



The City of OKLAHOMA CITY

HISTORIC DISTRICT AND HISTORIC LANDMARK CERTIFICATE OF APPROPRIATENESS HPCA-22-00122

Owner: Judd A Schrader
627 NW 16TH ST
Oklahoma City, OK 73103-2109

On AA pending, Planning Department staff received your request for a Historic Preservation Certificate of Appropriateness for the property located at **627 NW 16th Street**.

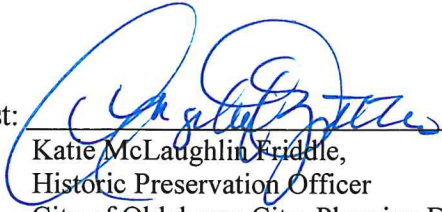
In accordance with the §59-4250.4.J of the City of Oklahoma City Municipal Code, also known as the Historic Preservation Ordinance, Planning Department staff has reviewed in detail the application and determined that the following items are in conformance with the provisions of the Historic Preservation Ordinance and Design and Sustainability Standards and Guidelines for Oklahoma City Historic Districts:

1) Replace driveway (elective).

Approved: August 8, 2022
Effective: August 23, 2022
Expiration: August 23, 2023

The enclosed 3 attachment(s) must remain attached for this document to be valid.

Attest:


Katie McLaughlin Friddle,
Historic Preservation Officer
City of Oklahoma City, Planning Department

Please contact the Planning Department (405/297-1831) for final inspection of your design review project upon completion.

Your project may require a permit. Please check with the Plan Review section of the Development Services Department, 8th Floor, 420 W Main St (405/297-2525), for details. To obtain a permit, please submit the Certificate of Approval with the original attachments stamped "approved." Please contact the Planning Department (405/297-1831) for inspection of your design review project upon completion.



The City of
OKLAHOMA CITY

Staff Only:

Date Stamp

Zoning: HP or HL

District: HP

HPCA- 22-00122

Received by: dog

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

NOTE: any relevant permits must be applied for and paid for separately in the Development Services Dept.

NOTE: Contact Historic Preservation Staff for final design inspection when work is complete.

Please select: ☒ New Project ☐ Revision ☐ Extension ☐ Violation Notice Issued

Location of Proposed Work (Address): 627 NW 16th Street, Oklahoma City, OK 73103

Legal Description of Property (lot, block, addition): University Addition Block 070 Lot 29 & 30

Year built: 1910 Exterior wall material: Wood Floor area: 2084 sq.ft.

Itemized Work Items (List EACH ITEM proposed. Work not listed here will NOT be reviewed):

☐ New Construction ☐ Addition ☐ Fence ☐ Demolition (specify structure) _____

☒ Paving (specify) Driveway ☐ Renovation (specify) _____

☐ Work not specified above _____

Owner's Authorization

I hereby certify that all above statements and statements contained in all attached and transmitted exhibits are true to the best of my knowledge and belief. In the event this proposal is approved and begun, I agree to complete the changes in accordance with approved plans in a good and workmanlike manner. I authorize the City of Oklahoma City to enter the property for the purpose of observing and photographing the project for presentations and to ensure consistency between the approved proposal and the completed project.

☐ (If applicable): I authorize my representative to speak for me in matters regarding this application. Any agreement made by my representative regarding this proposal will be binding upon me.

Owner's Signature

Date 07/06/2022

Name (printed) Judd A Schrader

Organization _____

Address 627 NW 16th Street

Phone 405.896.0757

City, State, Zip Oklahoma City, OK 73103

Email juddschrader@gmail.com

I prefer to be: ☐ Mailed or ☒ Emailed.

Representative Signature

Date _____

Name (printed) _____

Organization _____

Address _____

Phone _____

City, State, Zip _____

Email _____

I prefer to be: ☐ Mailed or ☐ Emailed.

Contact: ☒ Owner ☐ Representative

Is Federal money, a federal license or a federal permit included/required for any part of this project? Yes ☒ No

If yes, what Federal agency? N/A

Is the property owner pursuing the Federal Tax Credits for Rehabilitation of income producing historic properties? Yes ☒ No ☐ (For questions concerning the federal tax credit program, telephone the State Historic Preservation Office at (405) 522-4479).

NOTE: Specific deadlines apply to submission of additional documentation or requests for appeals. Should your project be continued or denied, you are responsible for compliance with those deadlines.

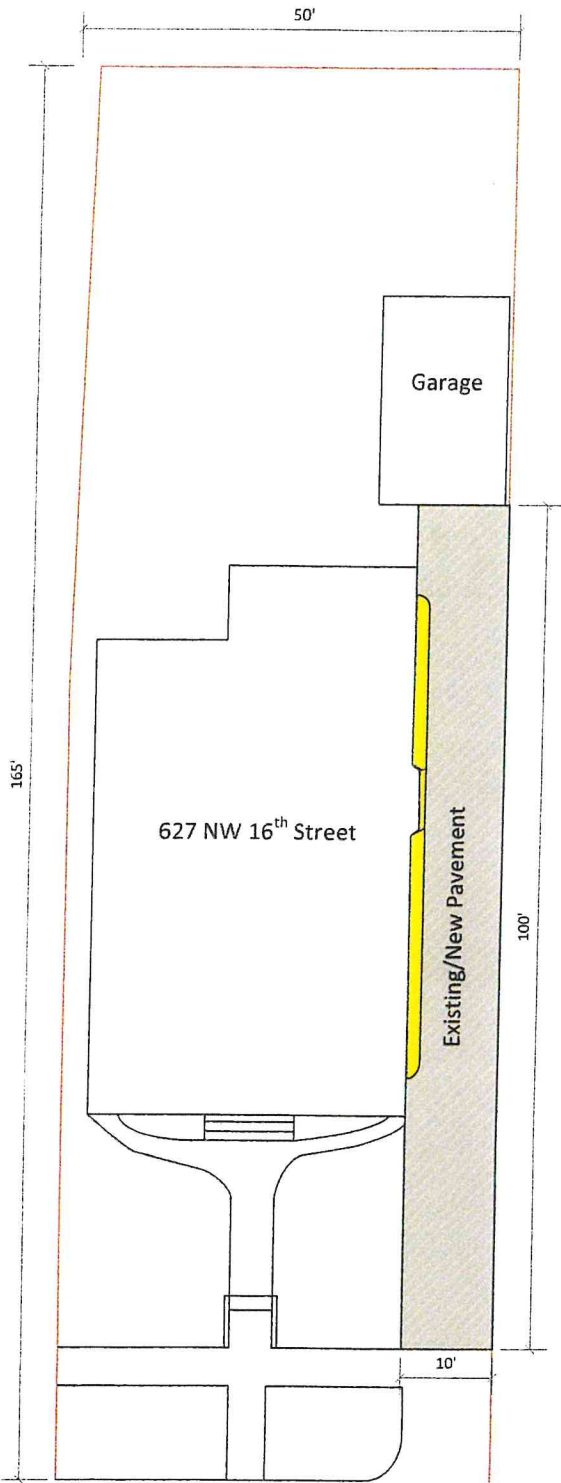
Certificate of Appropriateness

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Effective: 8 / 23 / 22 Expiration: 8 / 23 / 23

Notes: _____

By: [Signature]



Application is to request permission to replace the existing concrete driveway. The new drive will be tinted with the same color as the previously replaced approach and sidewalks. The yellow section is dirt that we would like to incorporate into the driveway. Nothing has ever grown in this area due to lack of sun and water. However, if that holds up the permit approval we are fine with leaving it as is. The dirt section is approximately 2' wide except the thinner section by the bay window which is less than 1'.



NW 16th Street

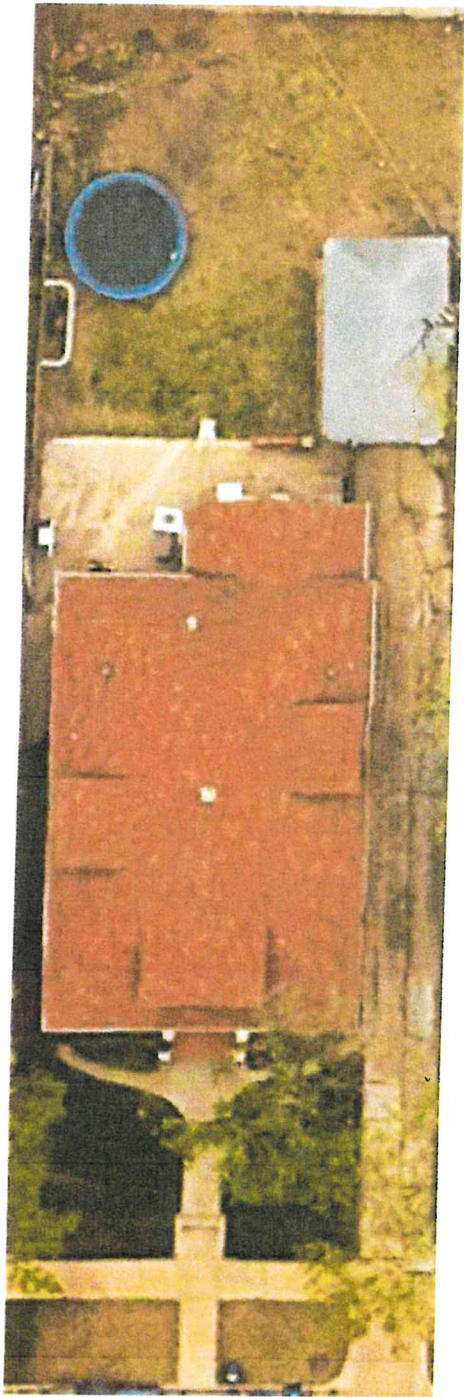
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Notes: not to exceed 10 feet in width

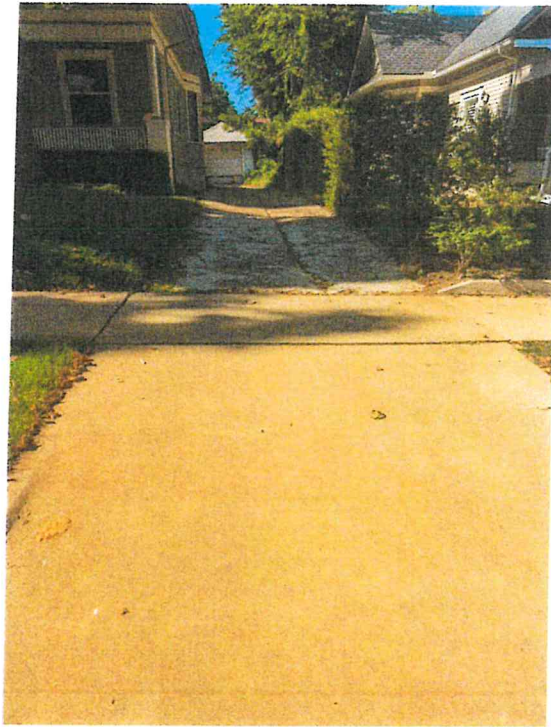
By: [Signature]



Property Overhead



North end of Driveway



Drive From Street

Certificate of Appropriateness

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 By: _____