

RESIDENTIAL

THE CITY OF OKLAHOMA CITY
PLANNED UNIT DEVELOPMENT
PUD- 1896

DESIGN STATEMENT
FOR 13665 SE 59th Street

PREPARED BY:

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SECTION 1.0 INTRODUCTION

The Planned Unit Development (PUD) of 13665 SE 59th Street, consisting of 9.7 acres is located within the SE /4 of Section 22, Township 11 N, Range 1 W, of the Indian Meridian, Oklahoma County, Oklahoma. The subject property is generally located west of S Henny Road Street and north of SE 59th Street.

SECTION 2.0 LEGAL DESCRIPTION

The legal description of the property comprising the proposed PUD of 13665 SE 59th Street is described in Exhibit A, attached and is made a part of this Design Statement.

SECTION 3.0 OWNER/DEVELOPER

The owner of this property described in Section 2.0 is Zac & Kelsey McLain. The developer of the property is same.

SECTION 4.0 SITE AND SURROUNDING AREA

The subject property is presently used for residential. Surrounding properties are zoned and used for:

North: AA District and used for undeveloped.
East: AA District and used for residential.
South: AA District and used for residential.
West: AA District and used for undeveloped.

The above surrounding properties include no PUD Districts.

The relationship between the proposed use of this parcel and the above adjoining land uses is compatible.

SECTION 5.0 PHYSICAL CHARACTERISTICS

The elevation of the subject property is 1210 and the slope analysis reveals 1% in the front of the property and 5% in the back of the property. The subject property has sandy loam soil characteristics and the tree cover on the property is 40%. This property is in the Hog Creek drainage basin and there are 2 acres in the drainage area. 20% of the property is in the 50 or 100 year flood plain.

There is 1 common open space and natural resource areas in this Planned Unit Development, including native rock outcroppings, steep slopes, environmentally sensitive lands, wildlife habitats, stream corridors, significant mature trees or tree canopies, which are shown on the Master Development Plan.

SECTION 6.0 CONCEPT

The concept for this PUD is to allow the property to be split into two lots (2.06 & 7.41 acres).

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SECTION 6.1 DEVELOPMENT AND SUBDIVISION VARIATIONS

The following represents variations to The City of Oklahoma City Subdivision Regulations proposed in this PUD: None

The following represents variations to the RA-2 base zoning district or other sections of the Oklahoma City Zoning Ordinance: Lot Width

SECTION 7.0 SERVICE AVAILABILITY

7.1 STREETS

The nearest street to the north is SE 44TH St, to the east is Henney Rd, to the south is 59th St. and to the west is Hiwassee Rd. These section line road all have a right of way width of 66 feet and are paved to city standards.

Proposed streets in this Planned Unit Development shall be private (public or private) and shall have right-of-way widths of: a minimum of 40 feet.

7.2 SANITARY SEWER

Sanitary sewer facilities for this property are not available. Intend to do aerobic in septic.

7.3 WATER

Water facilities for this property are not available. Intend to have wells.

7.4 FIRE PROTECTION

The nearest fire station to this property is located at 7101 s Anderson Rd OKC, OK 73150.

7.5 GAS SERVICE, ELECTRICAL SERVICE, AND TELEPHONE SERVICE

Proper coordination with the various utility companies will be made in conjunction with this development.

7.6 PUBLIC TRANSPORTATION

There are 0 bus stops in this Planned Unit Development and each will be provided with a pedestrian path and shown on the Master Development Plan.

7.7 DRAINAGE

The property within this Planned Unit Development is within the FEMA 100 year flood plain. and the location of the FEMA 100-year flood plain is delineated on the Master Development Plan.

7.8 PlanOKC

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The Land Use Plan projects this parcel to be in the Rural-Medium Intensity area and the uses proposed in this Planned Unit Development are consistent and in compliance with the Rural-Medium Intensity area standards.

8.0 SPECIAL DEVELOPMENT REGULATIONS

The following Special Development Regulations and/or limitations are placed upon the development of the PUD. Planning and zoning regulations will be those, which are in effect at the time of development of this PUD, provided, however, that the density and or intensity of the PUD shall not be increased. Development is when a permit is issued for any construction or addition to any structure on a development tract. Certain zoning districts are referred to as a part of the Special Development Regulations of this PUD. For purposes of interpretation of these Special Development Regulations, the operative and controlling language and regulations of such zoning districts shall be the language and regulations applicable to the referenced zoning districts as contained in the City of Oklahoma City's Planning and Zoning Code as such exists at the time of development of this PUD. In the event of conflict between provisions of this PUD and any of the provisions of the Oklahoma City Municipal Code, as amended (Code), in effect at the time a permit is applied for with respect to any lot, block, tract and/or parcel of land subject to this PUD, the provisions of the Code shall prevail and be controlling; provided however, that in the event of a conflict between the Special Use and Development Regulations specifically negotiated as a part of this PUD and the provisions of the Code in effect at the time a permit is applied for with respect to any lot, block, tract and/or parcel of land subject to this PUD, such Special Use and Development Regulations of this PUD shall prevail and be controlling.

8.1 USE AND DEVELOPMENT REGULATIONS

The use and development regulations of the **RA-2 Single-Family Two Acre Rural Residential District** shall govern this PUD, except as herein modified, including conditional, special permit, special exception requirements and/or accessory uses subject to their appropriate conditions and review procedures for public hearings where applicable, unless otherwise noted herein.

The following special conditions shall be made a part of this PUD:

- All RA-2 uses permitted
- A maximum of 2 lots shall be permitted
- Minimum lot size shall be 2 acres
- Minimum lot width shall be 25 feet

9.0 SPECIAL CONDITIONS

The following special conditions shall be made a part of this PUD:

9.1 FAÇADE REGULATIONS

Exterior building wall finish on all main structures, exclusive of windows and doors, shall consist of a minimum 70% brick veneer, rock or stone masonry. No more than 30% EIFS, stucco, wood, or concrete-board shall be permitted. Exposed metal or exposed concrete block buildings shall not be permitted.

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9.2 LANDSCAPING REGULATIONS

The subject parcel shall meet all requirements of the City of Oklahoma City's Landscaping Ordinance in place at the time of development. In addition, the required points for the Subdivision Buffer along the section line roads shall be doubled in this PUD.

9.3 LIGHTING REGULATIONS

The design site lighting in this PUD shall be in accordance with Chapter 59, Article XII, Section 59-12350 of the Oklahoma City Municipal Code, 2020, as amended.

9.4 SCREENING REGULATIONS

Screening shall not be required.

9.5 PLATTING REGULATIONS

Platting shall not be required.

9.6 DRAINAGE REGULATIONS

Drainage improvements, if required, will be in accordance to applicable sections of the Oklahoma City Code of Ordinances. Drainage ways may be permitted and constructed in accordance with Chapter 16 of the Oklahoma City Municipal Code, which includes certain allowances in construction standards for PUD, provided the PUD is platted with drainage areas confined to common areas. Such drainage ways must be designed to handle adequate flows and cannot be built without specific approval of the City Engineer. The maintenance will be the responsibility of the property owners. OR

Development of this parcel will comply with Chapter 16 of the Oklahoma City Municipal Code, 2020, as amended.

9.7 DUMPSTER REGULATIONS

Dumpsters shall only be permitted during construction

9.8 ACCESS REGULATIONS

There shall be one shared access point from SE 59th Street in this PUD.

Driveways within and adjacent to this Tract/parcel shall have a minimum of 200 feet of separation from driveway centerline to driveway centerline and shall meet all City design standards.

Streets or driveways on adjacent property within 200 feet of this Planned Unit Development shall be shown on the Master Development Plan.

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9.9 PARKING REGULATIONS

The design and number of all parking facilities in this PUD shall be in accordance with Chapter 59 Article X of the Oklahoma City Municipal Code, 2020, as amended.

Attached or detached garages shall count toward meeting parking requirements, provided each parking space in a garage shall be a minimum of 8½ feet by 18 feet.

9.10 SIGNAGE REGULATIONS

9.10.1 FREESTANDING ACCESSORY SIGNS

None.

9.10.2 ATTACHED SIGNS

Attached signs will be in accordance with the base zoning district regulations.

9.10.3 NON-ACCESSORY SIGNS

Non-accessory signs are specifically prohibited in this PUD.

9.10.4 ELECTRONIC MESSAGE DISPLAY SIGNS

Electronic Message Display Signs are specifically prohibited in this PUD.

9.11 ROOFING REGULATIONS

Every structure in this PUD shall have a pitched roof and have Class C roofing or better.

9.12 SIDEWALK REGULATIONS

Sidewalks are not required in this PUD.

9.13 HEIGHT REGULATIONS

The base zoning district regulations shall regulate heights of structures in this PUD.

9.14 SETBACK REGULATIONS

Unless modified herein, yard requirements in this PUD shall be the same as the base-zoning district.

9.15 PUBLIC IMPROVEMENTS

Public improvements shall be made by the property owner throughout the PUD as required by the City of Oklahoma City Public Works Department or other City, County, or State Department

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or agency. All Local, State, and Federal ordinances as they shall apply to the site will be adhered to fully.

9.16 COMMON AREAS

Maintenance of the common areas in the development shall be the responsibility of the owner(s) of said property. No structures, storage of material, grading, fill, or other obstructions, including fences, either temporary or permanent, that shall cause a blockage of flow or an adverse effect on the functioning of the storm water facility, shall be placed within the common areas intended for the use of conveyance of storm water, and/or drainage easements shown. Certain amenities such as, but not limited to, walks, benches, piers, and docks, shall be permitted if installed in a manner to meet the requirements specified above.

The boundary of the common area shall be adjusted, if necessary, to ensure that the common area covers the entire 100-year flood plain.

9.18 SPECIFIC PLAN AND FINAL PLAT

Specific plan and platting not required.

10.0 DEVELOPMENT SEQUENCE

Developmental phasing shall be allowed as a part of the development of this PUD.

11.0 EXHIBITS

The following exhibits are hereby attached and incorporated into this PUD. These exhibits are:

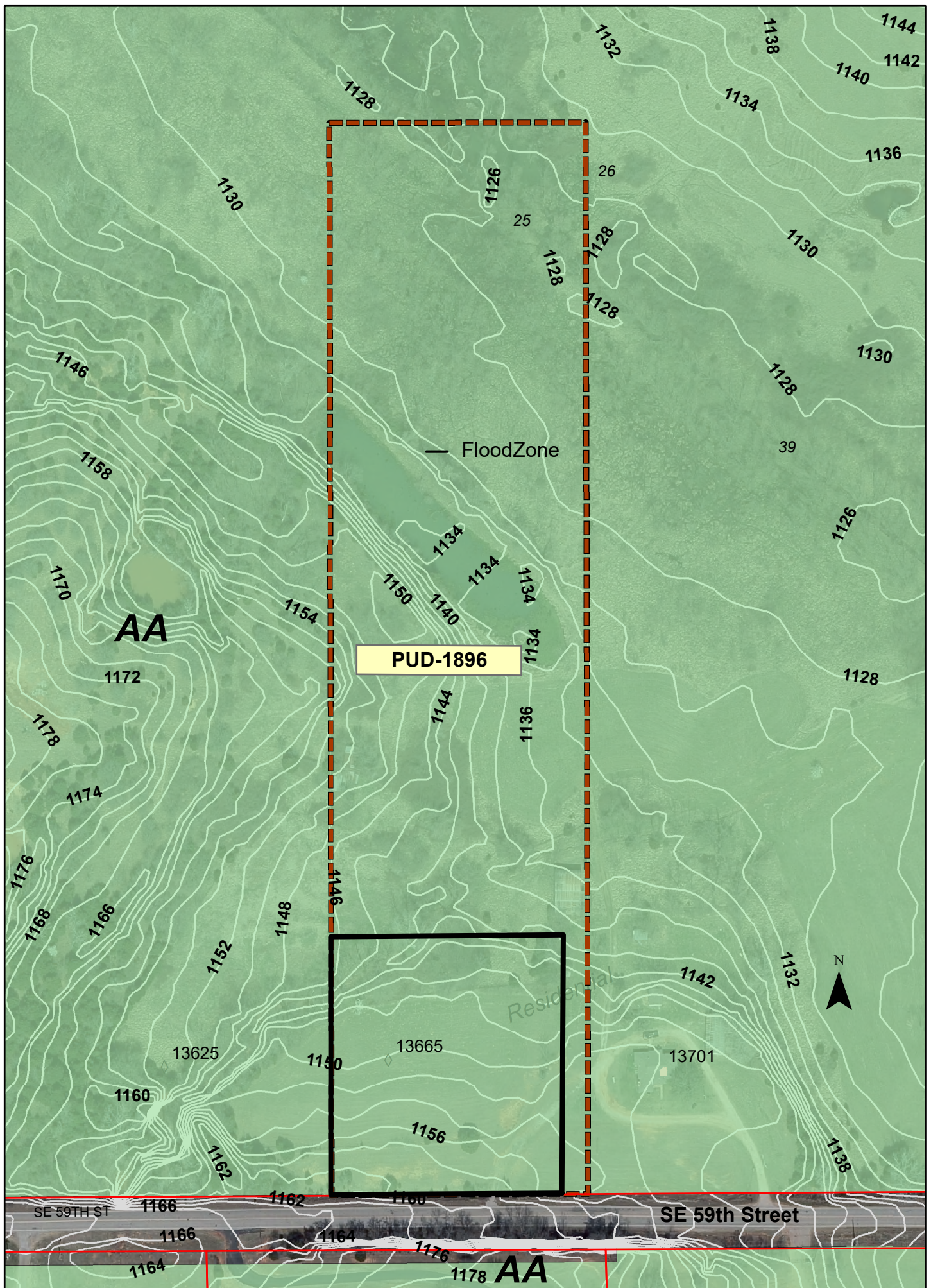
EXHIBIT A: LEGAL DESCRIPTION

EXHIBIT B: SITE PLAN & TOPO

EXHIBIT C: SURVEY

PUD-1896 Exhibit A – Legal Description

A tract of land in the Southeast Quarter (SE/4) of Section Twenty-two (22), Township Eleven (11) North, Range One (1) West of the Indian Meridian, Oklahoma County, Oklahoma, being more particularly described by Curtis Lee Hale, LS 1084 on January 22, 2020, with metes and bounds as follows: Commencing at the Southeast corner of said SE/4; Thence South 89°51'38" West as the basis of bearing on the South line of said Section 22 a distance of 1338.14 feet to the Point of Beginning; Thence continuing South 89°51'38" West on said South line a distance of 312.50 feet Thence North 00°07'50" West a distance of 1320.00 feet; Thence North 89°51'38" East and parallel to the South line of said SE/4 a distance of 312.50 feet; Thence South 00°07'50" East a distance of 1320.00 feet to the Point of Beginning.

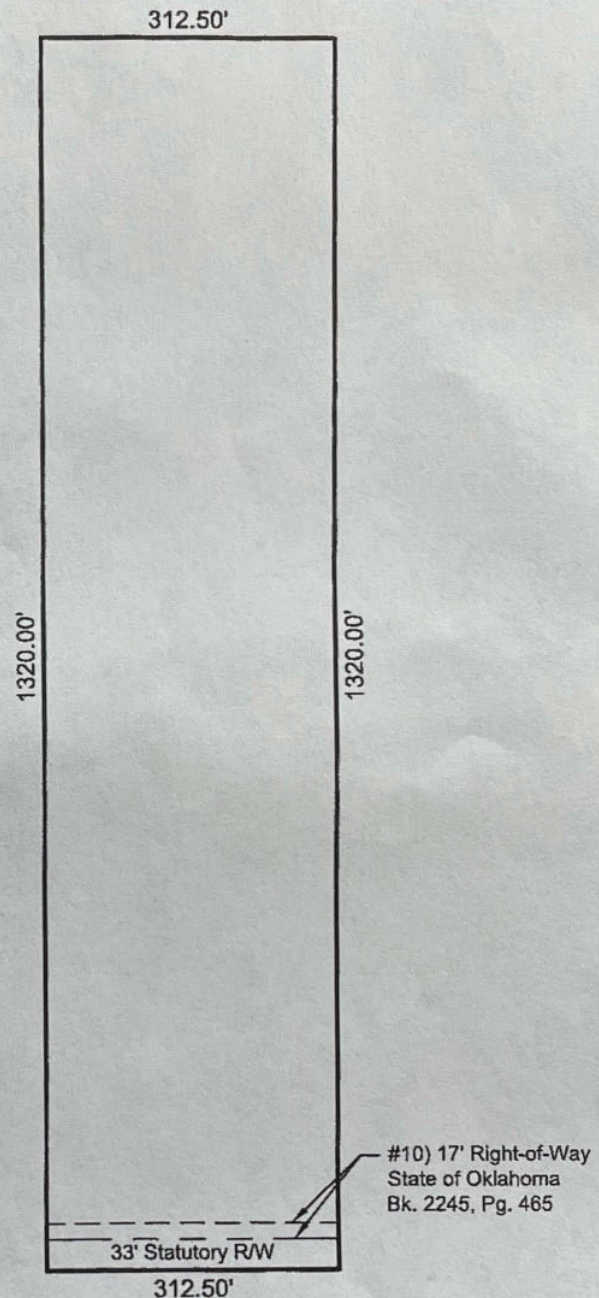


MORTGAGE INSPECTION REPORT

Not a Land or Boundary Survey

Schedule B, Part II (DNA - Does Not Affect, BL - Blanket, AAS - Affects as Stated)

- #11) Easement recorded in Book 2253, Page 154, BL
 #12) Conservancy District recorded in Book 13925, Page 874, AAS



Sketch Legend

—————	SUBJECT PROPERTY
— · — · —	LOT LINE
—————	BUILDING LINE
- - - - -	EASEMENT LINE
- - - - -	RIGHT-OF-WAY LINE
B/L	BUILDING LINE
U/E	UTILITY EASEMENT
D/E	DRAINAGE EASEMENT
R/W	RIGHT-OF-WAY
	DECK
	CONCRETE

SE 59th St.

I, Curtis Lee Hale, a Registered Land Surveyor, do hereby state that a careful inspection has been made under my supervision on the following described property, to wit:

A tract of land in the Southeast Quarter (SE/4) of Section Twenty-two (22), Township Eleven (11) North, Range One (1) West of the Indian Meridian, Oklahoma County, Oklahoma, being more particularly described by Curtis Lee Hale, LS 1084 on January 22, 2020, with metes and bounds as follows: Commencing at the Southeast corner of said SE/4; Thence South 89°51'38" West as the basis of bearing on the South line of said Section 22 a distance of 1338.14 feet to the Point of Beginning; Thence continuing South 89°51'38" West on said South line a distance of 312.50 feet; Thence North 00°07'50" West a distance of 1320.00 feet; Thence North 89°51'38" East and parallel to the South line of said SE/4 a distance of 312.50 feet; Thence South 00°07'50" East a distance of