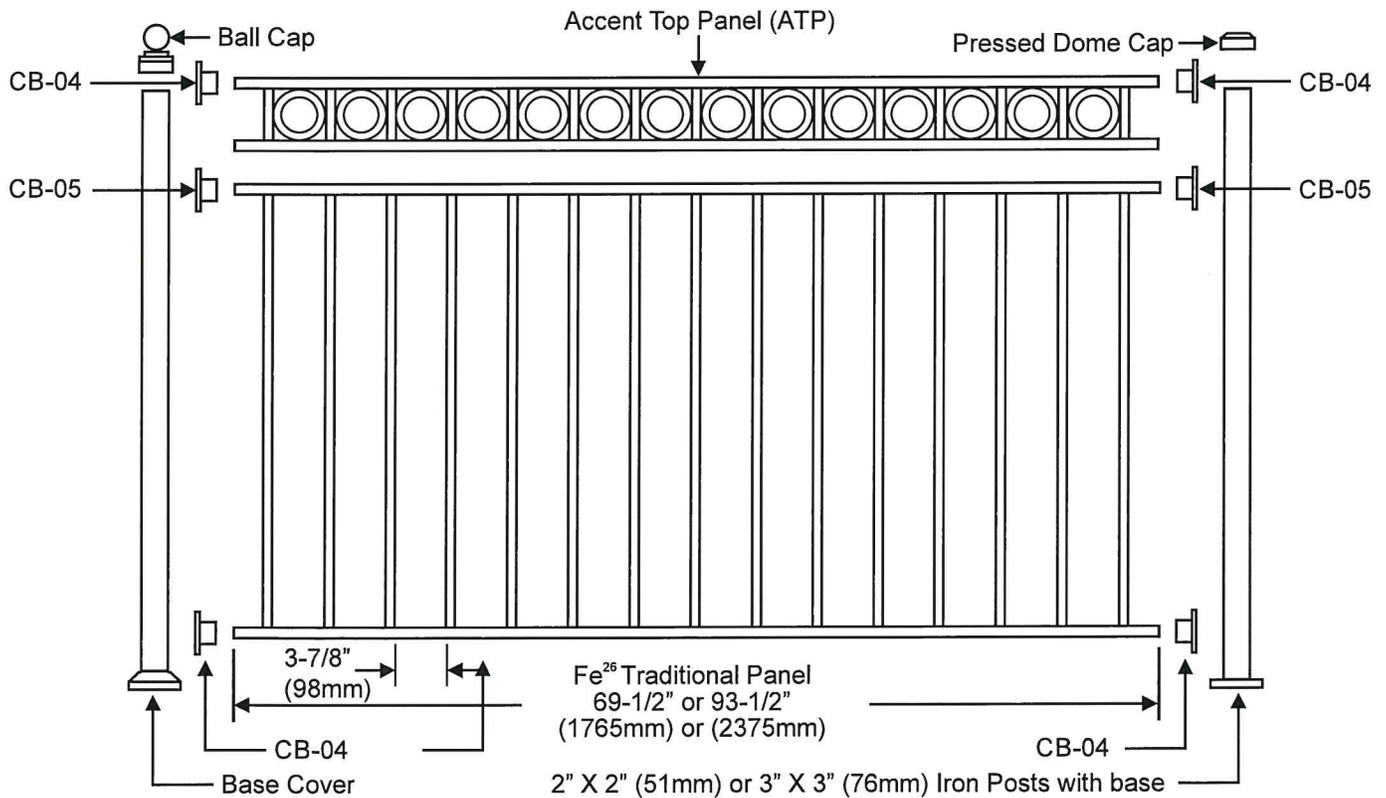
 [Use and Care Manual](#)  
PDF

 [Installation Manual](#)  
PDF

## Fe<sup>26</sup> Traditional Panel Installation Options



## Fe<sup>26</sup> Traditional Panel with Accent Top Panel Installation Options



## Fe<sup>26</sup> Traditional Panel and Iron Post Configurations

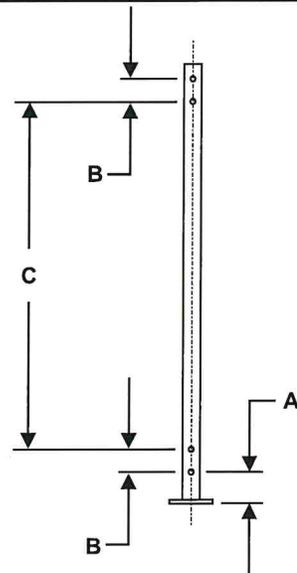
Railing Panel Height	Railing Panel Only		Railing Panel with Accent Top Panel	
	Installed Panel Height*	Required Post	Installed Panel Height with ATP*	Required Post
28" (711mm)	X	X	36-11/16" (932mm)	39-1/2" (1003mm)
34" (864mm)	37-3/4" (959mm)	39-1/2" (1003mm)	42-11/16" (1084mm)	45-1/2" (1156mm)
40" (1016mm)	43-3/4" (1111mm)	45-1/2" (1156mm)	X	X

\*Heights includes a 3-3/4" (95mm) space between deck surface and bottom edge of bottom rail.

## CB-04 Bracket Hole Locations for Fe<sup>26</sup> Traditional Panel Installations

Pre-Drilling with a 3/16" (5mm) drill bit is required.

Railing Panel Height	Pre-Drill Dimensions		
	A*	B	C
28" (711mm)	X	X	X
34" (864mm)	3-1/8" (79mm)	2-1/4" (57mm)	30-3/4" (781mm)
40" (1016mm)	3-1/8" (79mm)	2-1/4" (57mm)	36-3/4" (933mm)



\*Dimension A positions bottom edge of rail 3-3/4" (95mm) above deck surface.

\*Dimension A is measured from the bottom surface of post base.

Remove all metal shavings from deck, post base cover, post, and panel before bracket is screwed to post to prevent rust stains.

## Fe<sup>26</sup> Traditional Panel Installation with CB-04

- If rails were cut to length, file cut edges and coat with 2 coats of Fortress zinc based touch-up paint.
- Check fit of rail between installed posts.
- If using a Base Cover install it now by sliding over the top of Iron Post.
- Slide a CB-04 bracket over the end of each rail. Make sure that all set screw holes face the desired direction.
- Place rail assembly on 3-3/4" (95mm) support block between posts.
- Slide CB-04 brackets to post and secure with T-25 Drive Thread Cutting Screws. Use low speed setting on drill.
- Secure rails with provided set screws at each CB-04 bracket.

