



The City of
OKLAHOMA CITY

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Staff Only:

Date Stamp

Zoning: HP or HL

District: _____

HPCA- 22 - 00123

Received by: KF

NOTE: any relevant permits must be applied for and paid for separately in the Development Services Dept.

NOTE: Contact Historic Preservation Staff for final design inspection when work is complete.

Please select: ☒ New Project ☐ Revision ☐ Extension ☐ Violation Notice Issued

Location of Proposed Work (Address): 108 NW 15th St.

Legal Description of Property (lot, block, addition): the West 57.5 feet of Lots 13,14,15 of Block 3 Fays addition

Year built: 1920 (per assessor) Exterior wall material: Brick Floor area: 4,172.00 sq.ft.

Itemized Work Items (List EACH ITEM proposed. Work not listed here will NOT be reviewed):

☐ New Construction ☐ Addition ☐ Fence ☐ Demolition (specify structure) _____
☐ Paving (specify) _____ ☒ Renovation (specify) See attached scope of work.
☐ Work not specified above _____

Owner's Authorization

I hereby certify that all above statements and statements contained in all attached and transmitted exhibits are true to the best of my knowledge and belief. In the event this proposal is approved and begun, I agree to complete the changes in accordance with approved plans in a good and workmanlike manner. I authorize the City of Oklahoma City to enter the property for the purpose of observing and photographing the project for presentations and to ensure consistency between the approved proposal and the completed project.

☒ (If applicable): I authorize my representative to speak for me in matters regarding this application. Any agreement made by my representative regarding this proposal will be binding upon me.

Owner's Signature Zac Dean-Duty

Date 08-08-22

Name (printed) ZACHARY DEAN-DUTY

Organization The Greyhound Group LLC

Address 212 NW 32ND ST

Phone 405-420-5085

City, State, Zip OKLAHOMA CITY, OK 73118

Email deanzac00@gmail.com

I prefer to be: ☐ Mailed or ☒ Emailed.

Representative Signature _____

Date 08-05-2022

Name (printed) Klaas Reimann-Philipp

Organization Philipp Architect PLLC

Address 2801 N Hudson Ave.

Phone 405-365-1500

City, State, Zip Oklahoma City, OK 73103

Email klaas@philipparchitect.com

I prefer to be: ☐ Mailed or ☒ Emailed.

Contact: ☐ Owner ☒ Representative

Is Federal money, a federal license or a federal permit included/required for any part of this project? Yes / No

If yes, what Federal agency? _____

Is the property owner pursuing the Federal Tax Credits for Rehabilitation of income producing historic properties? Yes / No (For questions concerning the federal tax credit program, telephone the State Historic Preservation Office at (405) 522-4479).

NOTE: Specific deadlines apply to submission of additional documentation or requests for appeals. Should your project be continued or denied, you are responsible for compliance with those deadlines.

PHILIPP ARCHITECT, PLLC

2801 N Hudson Ave.
Oklahoma City, OK 73103
e: klaas@philipparchitect.com
p: 405-365-1500

**108 NW 15TH ST. HP APPLICATION SUMMARY
AUGUST 02, 2022**

This HP application is to request approval for a series of maintenance related and aesthetic improvements to the building located at the above address. The building is a two-story fourplex which has been vacant and in disrepair for years. The owner seeks to restore the building to its historically accurate condition, maintaining the exterior openings and character while correcting past non-historic repairs and performing required maintenance to ensure the structural and aesthetic integrity of the building. The following improvements are planned:

Site:

1. Demolish old concrete steps leading up to the entry. Replace with new concrete steps to eliminate trip hazards and other uneven surfaces.
2. Add sidewalk along street.
3. Replace chain link fence with a 6' tall wood vertical slat fence as shown on drawings.
4. Add concrete entry slab and platform for spiral staircase access to second floor (rear of building).
5. Add spiral staircase on South elevation of building as shown on plans.

Exterior:

1. Replace all windows with aluminum clad wood windows. Window pattern to match as closely as possible existing windows.
2. Demolish existing non-historic entry structure and deck. Replace with new entry deck and railing as shown on drawings.
3. Repair brick as necessary, should not alter the appearance of the building.
4. Add spiral staircase on South Elevation and access platform as noted on the site improvements.

Attached are building elevations depicting the existing building character and details of new railings and site elements, plans of the proposed interior build-out, survey of the property and window specifications.

108 NW 15TH ST.

Documentation of Existing Conditions

Project Address:

108 NW 15th St.
OKC, Oklahoma 73103

Issue Date:

09.23.2022

Document:

Documentation of Existing Conditions
for to Oklahoma City Historic
Preservation Commission

Prepared By:

PHILIPP ARCHITECT, PLLC
Klaas Reimann-Philipp

2801 N Hudson Ave.
Oklahoma City, OK 73103

405.365.1500

klaas@philipparchitect.com

Owner:

The Greyhound Group, LLC

ian@adeptcre.com
deanzac00@gmail.com

ENTRY

The entry has been completely modified from it's original condition. All openings (both windows and doors) that opened up to the balcony have been closed off. A non-original deck and railing needs to be demolished due to delapidation and rot.



Existing entry and concrete steps and handrail.



Entry at front door. All brick maintained. Doors and windows re-placed in original configurations.



Entry door condition. Door and Side-Lites to be replaced.



Property of building across the street. The proposed updates to this project would be similar to this building.

WINDOWS

Typical depiction of existing windows.



Vines have infiltrated some of the remaining windows.



A typical window frame and sill. Windows frames are very rotted, and many have been nailed or painted shut.



Another view of a typical window frame.



Many windows have been destroyed and boarded up. Basically every first floor window opening is in this condition.



Many windows don't close properly, and is open to the elements.

WINDOWS CONT.

Typical depiction of existing windows.



Typical top of window frame/sash.



Some windows are no longer fixed in place. The lower sash on this window is just leaning against the frame.



Window at top of staircase (or lack thereof), facing street (window 37 on existing elevation drawing)



Board removed to exposed boarded up window below. Similar condition to other windows. Assumed first floor windows all boarded up for security.



Daylight is coming through the wall in the top left corner of this room.

BACK DECK

Exterior views of what remains or most likely non-original deck.



The back deck is completely overgrown with vines.



Another view of the back deck condition.

VIEWS OF INTERIOR

Typical views of interior condition.



Old window location, framed in.



Typical condition of interior of building.



Some brick needs to be repaired. No new brick to be used.

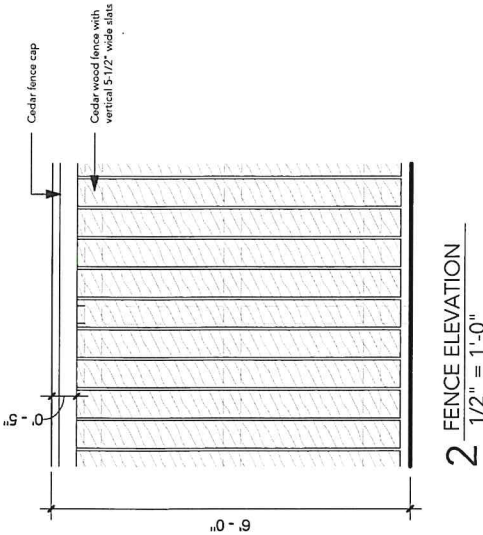
108 NW 15TH ST.

SHEET:
HP02 - SITE PLAN

DATE ISSUED:
09-23-2022

NOTE: REFER SITE SURVEY
FOR ALL PROPERTY LINE AND
BUILDING DIMENSIONS.

NW 15th ST.

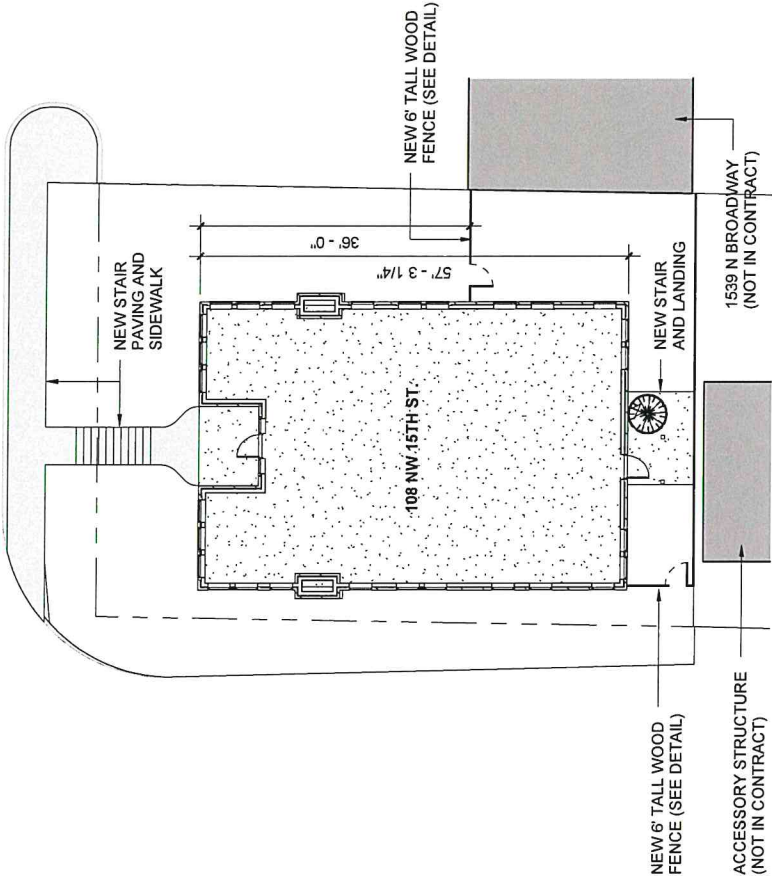


PROPOSED SITE UPDATES:

1. REPLACE CONCRETE STEPS UP TO BUILDING ENTRY.
 2. DEMOLISH OLD HANDRAIL ALONG NW 15TH ST.
 3. ADD SIDEWALK ALONG NW 15TH ST.
 4. INSTALL FENCE AND GATES AS SHOWN ON PLAN.
 5. ADD CONCRETE LANDING AND SPIRAL STAIRS AS SHOWN ON PLAN.
- DEMO EXISTING WOODEN STAIRS AND LANDING.

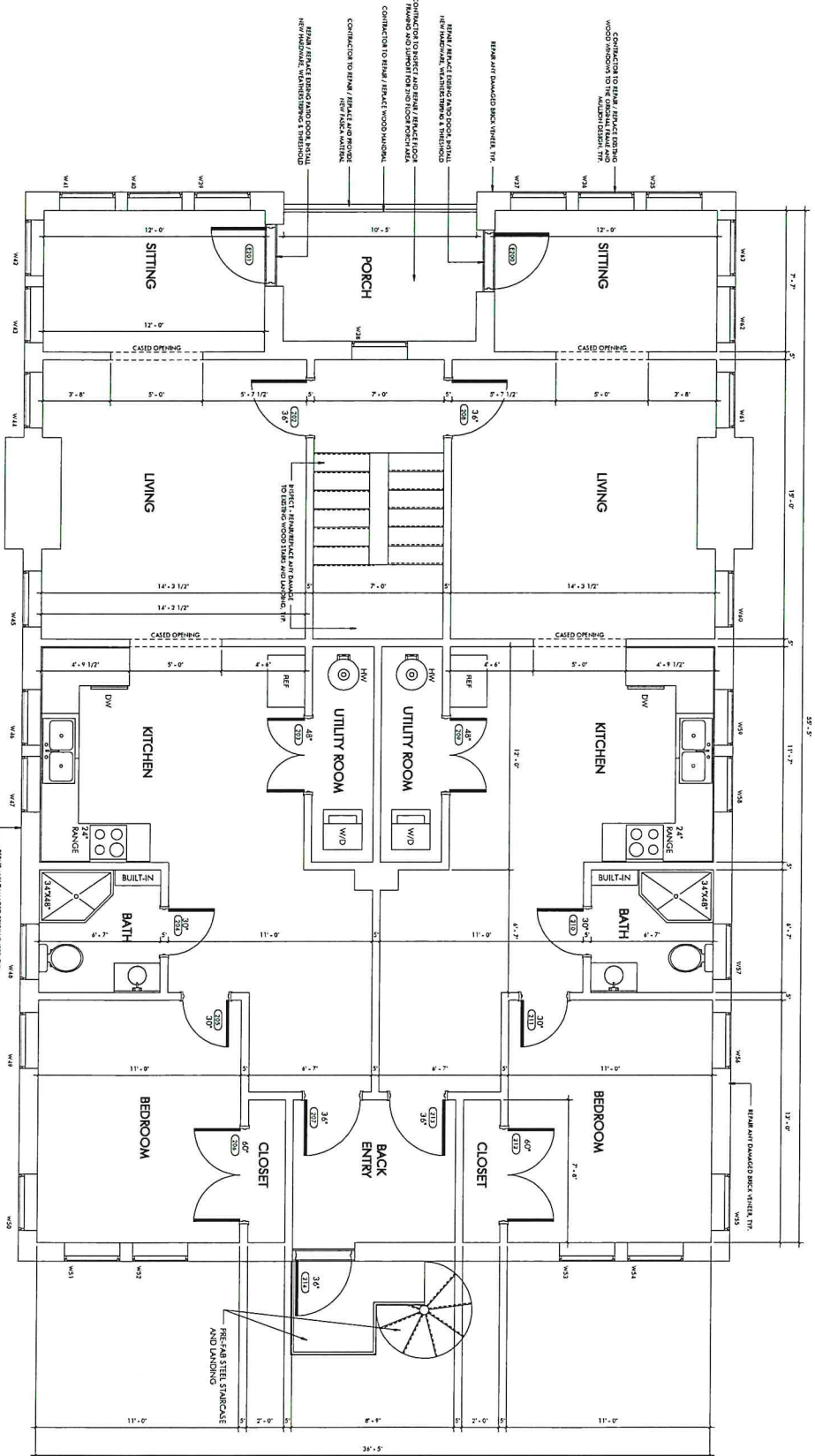
LIST OF EXTERIOR BUILDING UPDATES:

1. DEMO EXISTING ENTRY AND BALCONY.
2. NEW BALCONY WITH PAINTED TRIM BOARD AND NEW RAILING.
3. ALL WINDOWS REPLACED (RE: WINDOW CUT SHEETS).
4. NON-VISIBLE (FROM STREET) SURFACE MOUNT LIGHT IN ENTRY AREA.
5. NEW LANDING AND SPIRAL STAIRCASE ON SOUTH ELEVATION.



PROPOSED SITE PLAN

[illegible]



1
 3/16" = 1'-0"
 REFERENCE 2ND FLOOR PLAN

GENERAL NOTES

- CONTRACTOR SHALL VERIFY ALL WORKING CONDITIONS TO PROTECT WORK. EXISTING WORK SHALL BE PROTECTED BY THE CONTRACTOR.
- ALL WORK PROVIDED AND MATERIALS SUPPLIED SHALL BE IN FULL ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OKLAHOMA CITY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OKLAHOMA CITY.
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108 NW 15TH ST.

SHEET:
HP03 - EXISTING ELEVATIONS

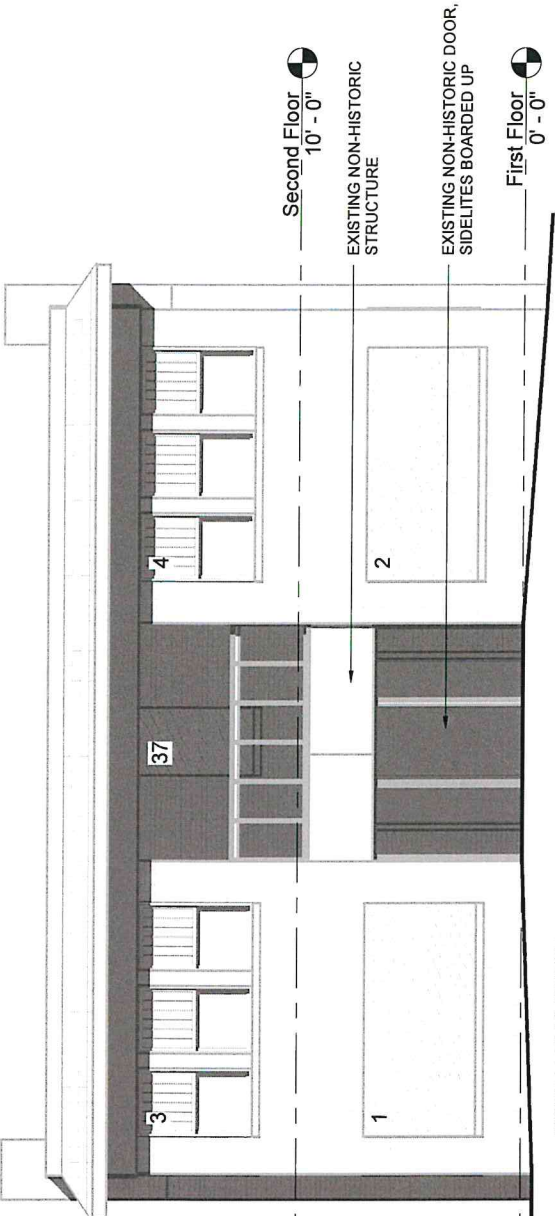
DATE ISSUED:
09-23-2022

WINDOW CONDITION KEY:

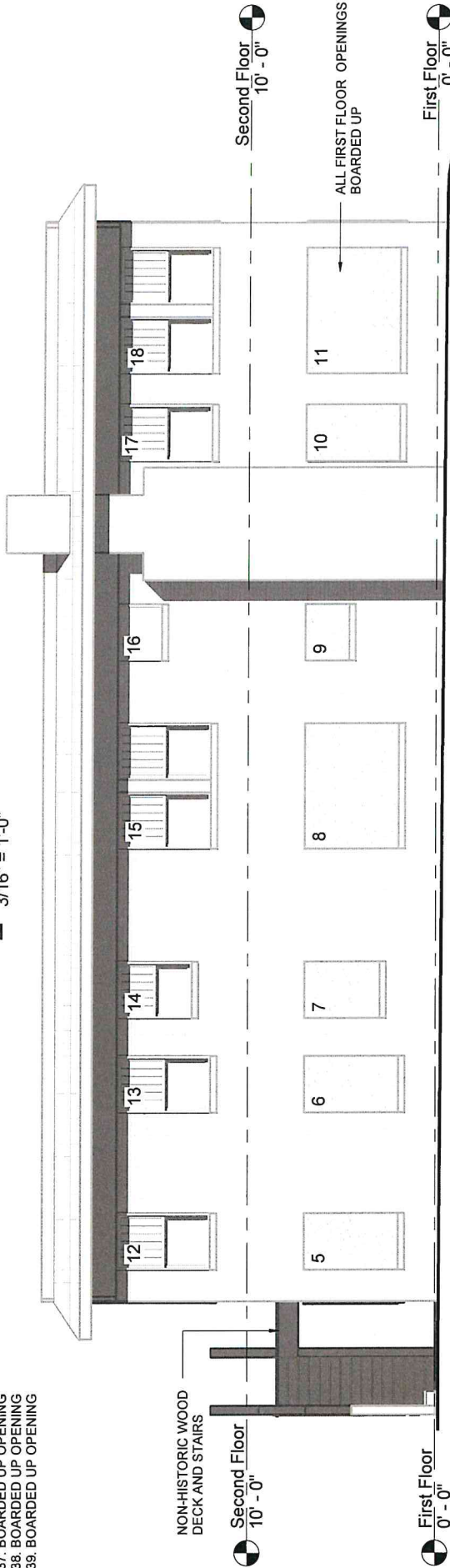
- 01. BOARDED UP OPENING
- 02. BOARDED UP OPENING
- 03. ROTTED WOOD FRAME AND SILLS
- 04. ROTTED WOOD FRAME AND SILLS
- 05. BOARDED UP OPENING
- 06. BOARDED UP OPENING
- 07. BOARDED UP OPENING
- 08. BOARDED UP OPENING
- 09. BOARDED UP OPENING
- 10. BOARDED UP OPENING
- 11. BOARDED UP OPENING
- 12. ROTTED WOOD FRAME AND SILLS
- 13. ROTTED WOOD FRAME AND SILLS
- 14. ROTTED WOOD FRAME AND SILLS
- 15. ROTTED WOOD FRAME AND SILLS
- 16. ROTTED WOOD FRAME AND SILLS
- 17. ROTTED WOOD FRAME AND SILLS
- 18. ROTTED WOOD FRAME AND SILLS
- 37. BOARDED UP OPENING
- 38. BOARDED UP OPENING
- 39. BOARDED UP OPENING

NOTE:

1. THERE ARE BOARDED UP WINDOWS LOCATED ON EITHER SIDE OF THE ENTRY THAT ARE NOT VISIBLE ON THE ELEVATIONS. THESE ARE TO BE REPLACED SAME AS ALL THE OTHER WINDOWS (WINDOW #38 AND 39).



2 NORTH ELEVATION
3/16" = 1'-0"



1 EAST ELEVATION
3/16" = 1'-0"

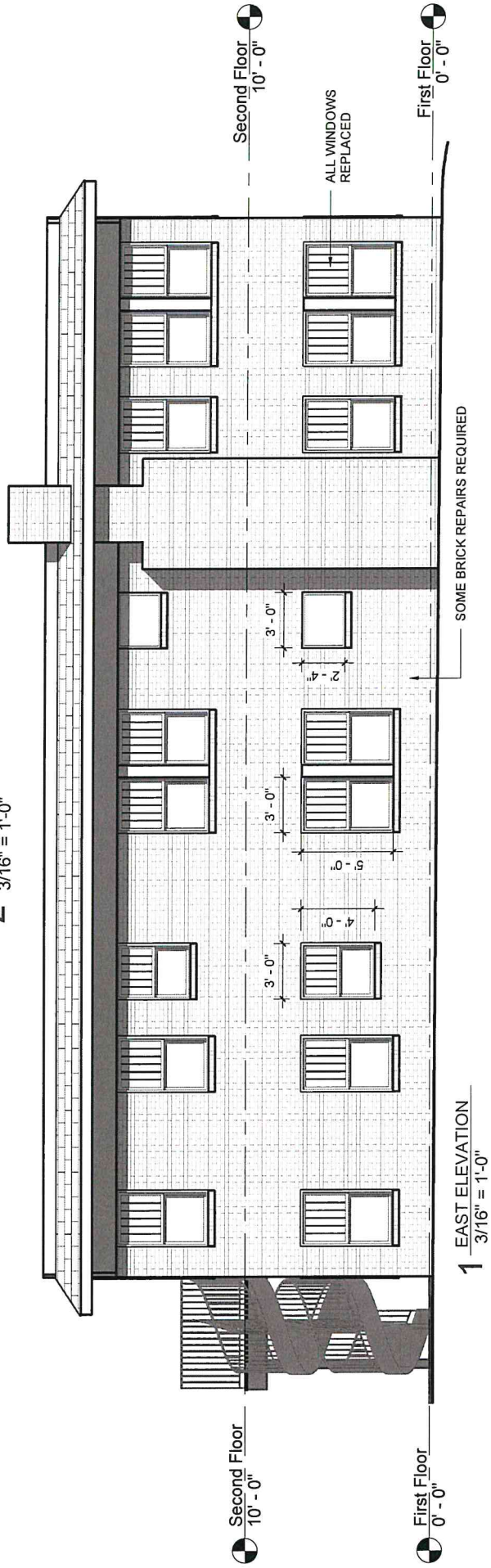
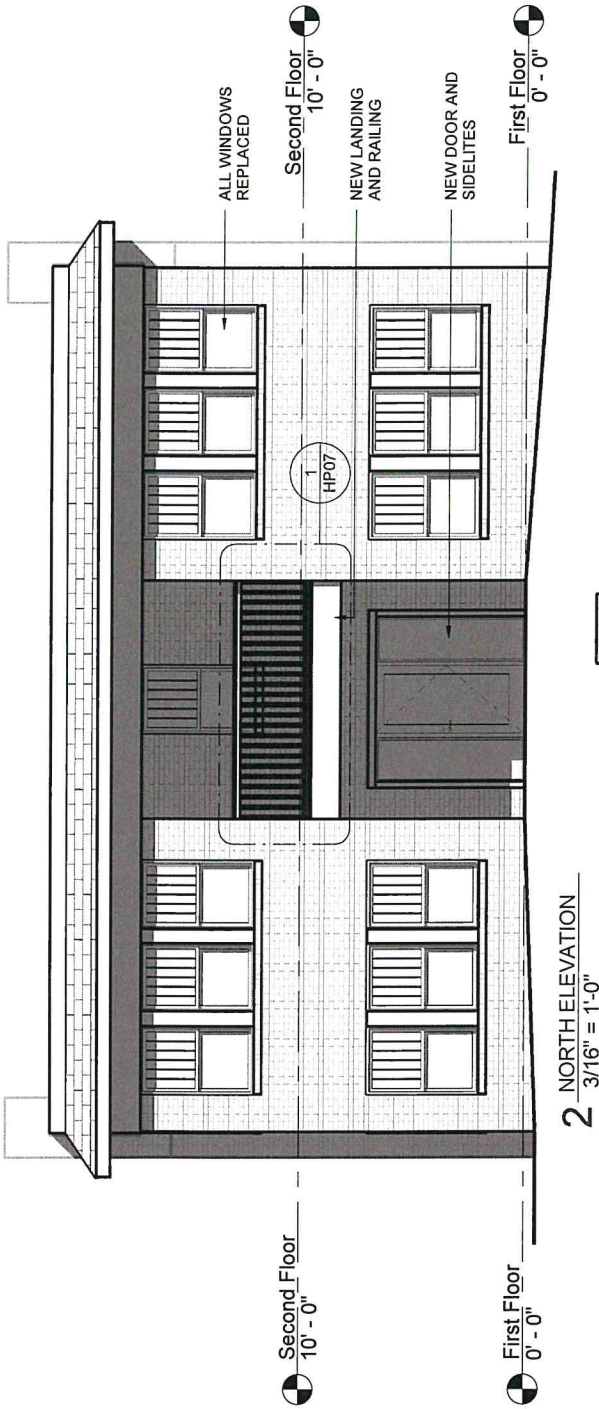
108 NW 15TH ST.

SHEET:
HP05 - ELEVATIONS

DATE ISSUED:
09-23-2022

NOTE:

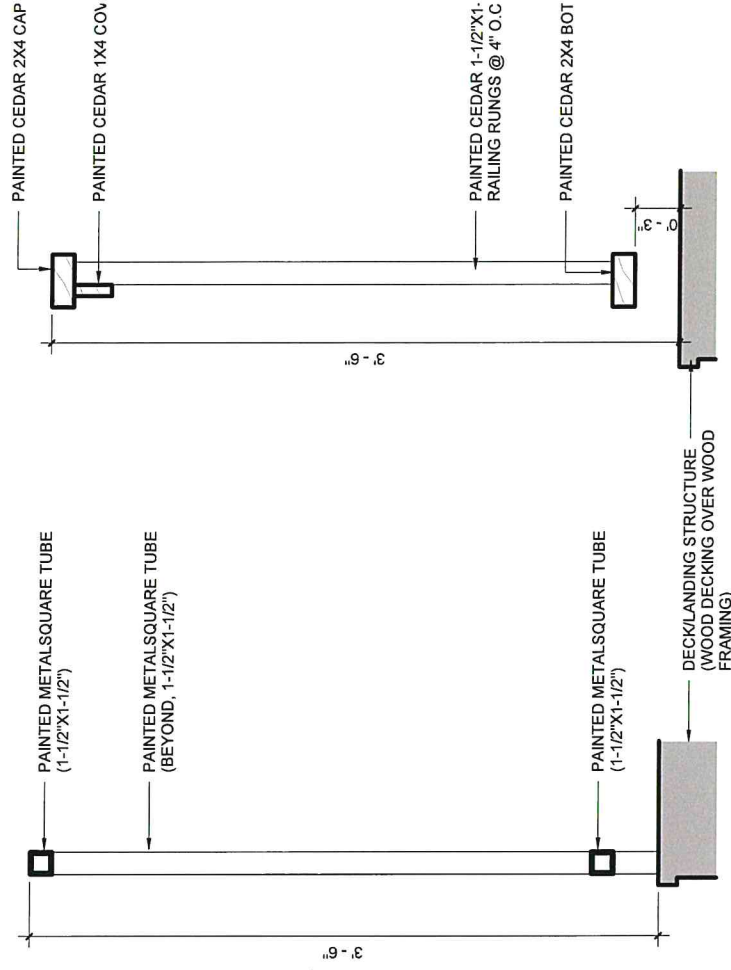
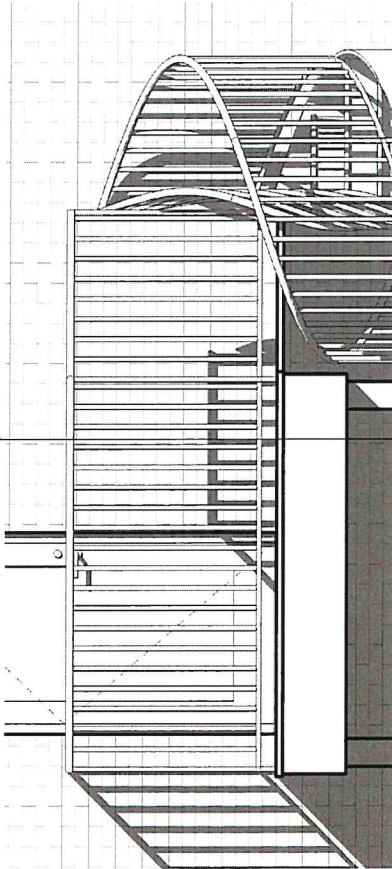
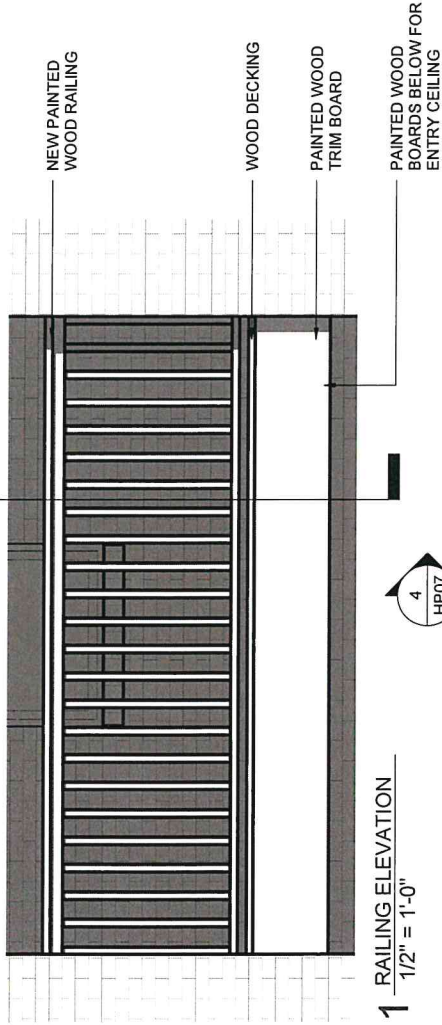
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108 NW 15TH ST.

SHEET:
HP07 - ELEVATION DETAILS

DATE ISSUED:
09-23-2022



3 RAILING DETAIL
1/2" = 1'-0"

4 RAILING DETAIL
1/2" = 1'-0"



FLUSH HOLLOW METAL DOOR

Heavy-duty steel door for commercial, industrial and institutional applications

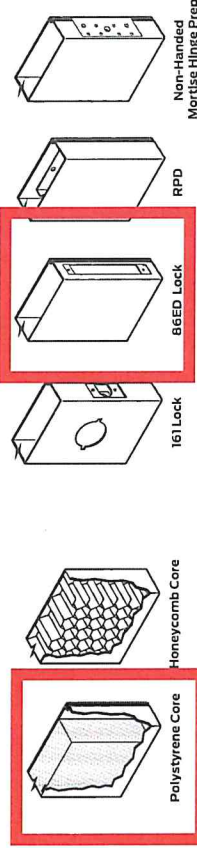
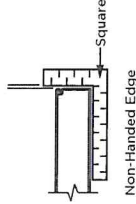
Our stock hollow metal door is an affordable non-handed, square-edge door solution designed to meet your requirements for quality full flush steel doors - for commercial, institutional and industrial applications. Stocked with Steelcraft locations, these doors are designed to satisfy your requirements for durability, security, aesthetics or fire protection. Trudoor is authorized by Warnock Hersey / Intertek to modify, re-certify and label fire-rated metal doors.

Features:

- Heavy-duty, SDI Level 2 - 18 gauge steel faces
- 1-3/4" Thick, non-handed design with reversible hinge plates
- Polystyrene or rigid honeycomb core
- Inverted top and bottom channels for additional stability and protection
- Interlocking seam enhances structural rigidity and durability
- Heavy gauge hinge reinforcements and door closer reinforcement
- Available with a wide range of glass lites, louvers and hardware preps
- Factory applied rust inhibiting primer (no special color options)
- Fire-rated up to 3 hours with WHI / ITS mylar label applied
- Preps include 161 (cylindrical lock), 86ED (mortise lock), RPD (Rim Panic Reinforced)

Code Compliance:

- Meets or exceeds ANSI A250.6 and A250.6
- Construction meets the requirements of ANSI A250.8
- Listed for installations requiring compliance to negative pressure testing (UL-10B) and positive pressure (UL-10C)
- Florida Product Approved



Grade and Model:

ANSI A250.8 - SDI 100			Edge Construction	Maximum Sizes		Recommended Gauge of Frame
Level	Model	Description		Single	Pair	
Level 2: Heavy Duty Commercial 18 gauge (1.0 mm) - heavy commercial and institutional applications with high use						
2	1	Full Flush	Visible	4'0" x 8'0"	8'0" x 8'0"	16 gauge (1.3 mm)

Grades and models defined by Steel Door Institute (SDI)

Manufacturers include Steelcraft and ASSA Abloy

Standard Elevations



12" x 12"



5" x 35"



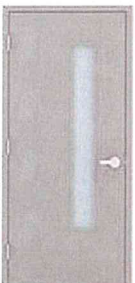
6" x 27"



7" x 22"



8" x 32"



LNL – Long Narrow Lite



24" x 24"



HG – Half Glass



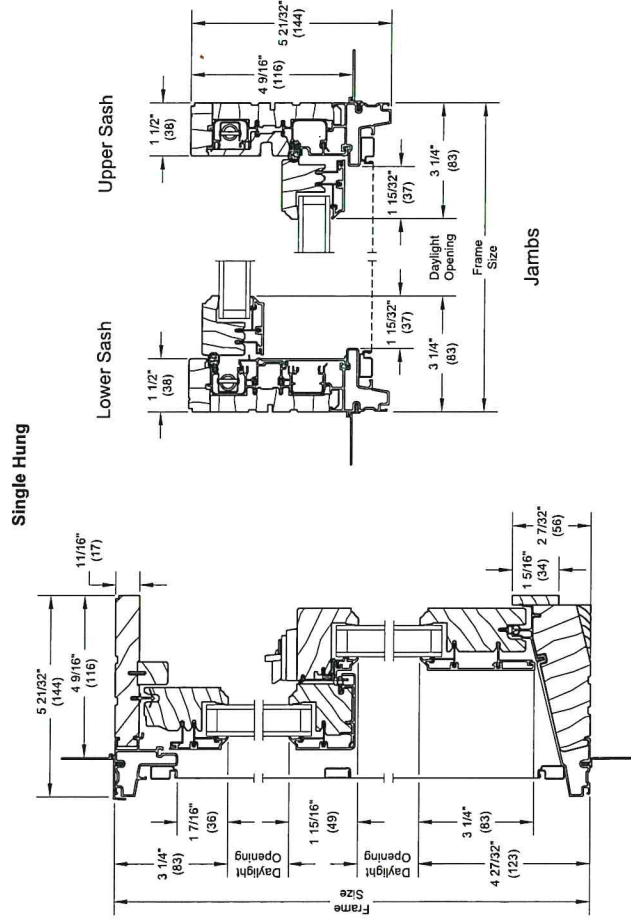
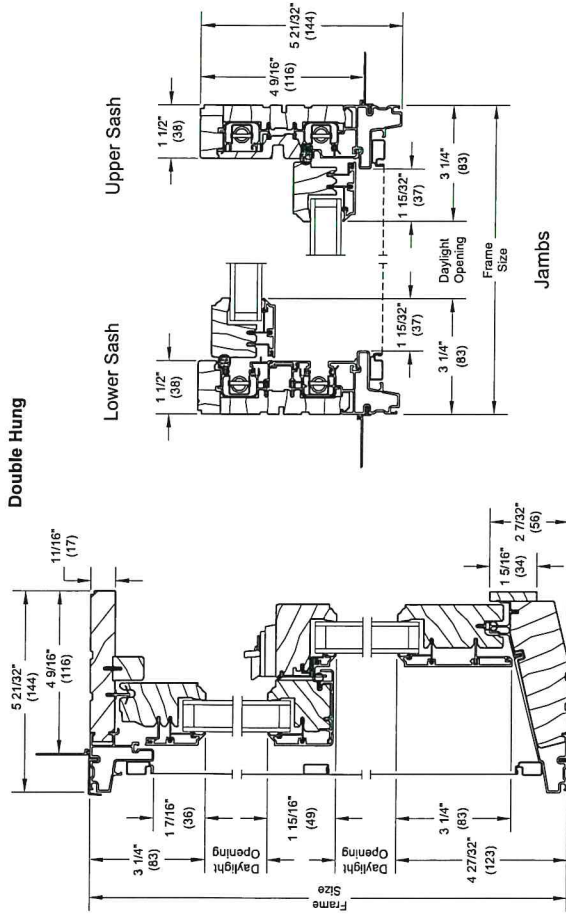
FG – Full Glass



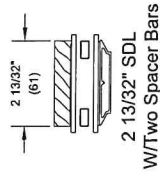
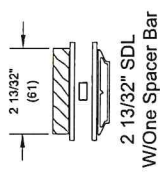
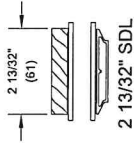
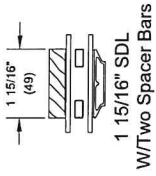
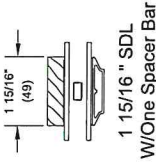
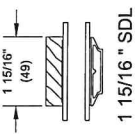
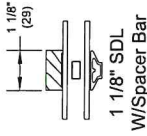
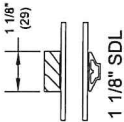
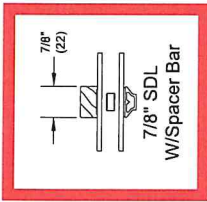
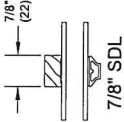
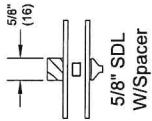
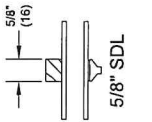
FG2 – Full Glass 2 (2 Lites w/
Integral Rail)

Section Details: Operating

Scale: 3" = 1' 0"



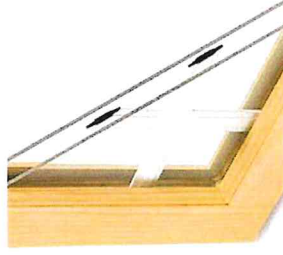
Optional Interior Square Simulated Divided Lite Option



Divided Lites

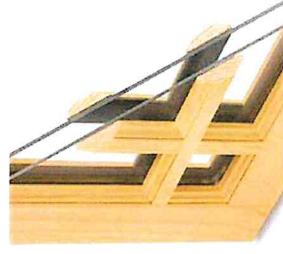
The look of multiple, individual panes of glass in a window sash is popular in a wide range of architectural styles - from historic replications to modern farmhouses. Simulated divided lites, available in a number of different styles, mimic the look of individual panes of glass in a window sash without sacrificing the energy efficiency of a single pane of glass. For true historical accuracy, authentic divided lites utilize individual glass panes, and are available as a custom order on select all-wood windows.

Grilles-between-the-Glass (GBGs)



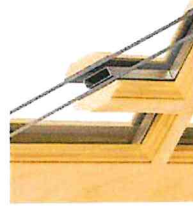
Grilles are permanently installed between the glass panes for a low-maintenance, smooth exterior and easy cleaning. Choose from 6 exterior colors and 3 interior colors.

Simulated Divided Lite (SDL)



An energy-efficient way to create the look of authentic divided lites, SDL bars are permanently adhered to both sides of the glass and are available with or without a spacer bar installed between the glass to create even more depth that resembles an ADL.

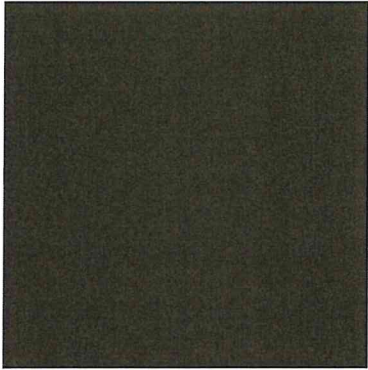
Simulated Divided Lite with Spacer Bar (SDLS)



Paired with SDL bars on the exterior of the glass, a spacer bar is installed between the glass, creating an even closer match to the Authentic Divided Lite look.

Exterior Finish

Clad Color Options



Bronze

A high-quality window deserves a dependable finish. Our low maintenance clad-wood products feature an extruded aluminum exterior finished in commercial-grade paint for superior resistance to fading and chalking. Our palette of nineteen color options spans from muted, earthy tones to bold, rich colors and three pearlescent finishes. Custom color matching is also available to meet any design vision.

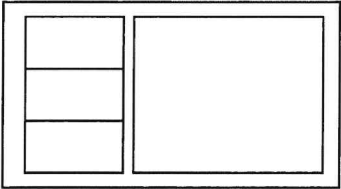
Selected: Bronze



**Custom Colors: Any color. Any window or door. You name it. No matter what your inspiration for a custom window or door color, Marvin will match it. You get any color your heart desires, with your own personal custom color name and a 20-year warranty. See your Marvin dealer for details and ask about special pricing.*

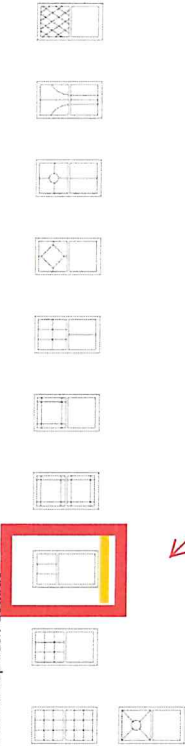
Patterns

Marvin's custom capabilities allow us to create almost any divided lite pattern you can dream up, with combinations of widths, unique profiles, rectangular or radius cuts and more. Choose from an existing lite cut, specify custom divided lites according to a new design or ask our design professionals to assist in creating a pattern for your needs.



Top Sash Cottage

Selected: Top Sash Cottage



will work with
window rep to find
5 over 1 windows

**These are some of our most frequently-requested divided-lite patterns.*