



The City of OKLAHOMA CITY

Staff Only:	Date Stamp
Zoning: <u>HP or HL</u>	
District: _____	
HPCA-21-00080	
Received by: ADr	

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

NOTE: any relevant permits must be applied for and paid for separately in the Development Services Dept.
NOTE: Contact Historic Preservation Staff for final design inspection when work is complete.

Please select: [X] New Project [] Revision [] Extension [] Violation Notice Issued

Location of Proposed Work (Address): 224 NW 18th Street

Legal Description of Property (lot, block, addition): All of Lot 7, West 10 feet Lot 6; Block 21; Winans Highland Terrace

Year built: 1922 Exterior wall material: Brick Veneer Floor area: 2870 sq. ft.

Itemized Work Items (List EACH ITEM proposed. Work not listed here will NOT be reviewed):

- [] New Construction [X] Addition [] Fence [] Demolition (specify structure)
[X] Paving (specify) Driveway [X] Renovation (specify) Structural repair of west exterior of home
[X] Work not specified above Basement expansion (included with addition details)

Owner's Authorization

I hereby certify that all above statements and statements contained in all attached and transmitted exhibits are true to the best of my knowledge and belief. In the event this proposal is approved and begun, I agree to complete the changes in accordance with approved plans in a good and workmanlike manner. I authorize the City of Oklahoma City to enter the property for the purpose of observing and photographing the project for presentations and to ensure consistency between the approved proposal and the completed project.

[X] (If applicable): I authorize my representative to speak for me in matters regarding this application. Any agreement made by my representative regarding this proposal will be binding upon me.

Owner's Signature [Signature] Date 5/3/21
Name (printed) Karl & Julie Hansen Organization
Address 224 NW 18th Street Phone 405-812-8454
City, State, Zip OK City, OK 73103 Email motherjules1962@gmail.com

I prefer to be: [] Mailed or [X] Emailed.
Representative Signature [Signature] Date 5/3/21
Name (printed) SHANNON FORD Organization INNOVATIVE DESIGN GROUP LLC
Address 215 E. 12th St Phone (405) 209-3197
City, State, Zip EDMOND, OK 73034 Email JSFORD@COX.NET

I prefer to be: [] Mailed or [X] Emailed.
Contact: [X] Owner [] Representative

Is Federal money, a federal license or a federal permit included/required for any part of this project? Yes / (No)
If yes, what Federal agency?

Is the property owner pursuing the Federal Tax Credits for Rehabilitation of income producing historic properties? Yes / (No) (For questions concerning the federal tax credit program, telephone the State Historic Preservation Office at (405) 522-4479).

NOTE: Specific deadlines apply to submission of additional documentation or requests for appeals. Should your project be continued or denied, you are responsible for compliance with those deadlines.

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
TWO STORY ADDITION ON REAR OF PROPERTY
224 NW 18TH**

A. Scope of work

Expansion of the basement, first and second floors of the property at the southeast corner of the existing structure, extending to the south 12 feet 8 inches and the west 19 feet 4 inches. The total new interior square footage for the basement, first and second floor is 508. This addition, on the first floor, will expand the kitchen, maintain space for the downstairs powder bath and add a mudroom entry off the backyard entrance. On the second floor, this will allow creation of a more private, large “jack and jill” bathroom between the two secondary bedrooms at the rear of the house and a creation of a closet in the southwest bedroom which was removed in the past and incorporated into master bedroom storage. It will also allow space for a creation of a 2nd floor laundry room. The basement will be excavated to allow a 9 foot ceiling height and mirror the footprint of the upper stories. Existing basement does not have a sump pump or drainage system, so appropriate drainage systems will be installed as part of the construction. The expanded basement will provide additional living space and storage.

B. Documentation of existing conditions

- Photo 1: exterior of rear southeast corner of home, east exposure
- Photo 2: exterior of rear southeast corner of home, south exposure
- Photo 3: exterior of rear southeast corner of home, west exposure
- Photo 4: Existing basement
- Photo 5: Existing drainage in basement

C. Site plans for addition (see attached)

D. Elevations, floor and roof plans (see attached)

- 1) Exterior material: new Acme Crimson modular brick with color matched mortar
- 2) Original doors and windows salvaged from existing home
- 3) Back porch: railings and decking preserved from existing deck
- 4) Roof plan: see attached

E. Construction methods and materials

- 1) Roof: Wood frame construction; no venting or turbines as interior roof deck insulated with spray foam; standard ogee box guttering to match existing
- 2) Brick: Acme Crimson modular brick 2.25 x 7.5 inches; basic horizontal brick joint pattern. Expansion joint will be placed on the east and west boundaries of the addition, as the existing brick measures 2 x 8 inch and cannot be mixed with replacement brick or laced into the preserved facade.
- 3) Siding: NA
- 4) Foundation: Basement wall (8 inch thick x 9 foot tall) on non-exposed concrete continuous pour with 3500 psi footing (14 inch deep x 24 include wide) to include 5/8 inch rebar in the footing and the wall. In the basement wall there will be a brick ledge to allow the brick to start below the exterior finished

grade. (See attached for basement wall detail) Wall detail (see attached diagram)

- 5) Sump pit with pump, on basement slab imbedded in gravel
- 6) Gravel and drain tiles placed on outside of basement walls to facilitate
- 7) Excavation and construction to be performed by Mike Hancock, PE, structural and mechanical engineer (Company: Basement Contractors, LLC).

F. Products

- 1) Roof: Davinci composite "Bellaforte" slate black tile (see attached)
- 2) Brick: Acme Crimson modular brick (see attached)
- 3) Foundation: Dolese 3500 psi solid continuous concrete
- 4) Windows: existing Pella windows in basement; 1st and second floors will utilize existing windows with exception of three new Kolbe and Kolbe windows Heritage Series Sterling double hung with true divided lite windows on first floor only. Two measure 27.5 x 45 inches; one measures 18 x 45. (see attached)
- 5) Doors: new exterior pine back door that is ADA compliant measuring 36 inches x 6'8 feet Kolbe and Kolbe Heritage series Swinging Patio door PSW3066-MAN (see attached).
- 6) Sump pump: Little Giant 1/3 hp with check valve and 1.5 inch discharge line

G. Additional documentation

- 1) Floor height: same as existing residence for 1st and 2nd floor
- 2) Total height: 23 feet approximate to existing roof
- 3) Site plan with setbacks

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
RESTORATION ON WEST EXTERIOR OF PROPERTY
224 NW 18TH**

A. Scope of work

There is evidence for loss of structural support along the upper and lower west wall of the home, in the area of the old “sleeping porch”, as evidenced externally by sagging brick. Structural engineer recommended removal of both trim boards and brick veneer over the affected area, as it is suspected that the cracks and inferior displacement of the bricks are due to water infiltration with damage to both the upper and lower foundations of the enclosed porch area. These support beams will be restored to provide adequate support and the original brick veneer and siding will be restored. The exact extent of damage and repair can only be estimated at this point, until the underlying damaged structured is directly examined.

B. Documentation of existing conditions

Photo 1: exterior of west exterior of home

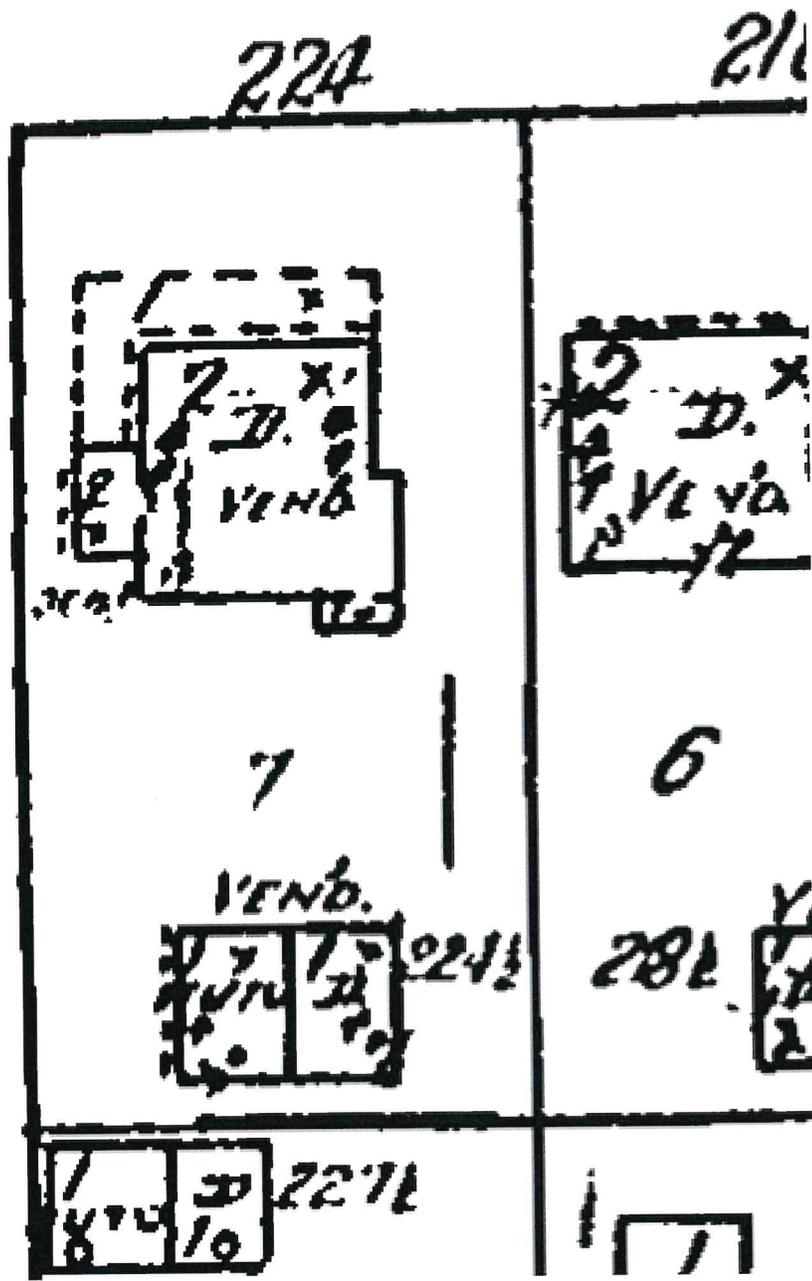
C. Site plans: N/A

D. Construction methods and materials

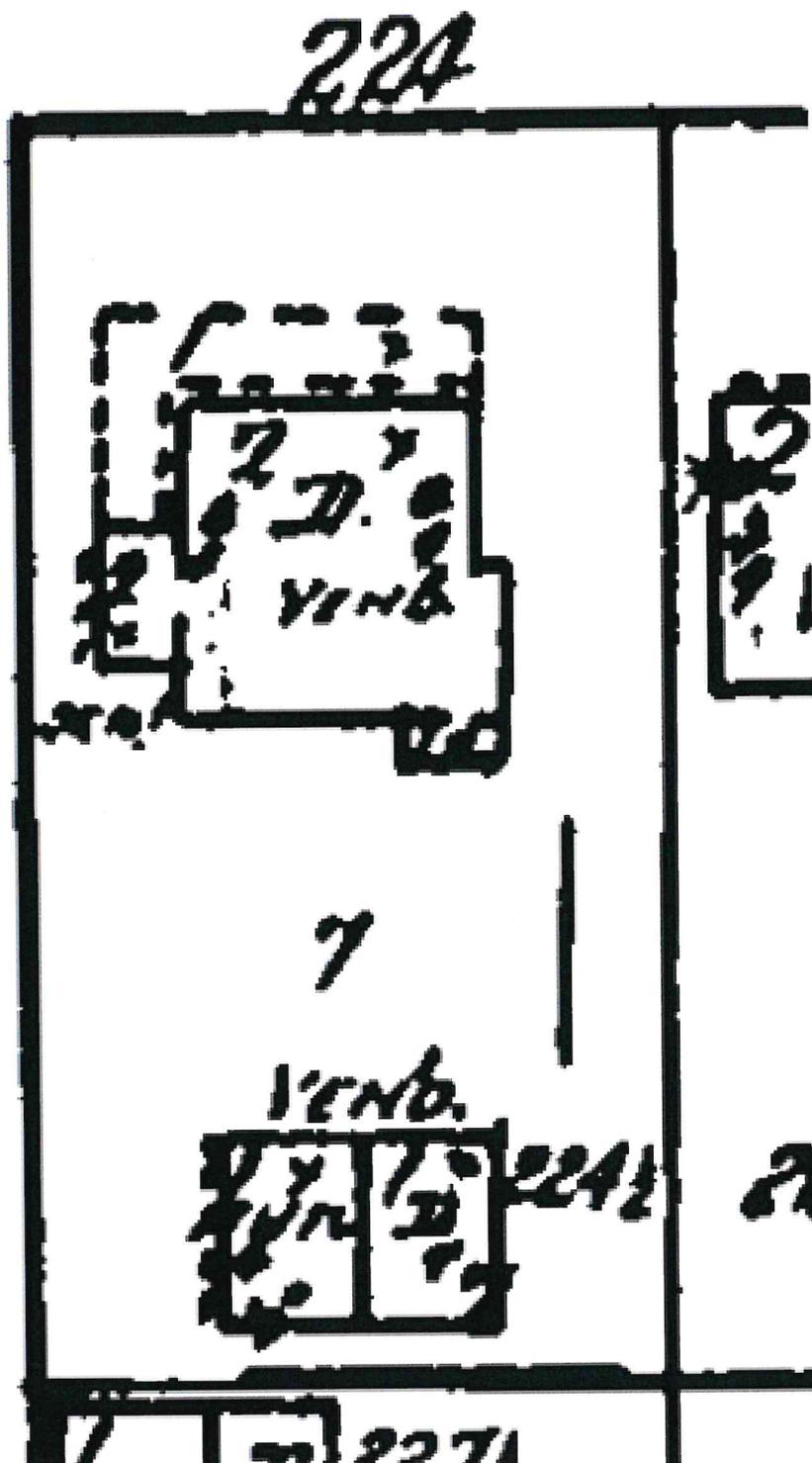
- 1) Roof: N/A
- 2) Siding: Preserve existing or made to match
- 3) Brick: Preserved historic 2 x 8 solid red brick

E. Products

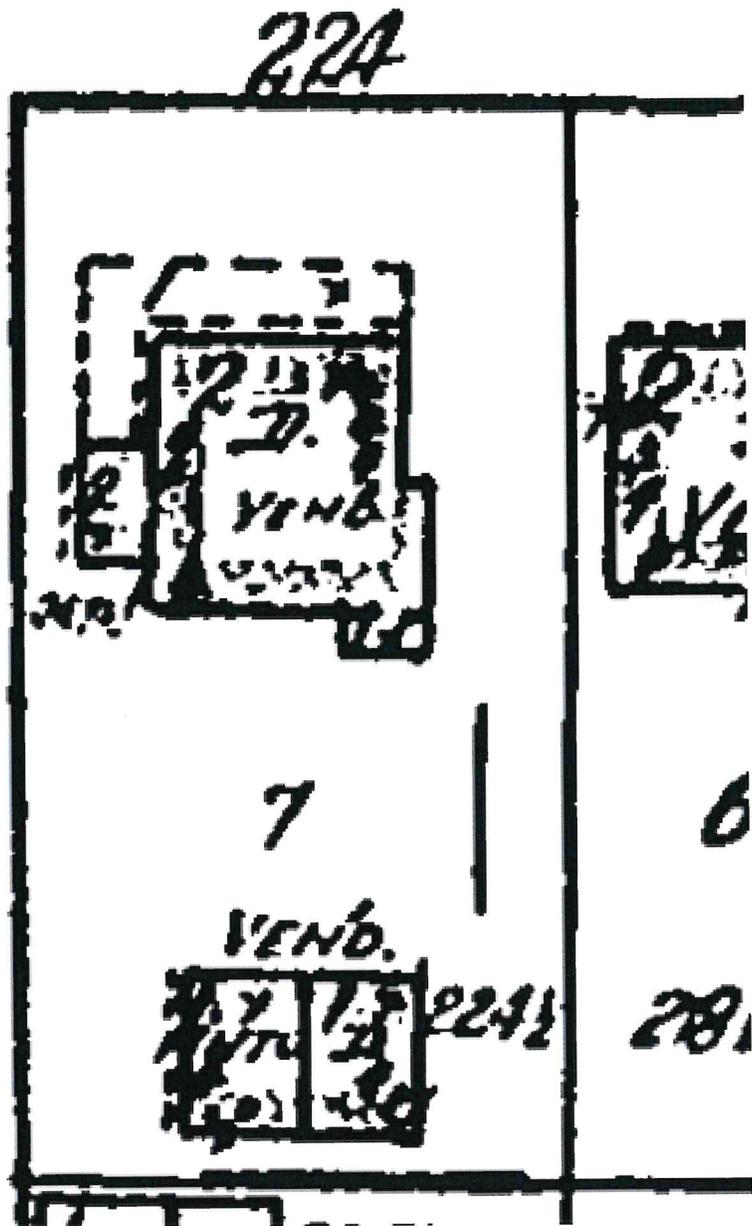
- 1) Brick: Acme
- 2) Siding: Cedar or pine made to match, as determined upon examination of original material
- 3) Paint: color matched Benjamin Moore Heritage Red house paint



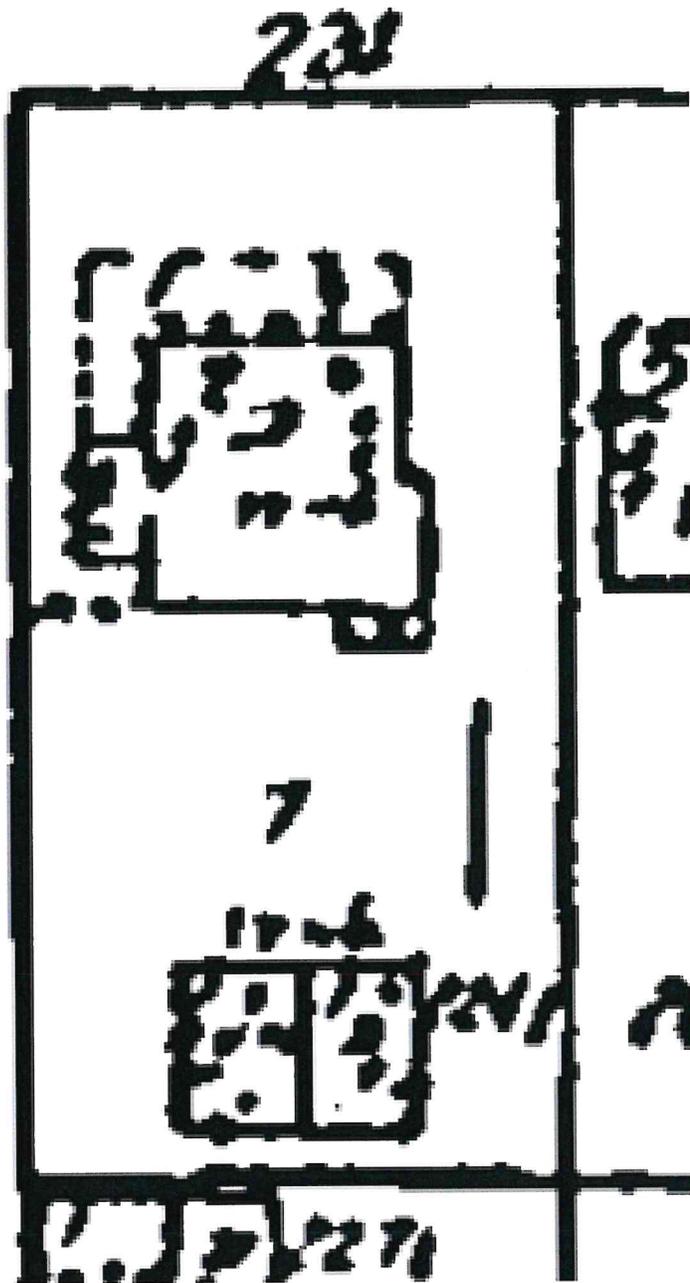
1922 vol 2 pg 220



1949 vol 2 pg 220



1950 vol 2 pg 220



1955 vol 2 pg 220

Property Address:

224 N.W. 18th Street
Oklahoma City, Oklahoma

*AS BUILT SITE
PLAN*

Mortgage Inspection Report

18th Street
(120' R.O.W.)

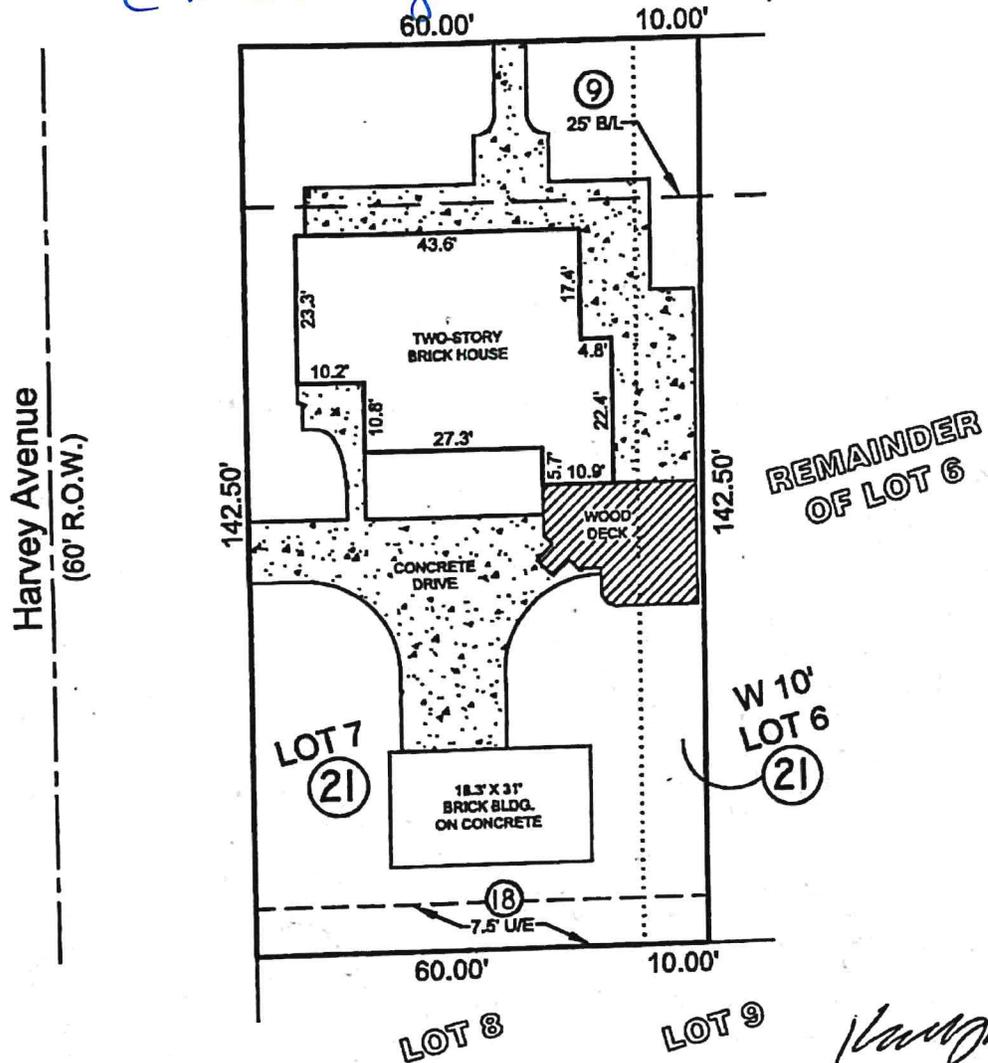


Note:

There was no visible, above-ground evidence of pipelines on the subject property at the time of the site visit.

(224)

Existing



Legend:

- B/L = Building Line
- BLDG. = Building
- U/E = Utility Easement

Flood Zone:

By graphic plotting only, this property appears to be in Zone

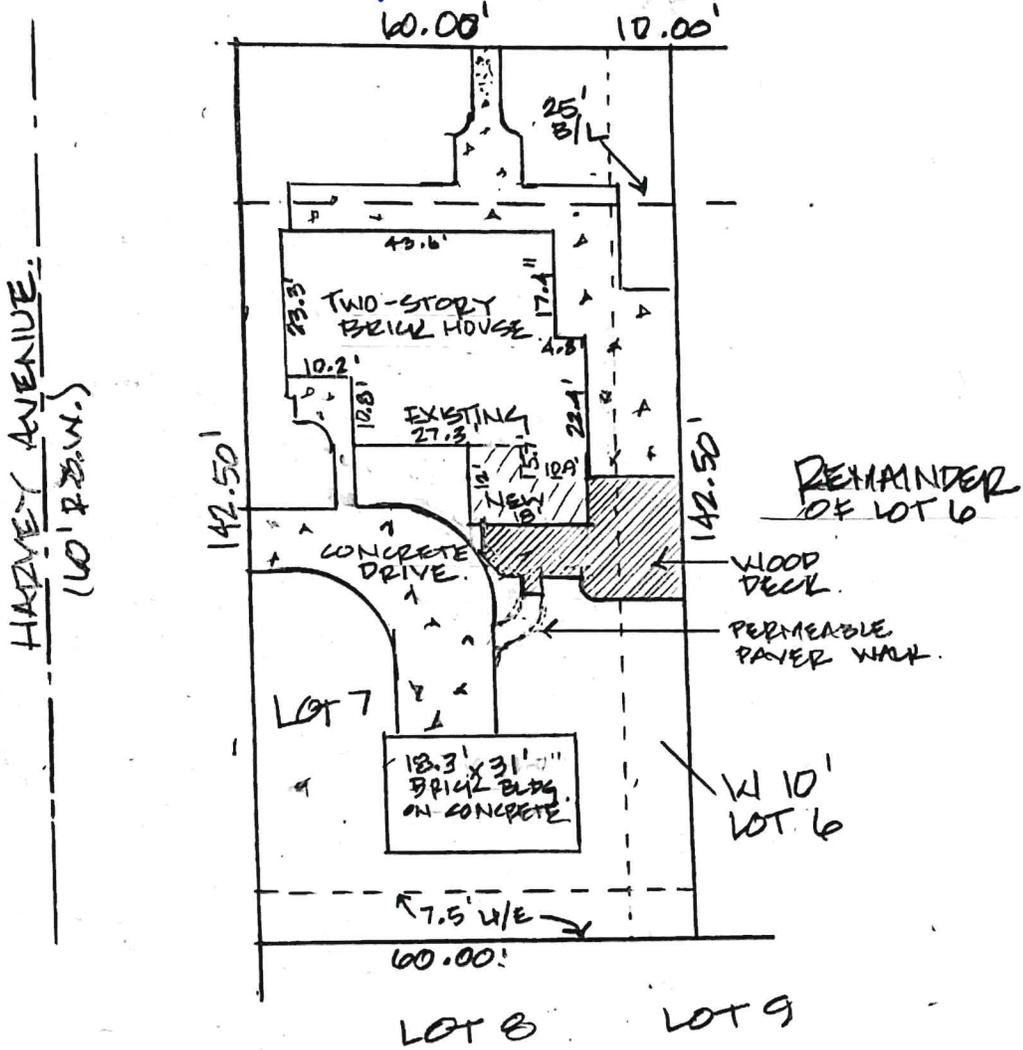
Handwritten signature

18TH STREET
(120' R.O.W.)



(224)

Proposed



PROPERTY ADDRESS:

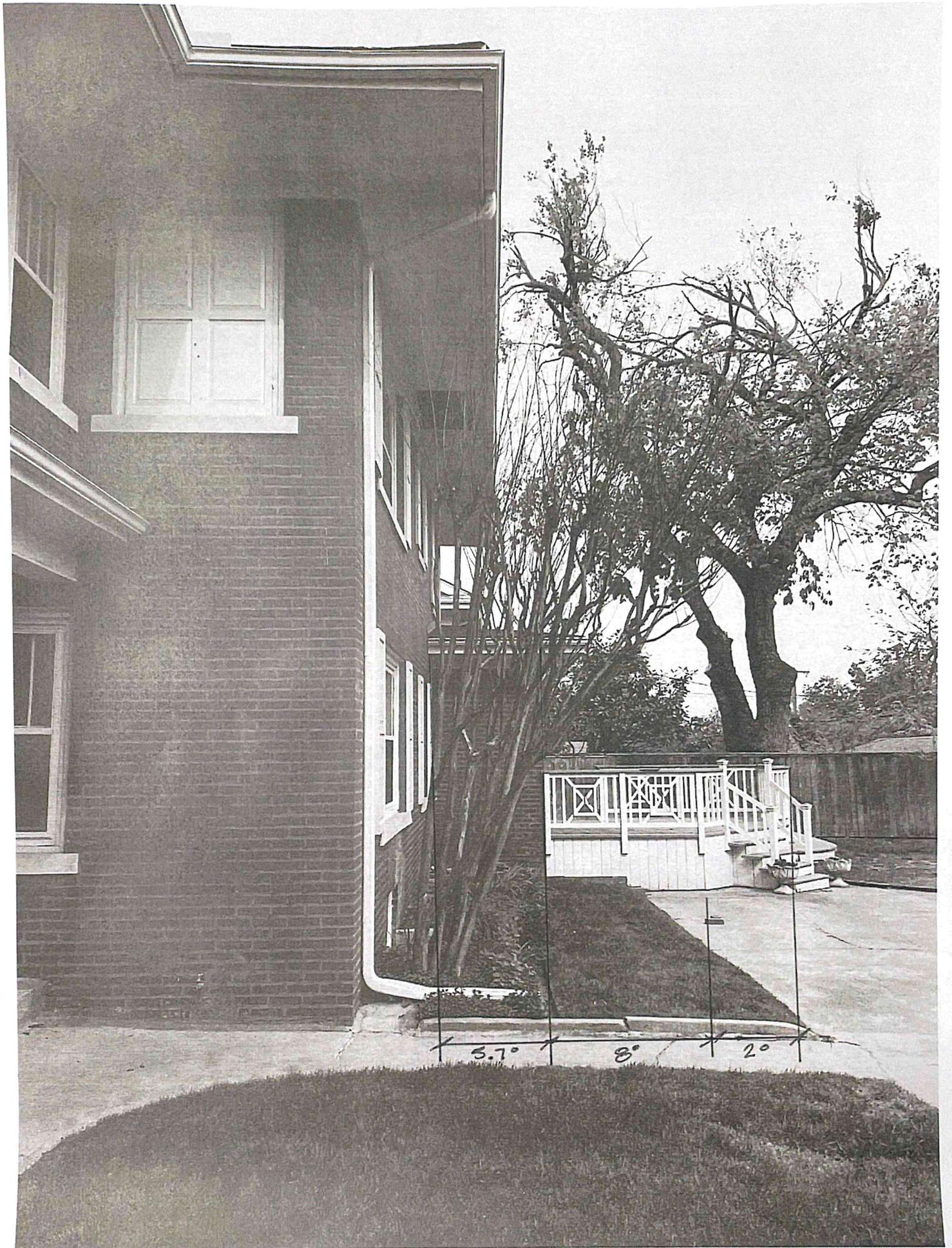
224 N.W. 18TH STREET
OKLAHOMA CITY, OKLAHOMA

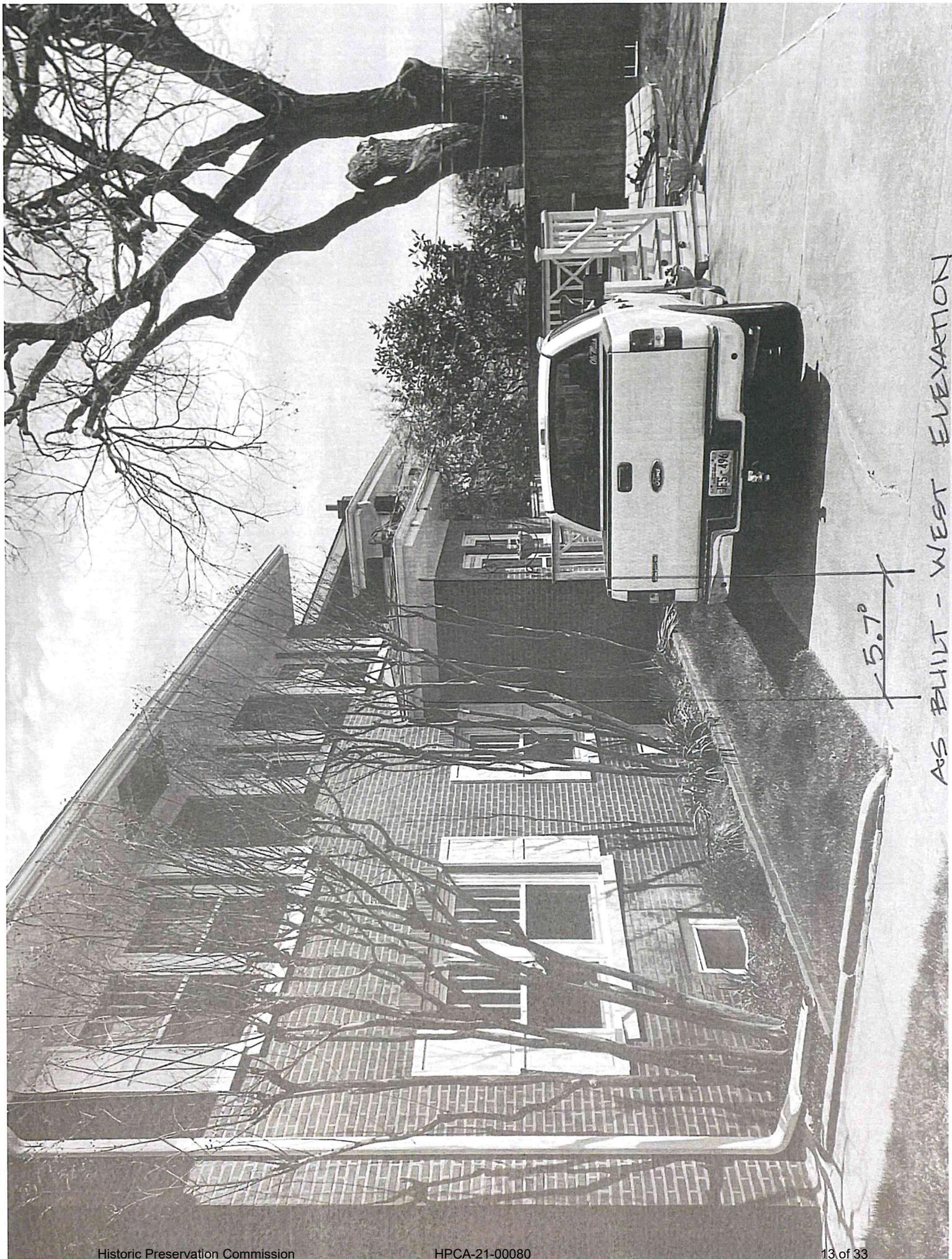
SITE PLAN

2, MAY '21 IDG/LC



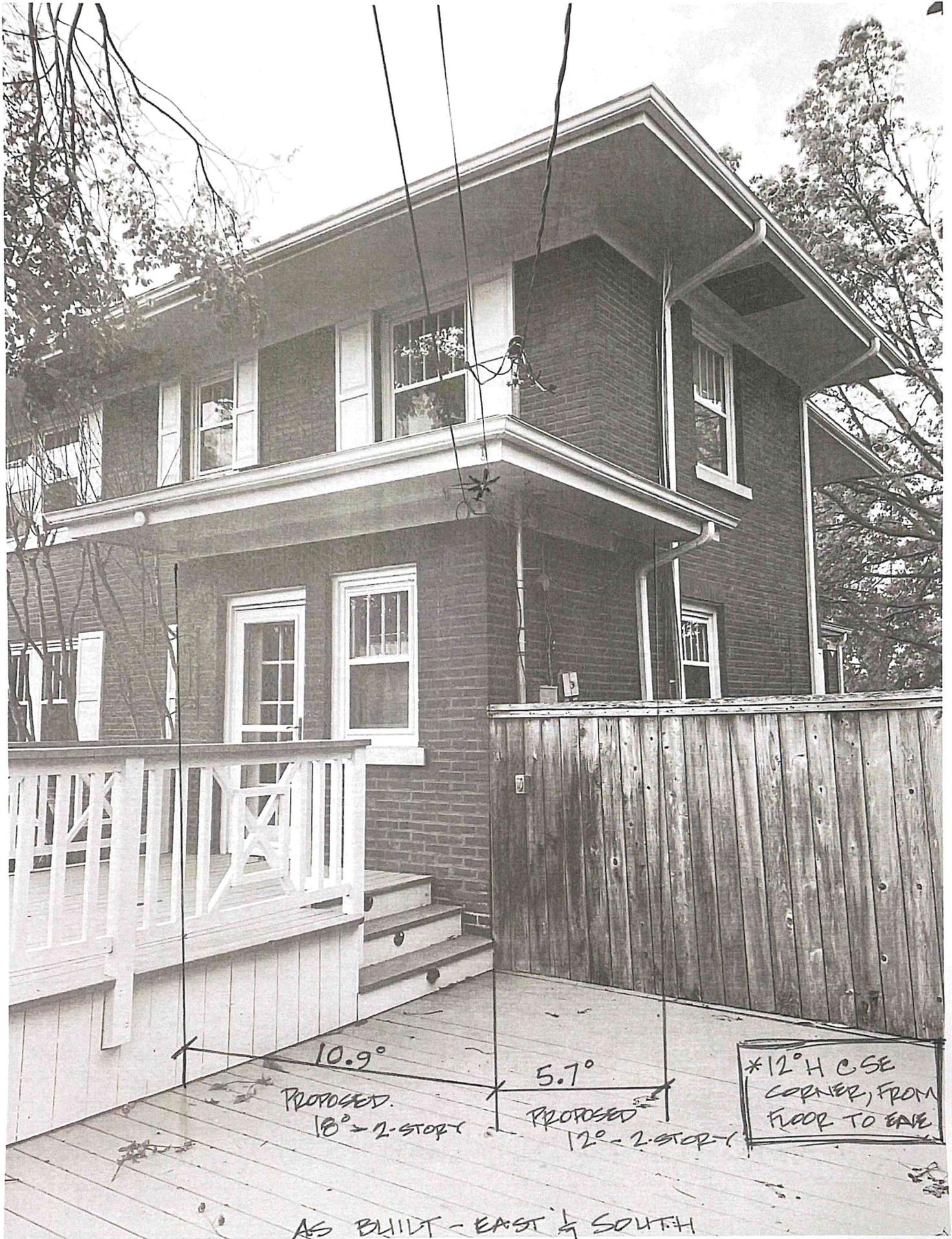
AS BUILT - SOUTH ELEVATION





5.7°

AS BUILT - WEST ELEVATION



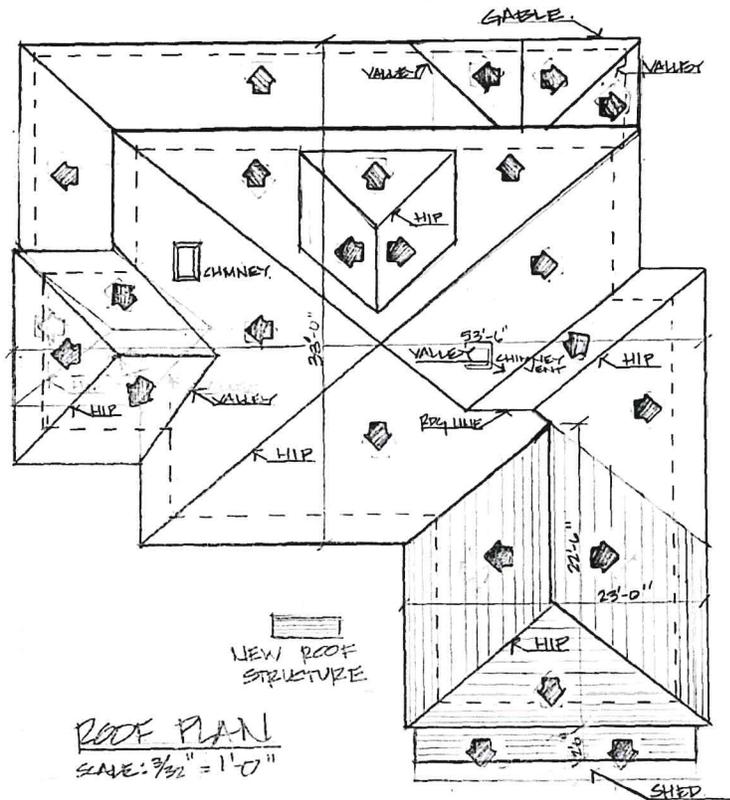
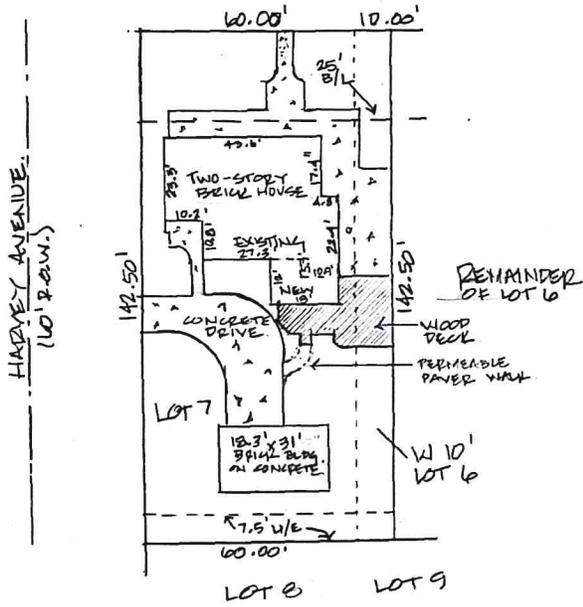


18TH STREET
(100' P.O.W.)



(22A)

C. site plans for addition



PROPERTY ADDRESS:
 22A N.W. 18TH STREET
 OKLAHOMA CITY, OKLAHOMA

SITE PLAN
 2, MAY '21 IDG/LC

ROOF PLAN
 SCALE: 3/32" = 1'-0"

ex. 5.7 x 10.9 1st

to 12 x 18 + 2nd

12 x 18

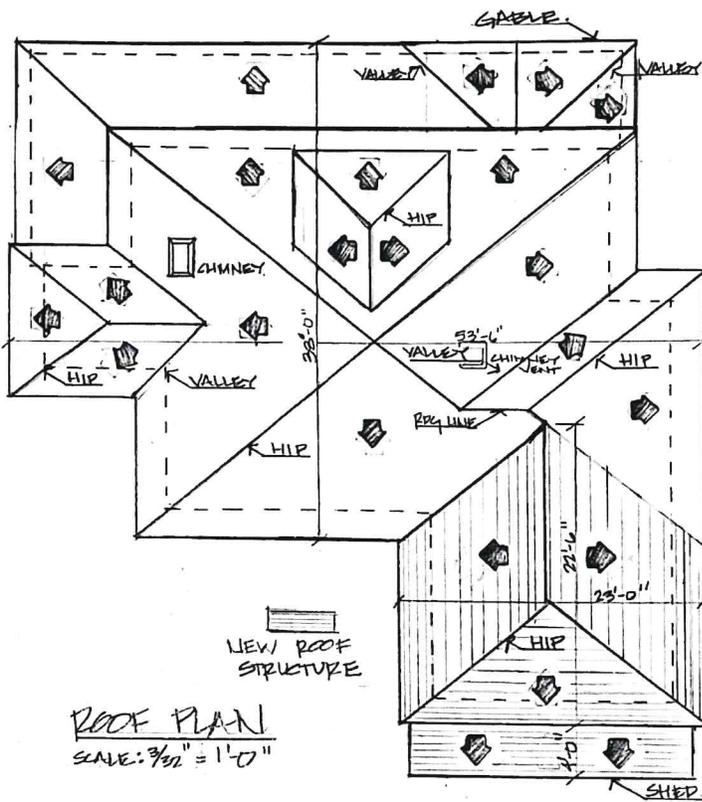
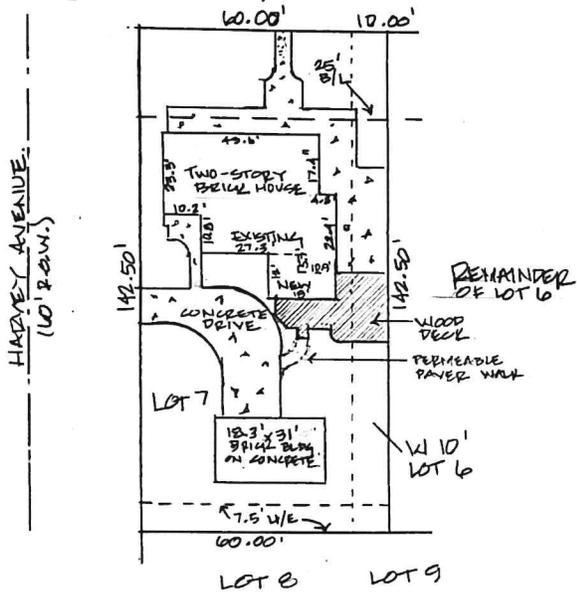
modernistic dc

18th STREET
(120' P.O.W.)



(22A)

C. site plan for driveway



PROPERTY ADDRESS:

224 N.W. 18th STREET
OKLAHOMA CITY, OKLAHOMA

SITE PLAN

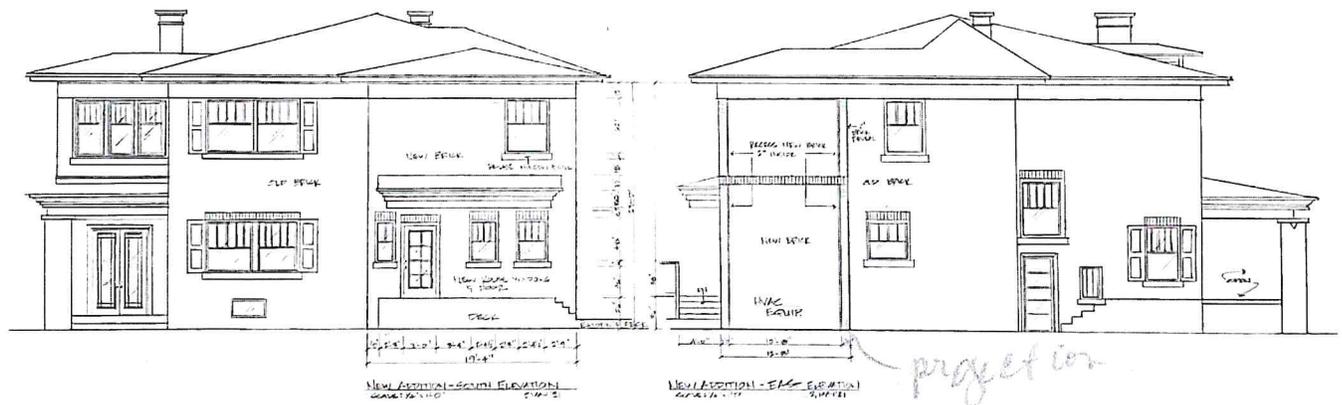
2, MAY '21 IDG/LUC

ROOF PLAN

SCALE: 3/32" = 1'-0"

D. Elevations, floor and roof plans

EXTERIOR ELEVATIONS
 LOCAL PRESERVED ASSOCIATION
 224 N.W. 12th STREET
 OKLAHOMA CITY, OKLAHOMA





B4. existing basement



6300 S. Industrial Blvd
Edmond Oklahoma 73034

ATTN: Chris George
Chris George Homes

Subject: 224 NW 18th Street
Oklahoma City, OK

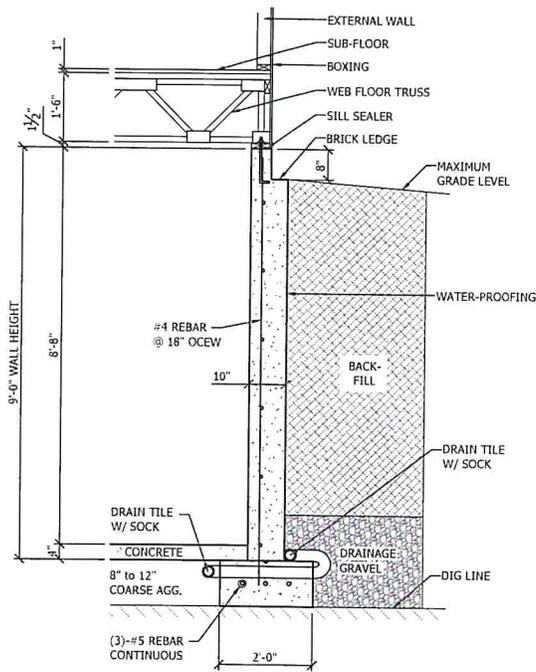
Structural report prepared for Karl and Julie Hansen

1. Scope of request limited to structural concerns along external west wall of residence.
2. Per property records, the structure is a two-story home, built and occupied in 1922. It is composed of wood framing on a concrete foundation with non-structural brick veneer.
3. The home had an external structural engineer study completed in 2019 by Metro Engineering, which a copy was provided to the buyers. Per the report, it was noted that "1/16 and 1/4 inch wide brick veneer cracks are in the west wall of the second story room over the enclosed porch." The author of that report stated it remained "undetermined the cause of these cracks. Consider removing the trim boards covering the porch beam to evaluate the beam condition." Based upon this information, the buyers requested further examination of this area.
4. After inspection of the west wall of the structure, I concur that removal of both trim boards and brick veneer will be required to completely visualize the extent of damage. However, based upon my experience, the cracks and inferior displacement of the bricks are due to water infiltration with damage to both the upper and lower foundations of the enclosed porch area. There is rotation extending to the brick column and header on the southwest corner of the structure that suggests damage associated with these adjacent foundation problems. Estimated costs of repairs, which include removal of brick veneer and trim, replacement materials for the framework and labor costs associated with the restoration of this portion of structure is estimated to be \$7500-\$10,000.

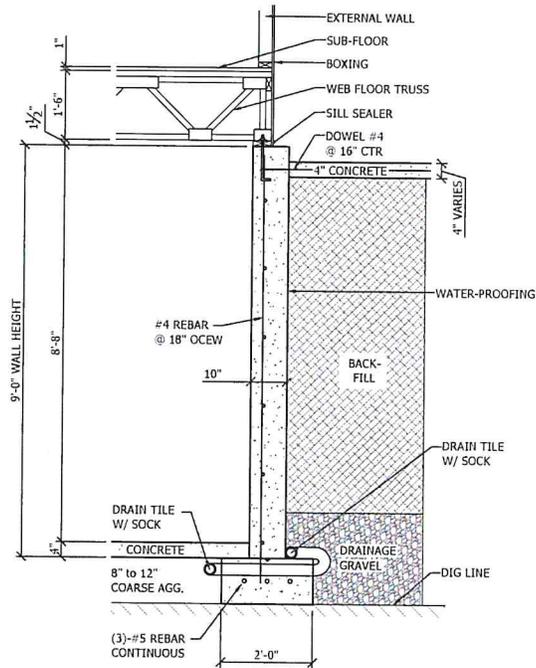





B5. Existing basement drainage



1 BASEMENT WALL DETAIL
SCALE: 1/2" = 1'-0"



2 BASEMENT WALL DETAIL
SCALE: 1/2" = 1'-0"

- NOTES:
- 1.) 3500 PSI CONCRETE MIX 28 DAY COMPRESSIVE STRENGTH
 - 2.) REBAR TO BE GRADE 60
 - 3.) COMPACTION TO BE 98% STANDARD PROCTER DENSITY
 - 4.) ALL VEGETATION, INCLUDING TREE STUMPS MUST BE REMOVED
 - 5.) PIERS REQUIRED IN FILL MATERIAL OR SOIL < 1500 PSI BEARING CAPACITY. PLACE PIER AT CORNER AND AT 8' CENTER SPACING.
 - 6.) SOIL BEARING CAPACITY TO BE > 1500 PSF MIN.
 - 7.) FOOTINGS MUST BE PLACED ON UNDISTURBED SOIL.
 - 8.) FOLLOW ALL DETAILS OF IRC 2015
 - 9.) CUT FRAMING STUDS TO MATCH WALL HEIGHT IN BASEMENT (TO IRC 2015)

E4. construction methods and materials basement wall

6300 Industrial Blvd.
 Edmond, OK 73034
 PH: (405) 715-1141
 FX: (405) 715-1165
Basement Contractors Inc.

Addition-Owner
 Builder
 Address
 Phone

Date: _____
 Scale: 1/2" = 1'-0"
 Drawn: _____

Date: _____
 X
 OF
 X

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

**Paving
224 NW 18TH**

A. Scope of work

In conjunction with the proposed home addition, the existing driveway will be removed and replaced with concrete color matched to the adjacent sidewalk. The cut-in from the street will be left intact, with concrete replacement starting at the gate entrance of the drive on the west. Current drive drains toward the house and basement. Replacement is planned due to the poor condition of the existing drive due to drainage issues, and the need to change shape and grade due to proposed addition.

B. Documentation of existing conditions

Photo 1: driveway from west property line

Photo 2: condition of driveway

Photo 3: Relationship of existing drive to proposed addition

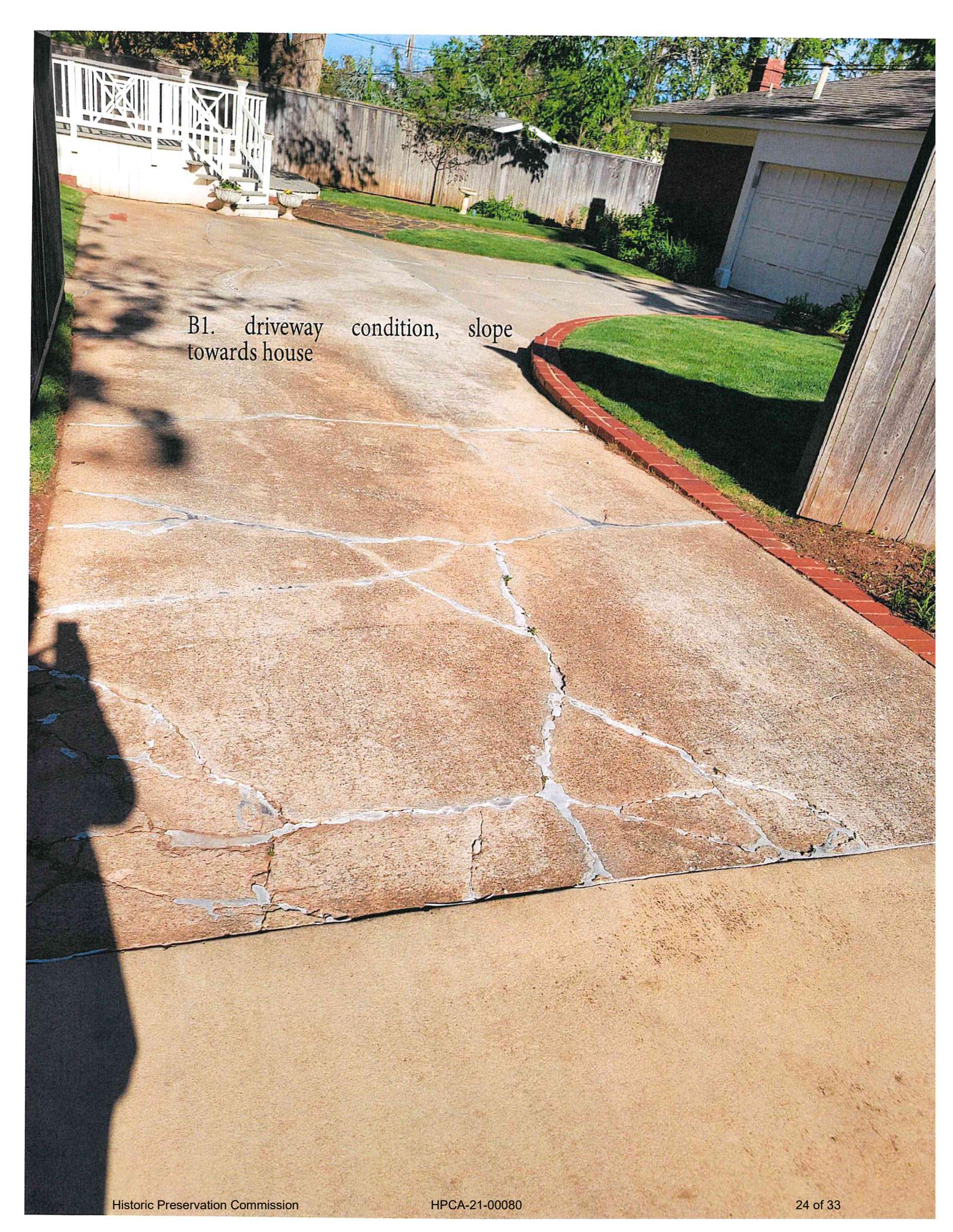
C. Site plans for driveway(see attached)

D. Construction methods and materials

- a. 4 inch 3500 psi concrete, #3 rebar, 30 inches off center each direction; concrete will be color matched to adjacent historical concrete using integrated color.

E. Products

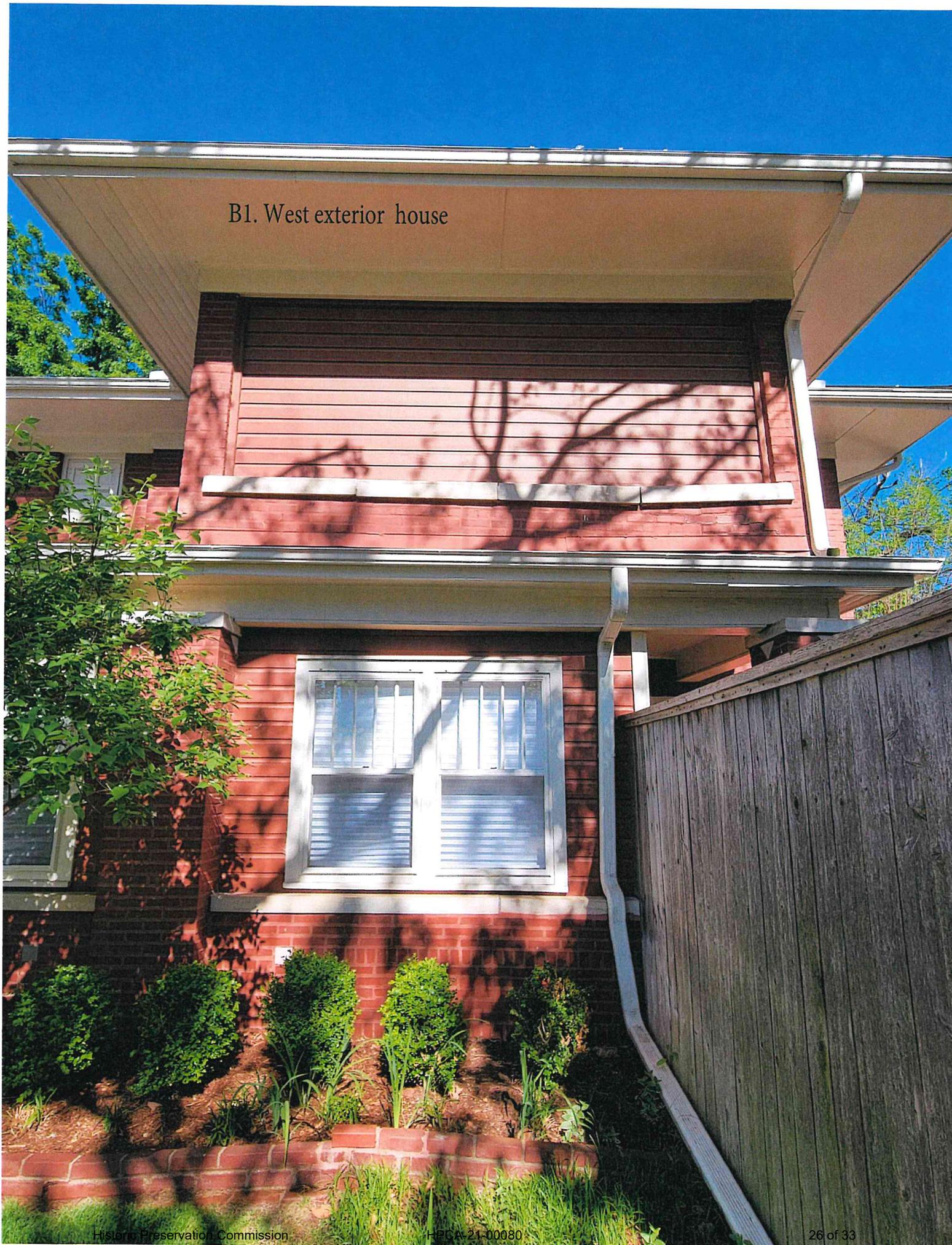
- a. Dolese Solomon Color pigment #288 rosemary



B1. driveway condition, slope
towards house



B1. West exterior house



B1. East exposure of rear





B2. rear of house south exposure



B3. rear of house west exposure



F1. Roof product

DAVINCI SLATE

MULTI-WIDTH SLATE

Widths - 12", 10", 9", 7", 6"	Length - 18"	Thickness at Butt - 1/2"	Thickness at Tip - 1/8"
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FIELD SHINGLES PER ROOFING SQUARE

Coursing	Roof Pitch	Max. Exposure	Pieces / Bundle	Bundles / Square	Weight / Square	Nails Required
Straight	6:12 or greater	8"	28	6.4	266 lbs	359/SQ
Straight	6:12 or greater	7.5"	28	6.8	283 lbs	381/SQ
Staggered	6:12 or greater	7"	28	7.3	304 lbs	409/SQ
Straight/Staggered	less than 6:12	6"	28	8.5	354 lbs	476/SQ

Note 1: All calculations are based on using the recommended 3/8" gap between shingles.
 Note 2: Straight coursing may be used at any exposure up to 8.0" and staggered coursing may be used at any exposure up to 7.0"

HIP • RIDGE • STARTER • ACCESSORY

	6" Hip & Ridge	7" Hip & Ridge	One-Piece Hip & Ridge	12" Starter	12" Solid Accessory Tile
Pieces / Bundle	20	20	10	20	10
Linear Ft / Bundle	5*	5*	10	20	10
Pieces / Linear Ft	4*	4*	1	1	1
Nails Required	40/BDL	40/BDL	20/BDL	40/BDL	20/BDL

* At recommended 6" exposure Note: 9" pieces available for ridge; 4" pieces available for turrets.

SINGLE-WIDTH SLATE

Widths - 12"	Length - 18"	Thickness at Butt - 1/2"	Thickness at Tip - 1/8"
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FIELD SHINGLES PER ROOFING SQUARE

Coursing	Roof Pitch	Max. Exposure	Pieces / Bundle	Bundles / Square	Weight / Square	Nails Required
Straight	6:12 or greater	8"	22	6.6	275 lbs	291/SQ
Straight	6:12 or greater	7.5"	22	7.1	294 lbs	313/SQ
Staggered	6:12 or greater	7"	22	7.6	315 lbs	335/SQ
Straight/Staggered	less than 6:12	6"	22	8.8	367 lbs	388/SQ

Note 1: All calculations are based on using the recommended 3/8" gap between shingles.
 Note 2: Straight coursing may be used at any exposure up to 8.0" and staggered coursing may be used at any exposure up to 7.0"

HIP • RIDGE • STARTER • ACCESSORY

	6" Hip & Ridge	7" Hip & Ridge	One-Piece Hip & Ridge	12" Starter	12" Solid Accessory Tile
Pieces / Bundle	20	20	10	20	10
Linear Ft / Bundle	5*	5*	10	20	10
Pieces / Linear Ft	4*	4*	1	1	1
Nails Required	40/BDL	40/BDL	20/BDL	40/BDL	20/BDL

* At recommended 6" exposure Note: 9" pieces available for ridge; 4" pieces available for turrets.

BELLAFORTÉ SLATE

Widths - 12"	Length - 15.5"	Thickness at Butt - 1/2"	Thickness at Tip - 3/8"
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FIELD SHINGLES PER ROOFING SQUARE

Coursing	Roof Pitch	Max. Exposure	Pieces / Bundle	Bundles / Square	Weight / Square	Nails Required
Straight	4:12 or greater	12"	10	10	160 lbs	200/SQ

HIP • RIDGE • STARTER • ACCESSORY

	One-Piece Hip & Ridge	Rake	Starter	Transition Piece
Pieces / Bundle	10	20	20	10
Linear Ft / Bundle	10	20	20	10
Pieces / Linear Ft	1	1	1	1
Nails Required	20/BDL	40/BDL	40/BDL	30/BDL

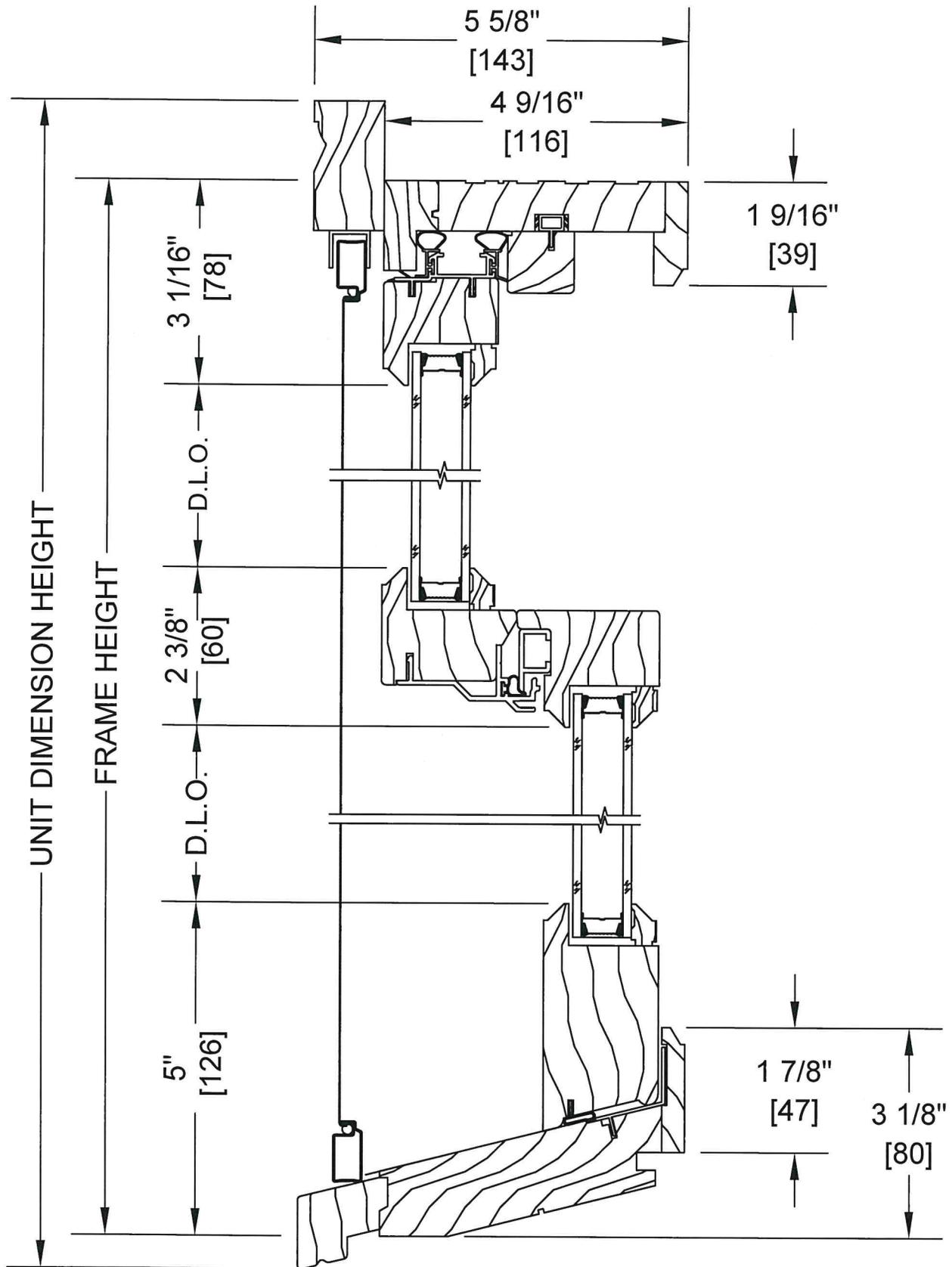
TESTING & BUILDING CODE APPROVALS

Class A Fire; Class 4 Impact; Certified to 110MPH
 ICC-ES ESR-2119; Miami-Dade County, FL; CA Title 24; Texas Dept. of Insurance; LEED contribution; CCMC 14094-R

* Go to www.davinciroofscapes.com for the most up-to-date technical information.

F4. Windows

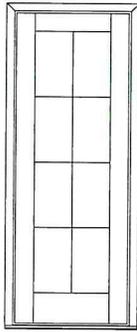
HERITAGE SERIES Sterling Double Hung Vertical Cross Section



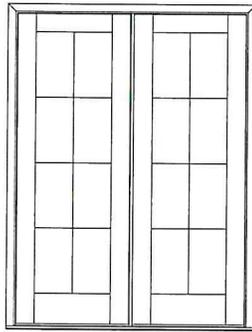
F4. Patio Door

U.D.	2' 8-25/32"	5' 1-1/2"	3' 2-25/32"	6' 1-1/2"
F.S.	2' 6-9/32"	4' 11"	3' 0-9/32"	5' 11"
R.O.	2' 6-25/32"	4' 11-1/2"	3' 0-25/32"	5' 11-1/2"
G.S.	19-3/4"	19-3/4"	25-3/4"	25-3/4"

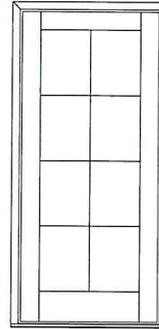
6' 8-3/4"
 6' 7-1/2"
 6' 8"
 65-13/16"



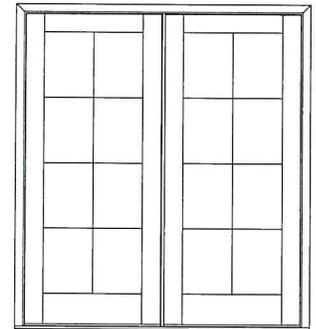
SPW2666-MAN



SPW41166-MAN

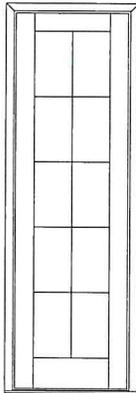


SPW3066-MAN

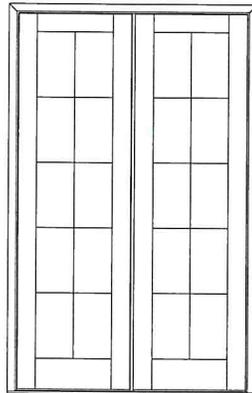


SPW51166-MAN

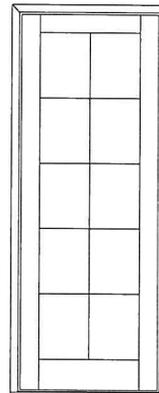
8' 0-3/4"
 7' 11-1/2"
 8' 0"
 81-13/16"



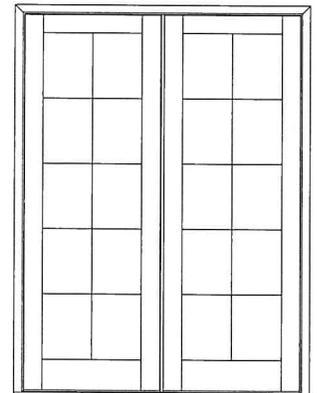
SPW2680-MAN



SPW41180-MAN



SPW3080-MAN



SPW51180-MAN