



# The City of OKLAHOMA CITY

## HISTORIC DISTRICT AND HISTORIC LANDMARK CERTIFICATE OF APPROPRIATENESS HPCA-22-00108

**Owner:** Amanda King  
206 NW 18th Street  
Oklahoma City, OK 73103-  
1902

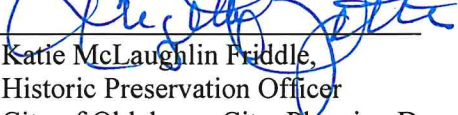
On AA pending, Planning Department staff received your request for a Historic Preservation Certificate of Appropriateness for the property located at **206 NW 18<sup>th</sup> Street**.

In accordance with the §59-4250.4.J of the City of Oklahoma City Municipal Code, also known as the Historic Preservation Ordinance, Planning Department staff has reviewed in detail the application and determined that the following items are in conformance with the provisions of the Historic Preservation Ordinance and Design and Sustainability Standards and Guidelines for Oklahoma City Historic Districts:

**1) Replace door (elective); 2) Replace back porch skirting (elective). 3) Relocate fence (elective); and 4) Install pool, coping and mechanical equipment (elective).**

Approved: September 12, 2022  
Effective: September 27, 2022  
Expiration: September 27, 2023

The enclosed 11 attachment(s) must remain attached for this document to be valid.

Attest:   
Katie McLaughlin Priddle,  
Historic Preservation Officer  
City of Oklahoma City, Planning Department

**Please contact the Planning Department (405/297-1831) for final inspection of your design review project upon completion.**

*Your project may require a permit. Please check with the Plan Review section of the Development Services Department, 8th Floor, 420 W Main St (405/297-2525), for details. To obtain a permit, please submit the Certificate of Approval with the original attachments stamped "approved." Please contact the Planning Department (405/297-1831) for inspection of your design review project upon completion.*



The City of  
OKLAHOMA CITY

# APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

NOTE: any relevant permits must be applied for and paid for separately in the Development Services Dept.  
NOTE: Contact Historic Preservation Staff for final design inspection when work is complete.

Please select: ☒ New Project ☐ Revision ☐ Extension ☐ Violation Notice Issued

Location of Proposed Work (Address): 206 NW 18th St. OKC, OK 73103

Legal Description of Property (lot, block, addition):

Year built: 1921 Exterior wall material: Stucco Floor area: 2220 sq.ft.

Itemized Work Items (List EACH ITEM proposed. Work not listed here will NOT be reviewed):

☐ New Construction ☐ Addition ☒ Fence ☐ Demolition (specify structure)

☐ Paving (specify) ☐ Renovation (specify)

☒ Work not specified above New Front door, moving Fence, installing a pool? Replace wood on deck

## Owner's Authorization

I hereby certify that all above statements and statements contained in all attached and transmitted exhibits are true to the best of my knowledge and belief. In the event this proposal is approved and begun, I agree to complete the changes in accordance with approved plans in a good and workmanlike manner. I authorize the City of Oklahoma City to enter the property for the purpose of observing and photographing the project for presentations and to ensure consistency between the approved proposal and the completed project.

☒ (If applicable): I authorize my representative to speak for me in matters regarding this application. Any agreement made by my representative regarding this proposal will be binding upon me.

## Owner's Signature

Name (printed)

Address

City, State, Zip

I prefer to be: ☐ Mailed or ☒ Emailed.

## Representative Signature

Name (printed)

Address

City, State, Zip

I prefer to be: ☐ Mailed or ☐ Emailed.

Contact: ☒ Owner ☐ Representative

Is Federal money, a federal license or a federal permit included/required for any part of this project? Yes ☐ No ☒

If yes, what Federal agency?

Is the property owner pursuing the Federal Tax Credits for Rehabilitation of income producing historic properties? Yes ☐ No ☒ (For questions concerning the federal tax credit program, telephone the State Historic Preservation Office at (405) 522-4479).

NOTE: Specific deadlines apply to submission of additional documentation or requests for appeals. Should your project be continued or denied, you are responsible for compliance with those deadlines.

Staff Only:

Date Stamp

Zoning: HP or HL

District: HH

HPCA: 22-00108

Received by: [Signature]

7/8/22

## Certificate of Appropriateness

HPCA - 22-00108 Page 2 of 17 pages

Effective: 9/29/2022 Expiration: 9/29/23

Notes:

By: [Signature]

Door - Replace rotting wood door with a new glass door.  
\* SEE attached drawing

Fence - Move East Fence section out to stem wall. (6 ft cedar plank with top cap)

Pool - Add an inground gunite pool (12' X 24') with a small fountain wall on north side.  
(Drainage already addressed with existing through French drain next to garage)  
\* SEE attached drawing

Deck - Replace rotting wood with new wood planks (skirting)

### Certificate of Appropriateness

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Effective: 9 / 29 / 22 Expiration: 9 / 29 / 23  
Notes: \_\_\_\_\_

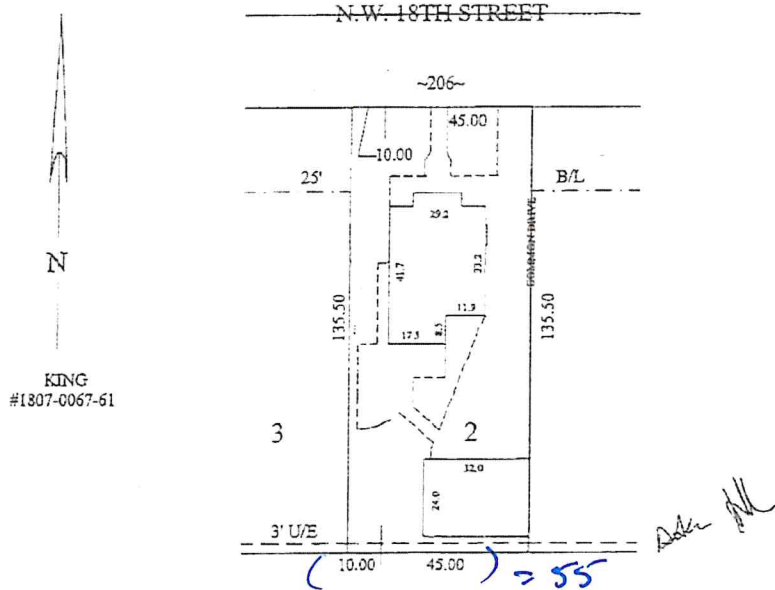
By: [Signature]



By: [Signature]

Subject property lies within the boundaries of Flood Zone "X", an Area of Minimal Flood Hazard as shown on Community-Panel Number 40109C0285H dated 12-18-2009.

BLOCK 21  
WINAN'S HIGHLAND TERRACE ADDITION



Notice recorded in Book 9009, page 343 and Ordinances recorded in Book 4355, page 1125; Book 4341, page 61 and Book 4393, page 893 affect subject property as stated in the filed instruments.

MORTGAGE INSPECTION REPORT

I, CHRISTOPHER D. HUGHES, a Professional Land Surveyor, hereby certify that I have prepared this Mortgage Inspection Report of: The North 135.5 feet of the West 45 feet of Lot Two (2) and the North 135.5 feet of the East 10 feet of Lot Three (3), in Block Twenty-one (21), of Blocks 9 to 22, Inclusive of WINAN'S HIGHLAND TERRACE ADDITION, to Oklahoma City, Oklahoma County, Oklahoma

according to the recorded plat thereof. I further certify that the improvements on the above described property, except utility connections, are entirely within the property, except as shown, there are no encroachments of the improvements thereon upon the adjoining property or of adjacent improvements upon the described property. This inspection was made for loan purposes only and no other responsibility is herein assumed. Fences and landscape features are not considered to be improvements for the purpose of this report.

The Mortgagee's inspection was prepared for identification purposes for the Mortgagee in connection with a new mortgage and it is not intended to represent a land or property line survey. No corners were set. Do not use for establishing fence or building lines. No responsibility is extended herein to the landowner or occupant.

The property is known as:  
206 N.W. 18<sup>th</sup> Street  
Oklahoma City, Oklahoma

Christopher D. Hughes



Subscribed and sworn to before the Undersigned, a Notary Public in and for the County and State of Oklahoma, this 27<sup>th</sup> day of July, 2018. My Commission Expires: May 5, 2021.





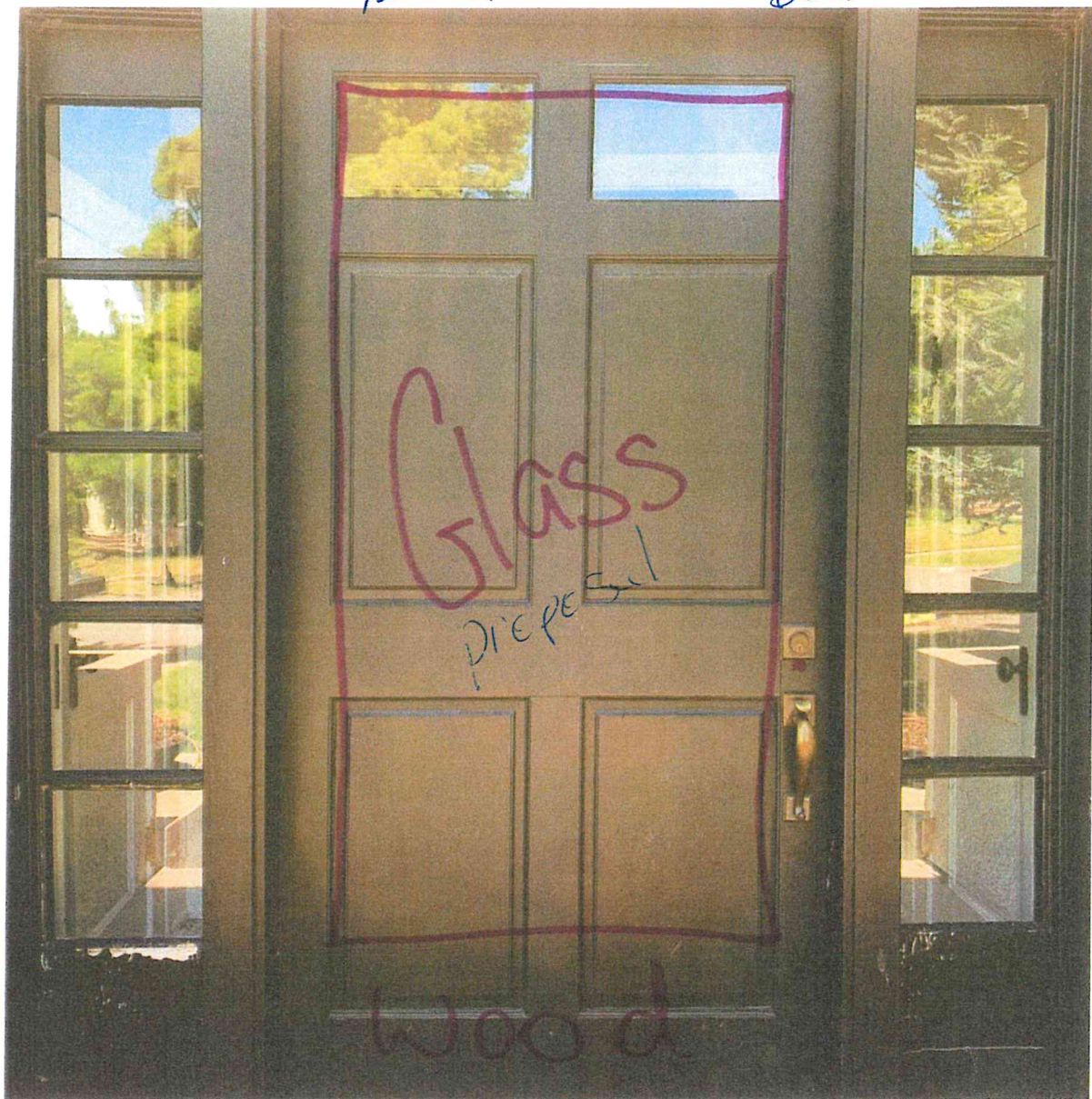
Certificate of Appropriateness

HPCA - 22-00008 Page 5 of 12 pages  
 Effective: 9/27/22 Expiration: 9/27/23  
 Notes: \_\_\_\_\_

By: [Signature]



42" x 82" Non-historic  
Door



### Certificate of Appropriateness

HPCA - 22 - 00108 Page 6 of 12 pages

Effective: 9 / 27 / 22 Expiration: 9 / 27 / 28

Notes: \_\_\_\_\_

By: \_\_\_\_\_



## CAD Drawing

Quote # SQFV004161\_1

Forest Door & Window  
80 N. May Ave  
Oklahoma City, OK 73107

ROGUE VALLEY  
Door

Entered By: Andrew Eason

2/9/2022

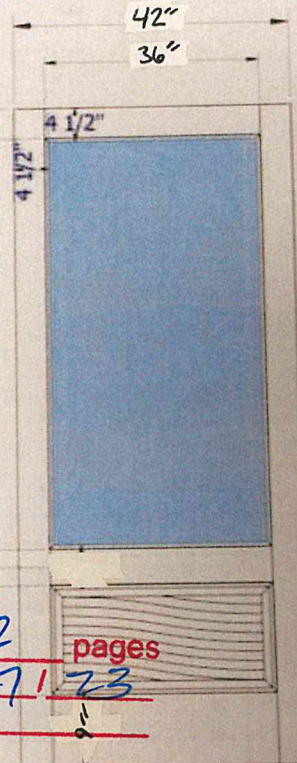
### Door Info

Thickness	1-3/4
Pattern	4621
Species	MAHOGANY
Width	42"
Height	82"
Stile	4-1/2
Sticking	Mod Ovolo Sticking
Top Rail	4 1/2
Bottom Rail	9 1/4
Glass Type	1/4 tempered
Panel Type	1-3/8 HRP
Rogue Premium	

### Additional Details

Door Model - 4621, Bevel to the  
APPLIED side, Glass Thickness 1/4"  
Stile and Rail Dimensions Includes 1/2"  
Sticking Width, Standard Lead-Time

Name : OLD HOME RESCUE PRAIRIE



## Certificate of Appropriateness

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Effective: 9 / 27 / 22 Expiration: 9 / 27 / 23

Notes:

By: CEB

1/4" tempered glass

18" to match  
side lites



P-801478-1

All images are interior view

Est Weight: 110

Our Valued Customer

FOREST

Page 2 of 2



Replace wood skirt in kind



**Certificate of Appropriateness**


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Effective 9 / 27 / 22 Expiration: 9 / 27 / 23  
Notes \_\_\_\_\_  
\_\_\_\_\_  
By DES



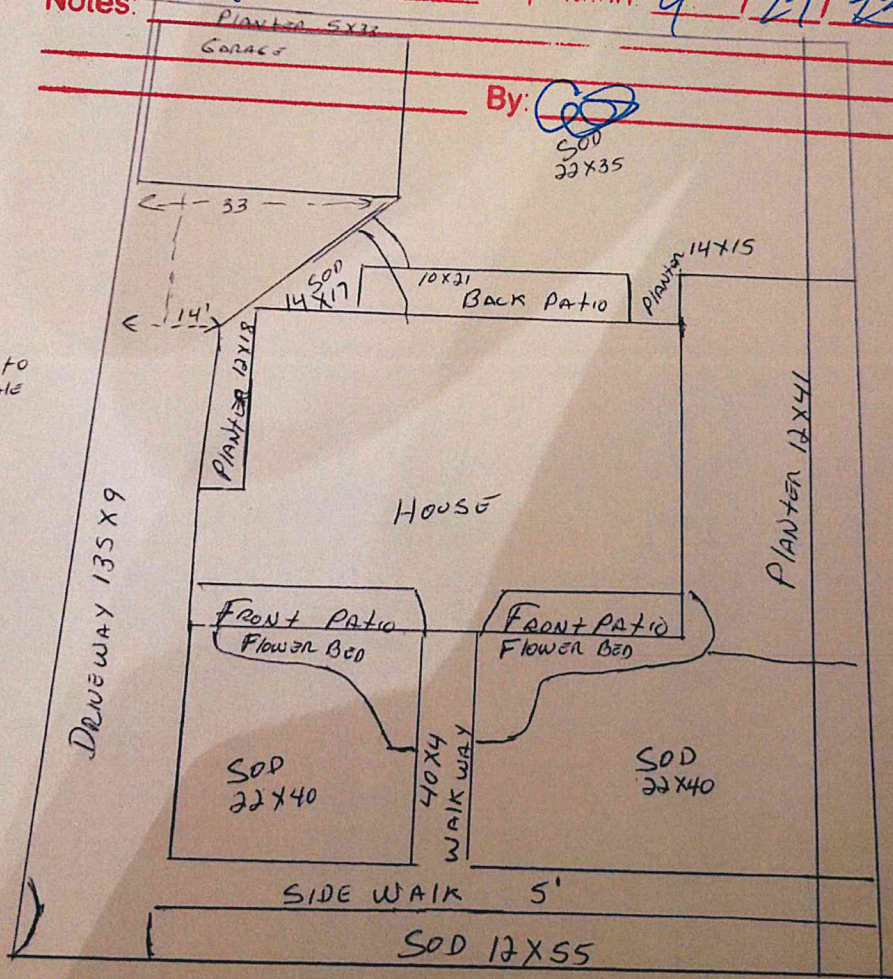
AMANDA NOSSAMANN  
206 NW 18 ST

# Certificate of Appropriateness

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Effective: 9/27/22 Expiration: 9/27/23  
Notes:

By:   
SOD  
22X35

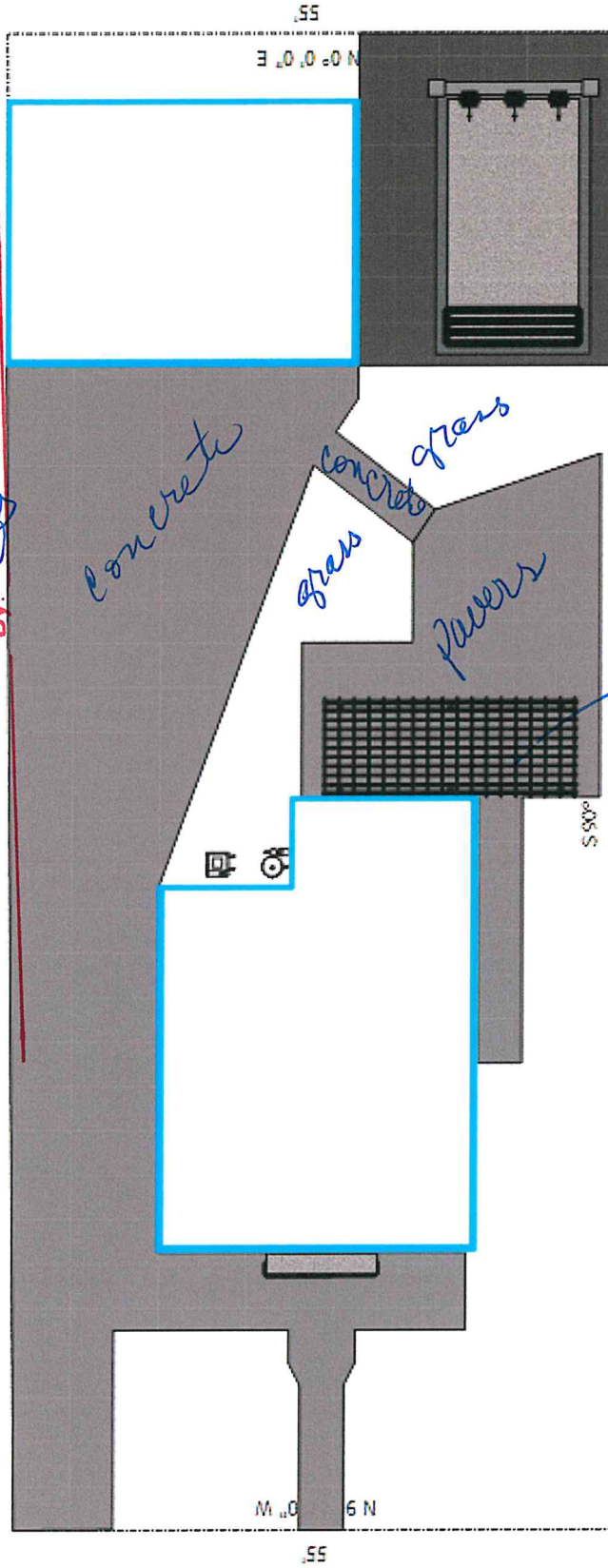
NOT TO  
SCALE



Construction view.

**Certificate of Appropriateness**  
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Effective: 9/27/22 Expiration: 12/1/23  
Notes:

By: [Signature]



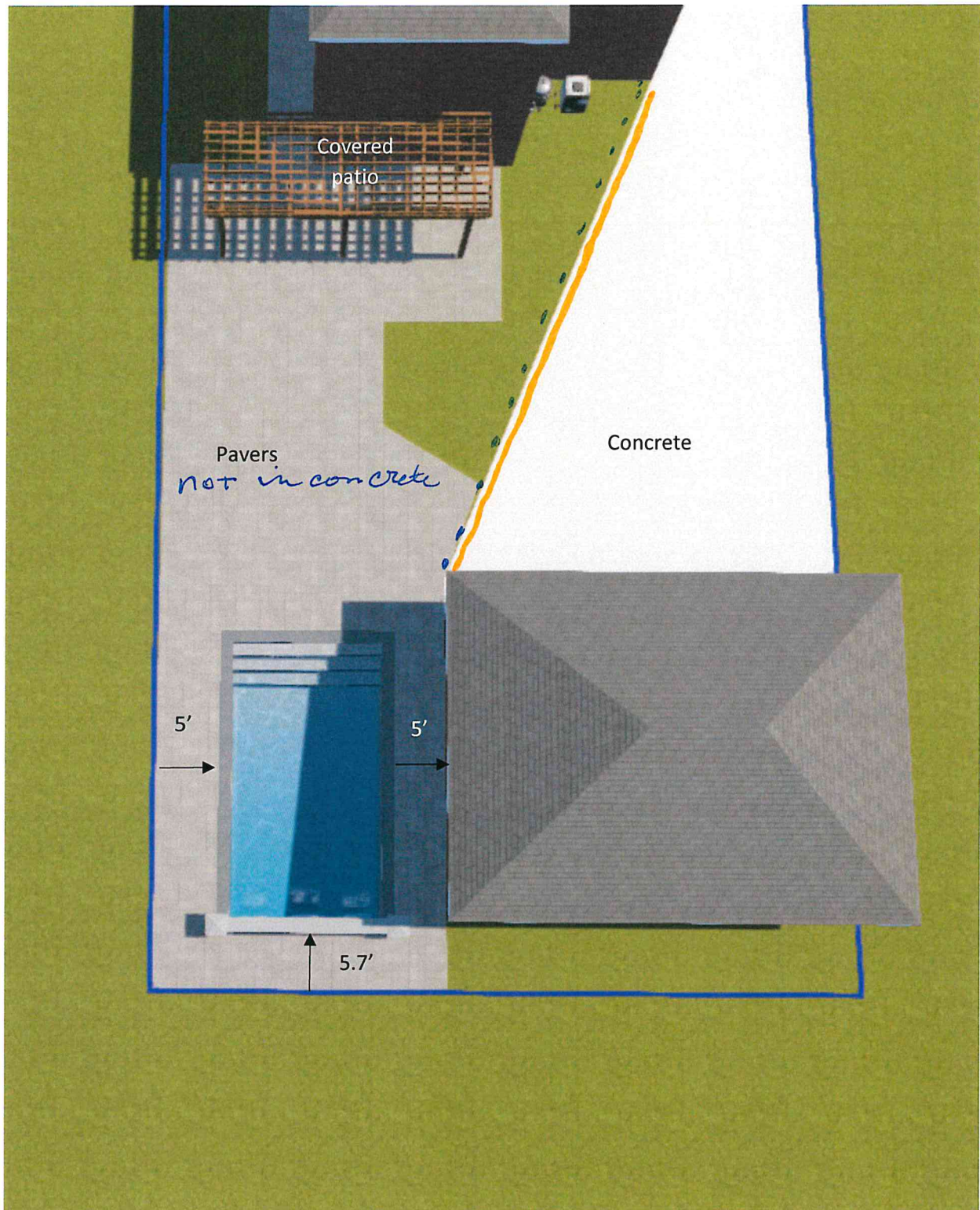
pool must be at least 5' off each property line and 5' away from garage applicant & contractor agree to this

No pergola proposed



Amanda Nossaman  
206 NW 18<sup>th</sup> St.  
Oklahoma City, OK 73103

... = fence  
— = retaining wall



### Certificate of Appropriateness

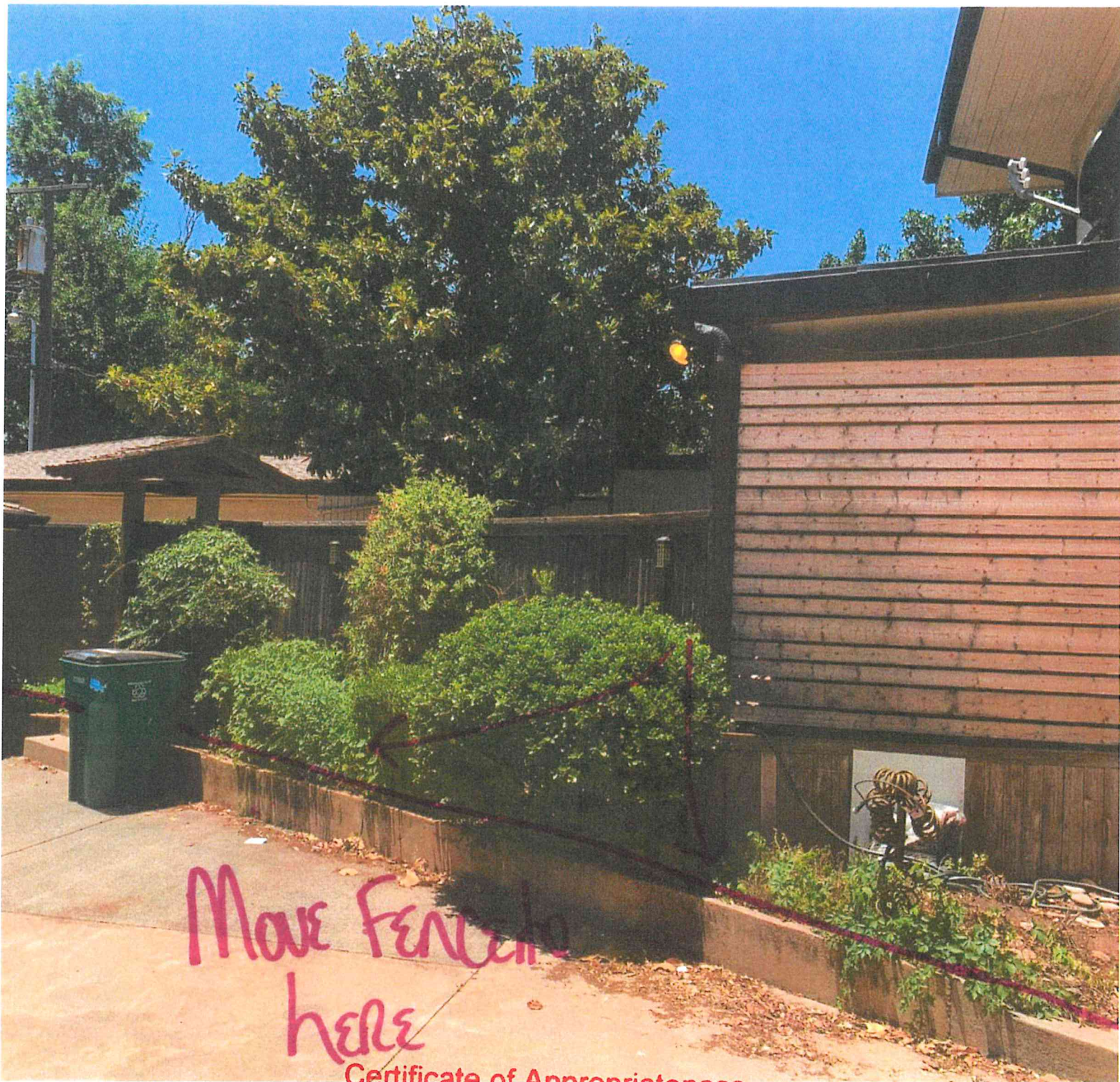
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Effective: 9/27/22 Expiration: 9/27/23

Notes: Fence is not on retaining wall

By: \_\_\_\_\_





### Certificate of Appropriateness

HPCA - 22 - 00108 Page 12 of 12 pages  
Effective: 9/29/2 Expiration:     /    /      
Notes: fence does not attach to or  
disturb retaining wall  
By: [Signature]