



The City of OKLAHOMA CITY

HISTORIC DISTRICT AND HISTORIC LANDMARK CERTIFICATE OF APPROPRIATENESS HPCA-22-00120

Owner: Barry Johnson
426 NW 17th Street
Oklahoma City, OK 73103-
3427

Representative: Tim Phelps Carpentry
7541 NW 114th Street
Oklahoma City, OK 73162

On 7/28/2022, Planning Department staff received your request for a Historic Preservation Certificate of Appropriateness for the property located at **426 NW 17th Street**.


In accordance with the §59-4250.4.J of the City of Oklahoma City Municipal Code, also known as the Historic Preservation Ordinance, Planning Department staff has reviewed in detail the application and determined that the following items are in conformance with the provisions of the Historic Preservation Ordinance and Design and Sustainability Standards and Guidelines for Oklahoma City Historic Districts:

1) Replace soffits and sill plates; 2) Replace and repair wall framing; 3) Replace tar paper; 4) Reinstall existing brick using Type O or softer mortar; 5) Install concrete patio; 6) Install french drain; 7) Install new sidewalks; and 8) Relocate electric meter to south wall (rear).

Approved: August 22, 2022
Effective: September 7, 2022
Expiration: September 7, 2023

The enclosed 8 attachment(s) must remain attached for this document to be valid.

Attest:


Katie McLaughlin Friddle,
Historic Preservation Officer
City of Oklahoma City, Planning Department

Please contact the Planning Department (405/297-1831) for final inspection of your design review project upon completion.

Your project may require a permit. Please check with the Plan Review section of the Development Services Department, 8th Floor, 420 W Main St (405/297-2525), for details. To obtain a permit, please submit the Certificate of Approval with the original attachments stamped "approved." Please contact the Planning Department (405/297-1831) for inspection of your design review project upon completion.



The City of
OKLAHOMA CITY

Staff Only: _____ Date Stamp _____

Zoning: HP or HL

District: HH

HPCA- 22-00120

Received by: [Signature]

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

NOTE: any relevant permits must be applied for and paid for separately in the Development Services Dept.

NOTE: Contact Historic Preservation Staff for final design inspection when work is complete.

Please select: ☒ **New Project** ☐ **Revision** ☐ **Extension** ☐ **Violation Notice Issued**

Location of Proposed Work (Address): 426 NW 17th St. OKC OK 73103

Legal Description of Property (lot, block, addition): Winans Highland Terr Block 006 Lot 005

Year built: 1920 Exterior wall material: Brick Floor area: 2600 sq.ft.

Itemized Work Items (List EACH ITEM proposed. Work not listed here will NOT be reviewed):

☐ **New Construction** ☐ **Addition** ☐ **Fence** ☐ **Demolition** (specify structure) _____

☐ **Paving** (specify) _____ ☒ **Renovation** (specify) _____

Repair rotting sill, relocate electric service, 2x14 post addition

☐ **Work not specified above**

Certificate of Appropriateness

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Effective: 9/17/22 Expiration: 9/17/23

Owner's Authorization

Notes:

I hereby certify that all above statements and statements contained in all attached and transmitted exhibits are true to the best of my knowledge and belief. In the event this proposal is approved and begun, I agree to complete the changes in accordance with approved plans in a good and workmanlike manner. I authorize the City of Oklahoma City to enter the property for the purpose of observing and photographing the project for presentations and to ensure consistency between the approved proposal and the completed project.

☒ (If applicable): I authorize my representative to speak for me in matters regarding this application. Any agreement made by my representative regarding this proposal will be binding upon me.

Owner's Signature [Signature]

Date August 18, 2022

Name (printed) Barry L. Johnson

Organization _____

Address 426 NW 17th St.

Phone 405-514-9544

City, State, Zip Oklahoma City, OK 73103

Email bjohnsonokc@yahoo.com

I prefer to be: ☐ Mailed or ☒ Emailed.

Representative Signature [Signature]

Date August 18, 2022

Name (printed) Timothy Phelps

Organization Tim Phelps Carpentry LLC

Address 7541 NW 114th St

Phone 580-284-8529

City, State, Zip Oklahoma City, OK 73162

Email timpelpscarpentry@gmail.com

I prefer to be: ☐ Mailed or ☒ Emailed.

Contact: ☐ Owner ☒ Representative

Is Federal money, a federal license or a federal permit included/required for any part of this project? Yes / No

If yes, what Federal agency? N/A

Is the property owner pursuing the Federal Tax Credits for Rehabilitation of income producing historic properties? Yes / No (For questions concerning the federal tax credit program, telephone the State Historic Preservation Office at (405) 522-4479).

NOTE: Specific deadlines apply to submission of additional documentation or requests for appeals. Should your project be continued or denied, you are responsible for compliance with those deadlines.



Contractor: Kent Martin Masonry

Date: August 19, 2022

Project: Historical Home

To Whom It May Concern:

I hereby certify that Ash Grove Packaging Portland Lime Type "O" pre-blended mortar as manufactured by Materials Packaging Corp. meets ASTM C 270-07 *Standard Specification for Unit Masonry Table 2 Property Specification* requirements.

Mortar Testing: Laboratory testing performed according to ASTM C270-07 *Specification for Mortar for Unit Masonry* shall be used to determine compressive strength for mortar. Field testing of mortar performed according to ASTM C 780 *Specification for Pre-Construction and Construction Evaluation of Mortars for Unit Masonry* is not a test for determining compressive strength and shall not be used to determine compressive strength, but shall be used to determine consistency from batch to batch. Ash Grove Packaging Type "O" pre-blended mortar as manufactured by Materials Packaging Corp. will achieve a minimum compressive strength of 350 psi in 28 days when tested according to ASTM C 270-07.

Chance Wabaunsee

Materials Packaging Corporation
CCMTT #9800

Certificate of Appropriateness

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Notes: _____

By:



Tim Phelps Carpentry, LLC
7541 NW 114th St
Oklahoma City, OK 73162

RE: 426 NW 17th St

Scope of Project:

This project involves restoration of the home located at 426 NW 17th St., Oklahoma City, Oklahoma, 73103.

The project includes in-kind replacement of rotted soffit and rotted sill plate. The project will also include replacement and repair of wall framing as needed. Upon Historic Preservation's recommendation, the vapor barrier will not be installed. Instead, in-kind tar paper matching the original will be installed.

We will reinstall existing brick, waterproofing membrane, and a French drain. We will install new sidewalks.

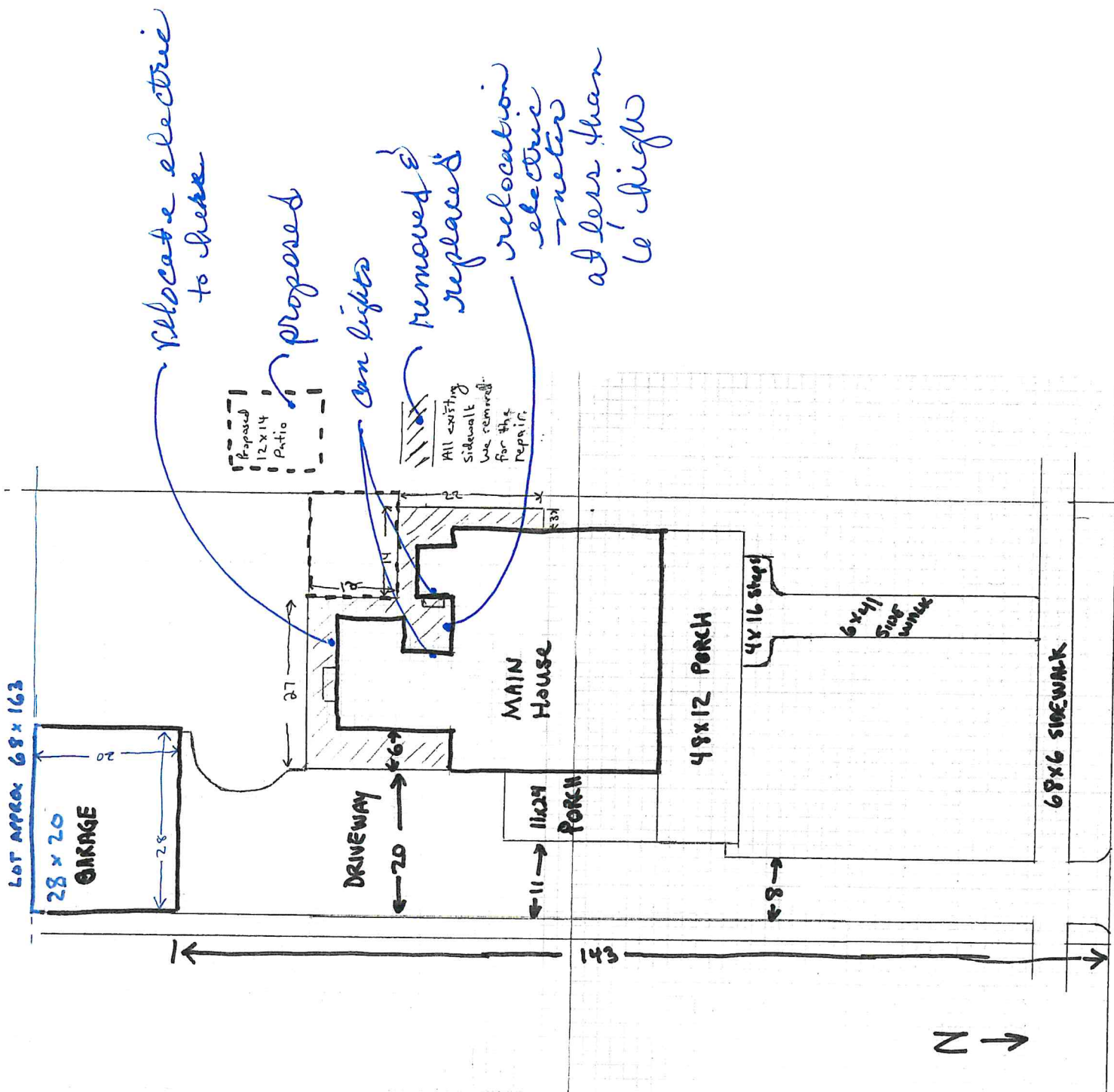
Tim Phelps
Tim Phelps Carpentry, LLC

Type O mortar

12

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Notes: _____

By: [Signature]



Certificate of Appropriateness

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Effective: 9 / 7 / 22 Expiration: 9 / 7 / 25

Notes: _____

By: [Signature]

426 N.W. 17th St., 73103

Certificate of Appropriateness

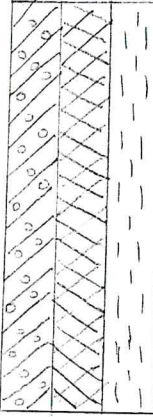
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Notes: _____

By: [Signature]

LEGEND:

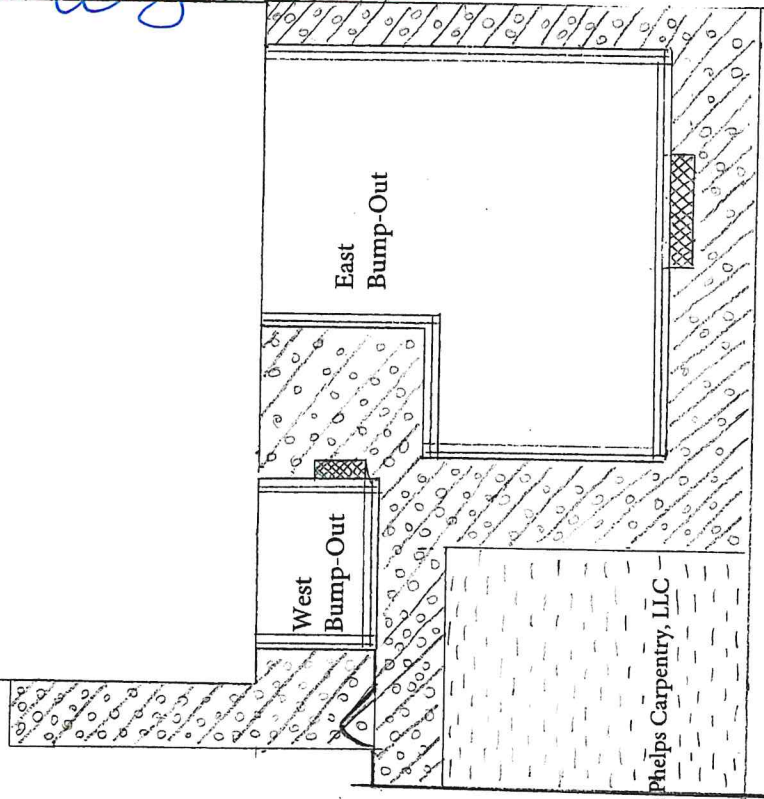


SIDEWALKS:

SINGLE STEPS:

PATIO:

SCALE: 3/16"=1 FT.



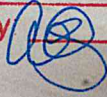
Tim Phelps Carpentry, LLC

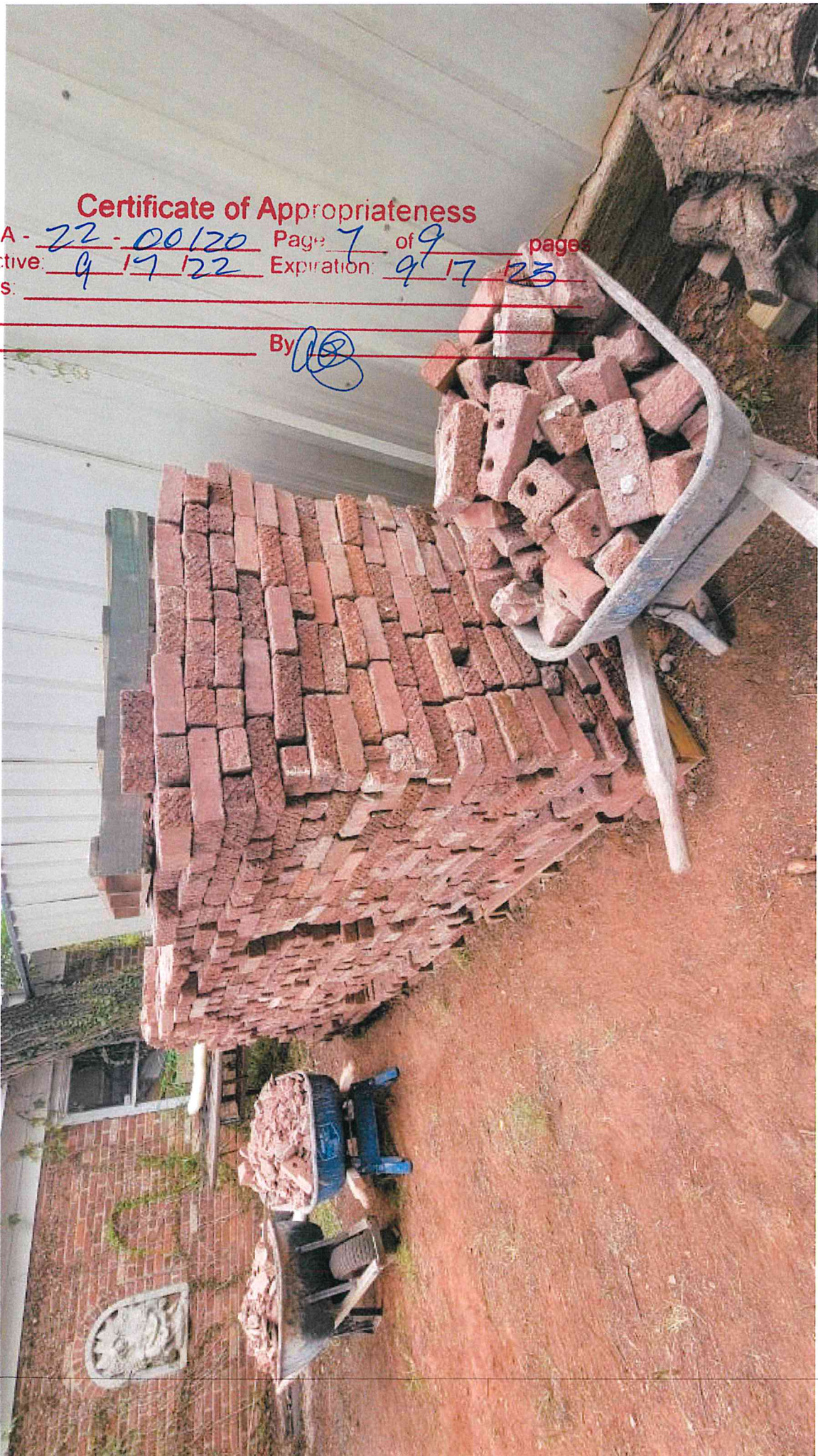
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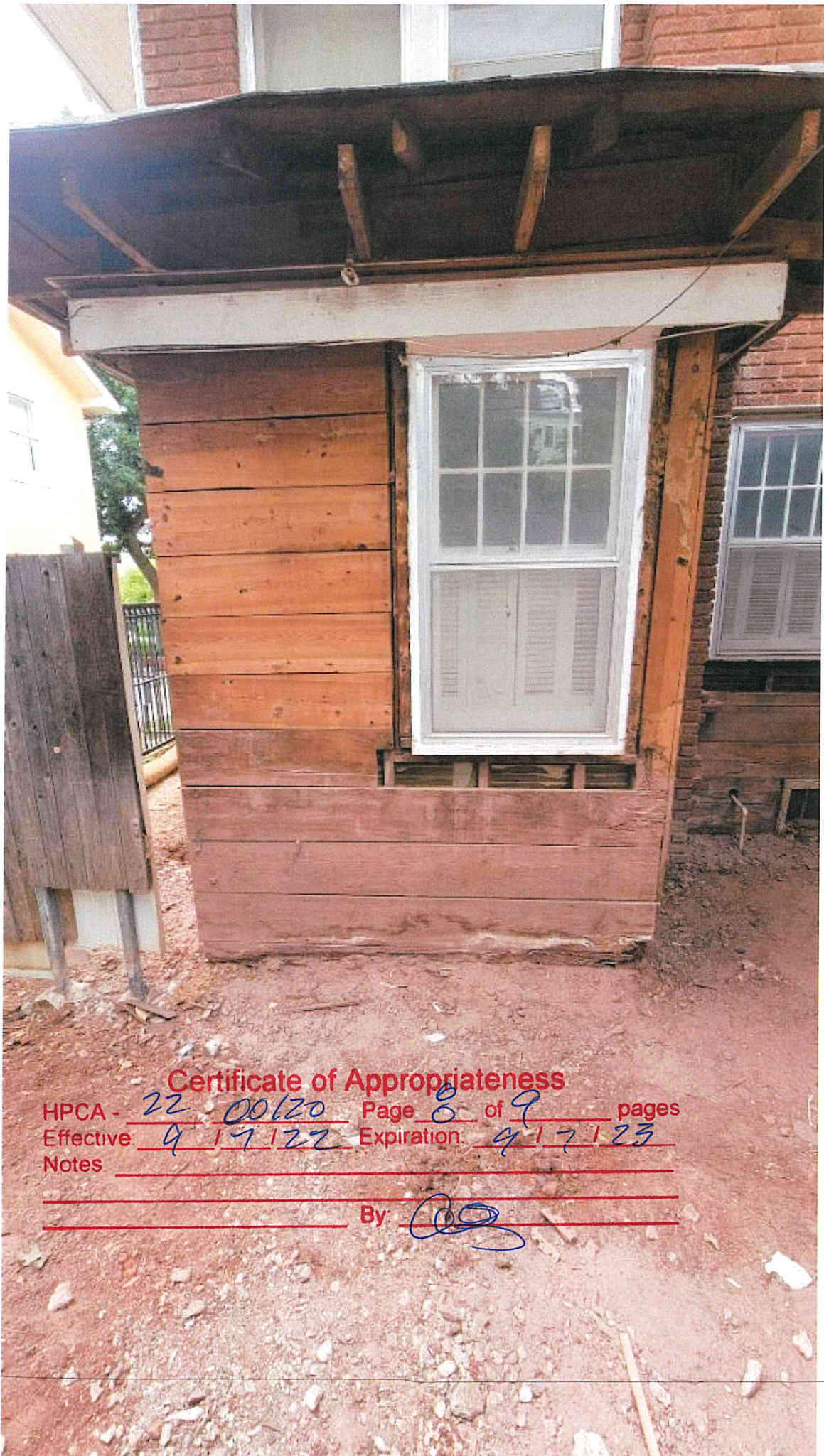
Certificate of Appropriateness

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By _____



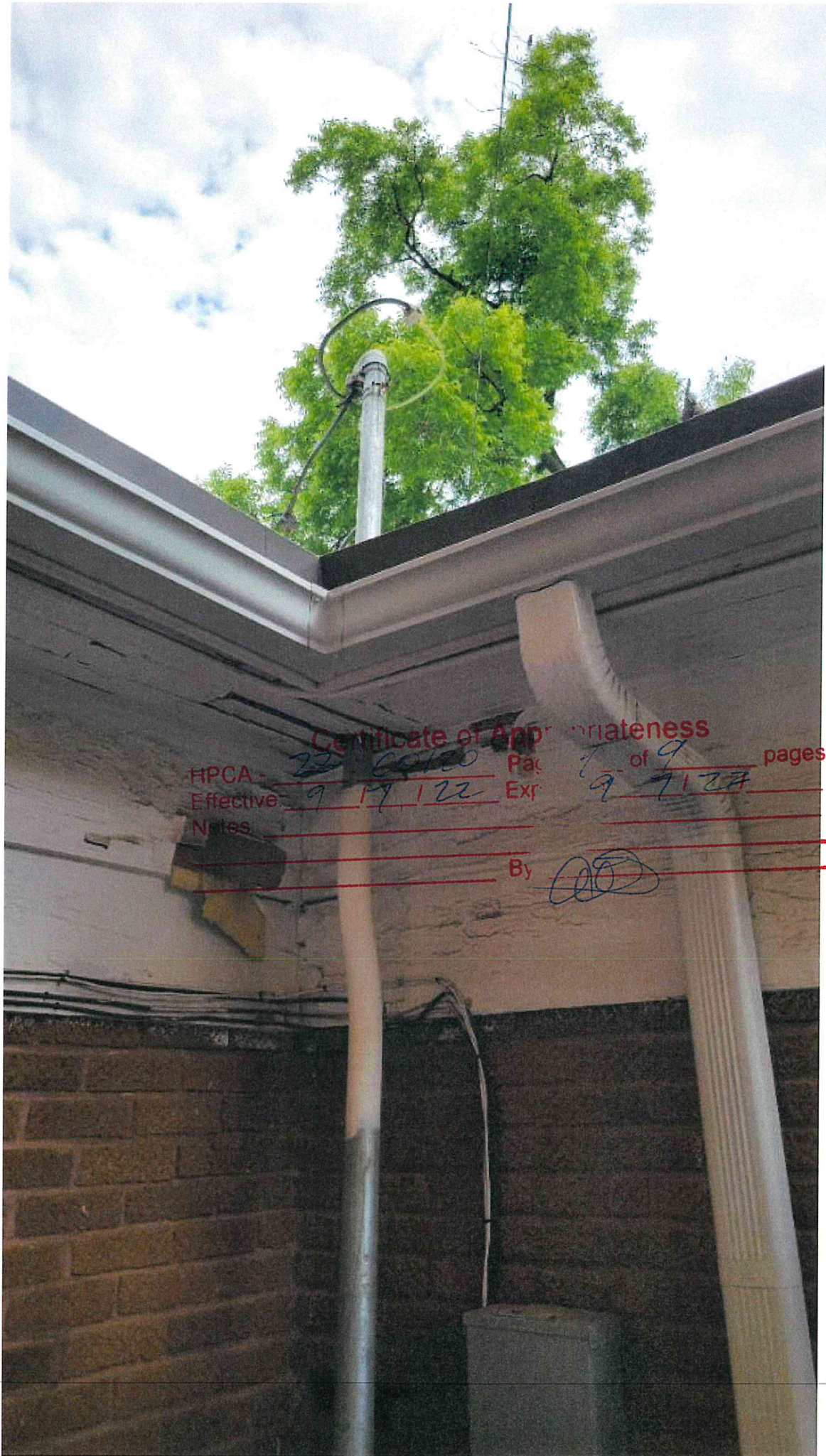




Certificate of Appropriateness

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Notes _____

By: [Signature]



Certificate of Appropriateness

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Effective 9/19/22 Exp 9/7/27
Notes _____

By [Signature]