



The City of
OKLAHOMA CITY

Staff Only:

Date Stamp

Zoning: HP or HL

District: _____

HPCA- _____ - _____

Received by: _____

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

NOTE: any relevant permits must be applied for and paid for separately in the Development Services Dept.

NOTE: Contact Historic Preservation Staff for final design inspection when work is complete.

Please select: ☒ New Project ☐ Revision ☐ Extension ☐ Violation Notice Issued

Location of Proposed Work (Address): 436 NW 30th St. OKC, OK, 73118

Legal Description of Property (lot, block, addition): Block 25, Lot 16

Year built: 1924 Exterior wall material: Wood siding Floor area: 1410 sq.ft.

Itemized Work Items (List EACH ITEM proposed. Work not listed here will NOT be reviewed):

☐ New Construction ☐ Addition ☐ Fence ☐ Demolition (specify structure) _____

☒ Paving (specify) Driveway and back parking ☐ Renovation (specify) _____

☐ Work not specified above _____

Owner's Authorization

I hereby certify that all above statements and statements contained in all attached and transmitted exhibits are true to the best of my knowledge and belief. In the event this proposal is approved and begun, I agree to complete the changes in accordance with approved plans in a good and workmanlike manner. I authorize the City of Oklahoma City to enter the property for the purpose of observing and photographing the project for presentations and to ensure consistency between the approved proposal and the completed project.

☐ (If applicable): I authorize my representative to speak for me in matters regarding this application. Any agreement made by my representative regarding this proposal will be binding upon me.

Owner's Signature [Signature] Date 02/28/21
Name (printed) Mumtaz Khan Organization _____
Address 17109 Wales Green Ave Phone (405) 400-5000
City, State, Zip Edmond, OK, 73012 Email kmtz.ok@gmail.com

I prefer to be: ☐ Mailed or ☒ Emailed.

Representative Signature [Signature] Date 3/24/21
Name (printed) JOHN ROBISON Organization Robison & Assoc.
Address 2927 PASEO Phone (405) 524-4544
City, State, Zip OKLA. CITY, OK 73103 Email robisonandassociates@gmail.com

I prefer to be: ☐ Mailed or ☐ Emailed.

Contact: ☒ Owner ☐ Representative

Is Federal money, a federal license or a federal permit included/required for any part of this project? Yes / No

If yes, what Federal agency? _____

Is the property owner pursuing the Federal Tax Credits for Rehabilitation of income producing historic properties? Yes / No (For questions concerning the federal tax credit program, telephone the State Historic Preservation Office at (405) 522-4479).

NOTE: Specific deadlines apply to submission of additional documentation or requests for appeals. Should your project be continued or denied, you are responsible for compliance with those deadlines.

SUBMITTAL CHECKLIST

Submit this checklist with the application and supporting documents.*

* Staff and/or the Commission may request additional documents to fully illustrate the proposal.

Intent

The purpose of documentation is to illustrate what the property looks like NOW, what work is proposed, and what the property would look like AFTER proposed work is completed. Please consult staff if you have questions about how to adequately document your proposed project.

Drawing Standards

- ☒ 1. Scale
- ☒ 2. North arrow /directional reference
- ☒ 3. Property lines
- ☒ 4. Specification of materials
- ☒ 5. Dimensions

Minimum Required Documents

- ☒ **A. Scope of Work** – A written description of each proposed work item must be included on the application form itself. Additional pages may be attached if more detail is necessary.
- ☒ **B. Documentation of Existing Conditions** – Documentation of the appearance, condition and dimensions of any existing materials to be replaced or altered must be submitted.
 - ☒ 1. Clear photos of each work item, printed on regular 8.5x11 paper (no photo paper)
 - ☐ 2. Drawings or labeled photos with accurate dimensions and materials (no photo paper)
- ☒ **C. Site plans** for existing and proposed work as follows:
 - ☐ 1. Buildings (including garages)
 - ☐ 2. Fences or fence walls
 - ☒ 3. Sidewalks, driveways
 - ☐ 4. Landscape elements, including decks, sheds, etc.
- ☐ **D. Elevations, floor, and roof plans**, including existing and proposed features and elements:
 - ☐ 1. Exterior materials and architectural elements
 - ☐ 2. Doors, windows, awnings, light fixtures
 - ☐ 3. Porches, stoops, steps, ramps, railings
 - ☐ 4. Roof plan (ridgelines, chimneys, vents, gutters, etc.)
- ☐ **E. Construction methods and materials**
 - ☐ 1. Roof features, including chimneys, turbines, vents, gutters, etc.
 - ☐ 2. Brick/masonry color, size, and pattern
 - ☐ 3. Siding profile, dimensions, reveal
 - ☐ 4. Foundation material, dimensions, and features
- ☐ **F. Products**
 - ☐ 1. Cut sheet or brochure of any commercial product to be used, with dimensions, materials, and color
 - ☐ 2. Photos or drawings of custom products to be used, with dimensions, materials, and color
- ☐ **G. Additional documentation for New Construction or Additions**
 - ☐ 1. Floor height, with comparison to neighboring properties and primary structure (additions)
 - ☐ 2. Total height, with comparison to neighboring properties and primary structure (additions)
 - ☐ 3. Site plan with setbacks and siting of neighboring properties
 - ☐ 4. Topographical information for existing site and any proposed changes
- ☐ **H. Additional Documentation** – Documents as needed to fully define the project, such as illustrations, details, sections, product information, and samples.



436 N.W. 30th Street
Oklahoma City, OK 73118

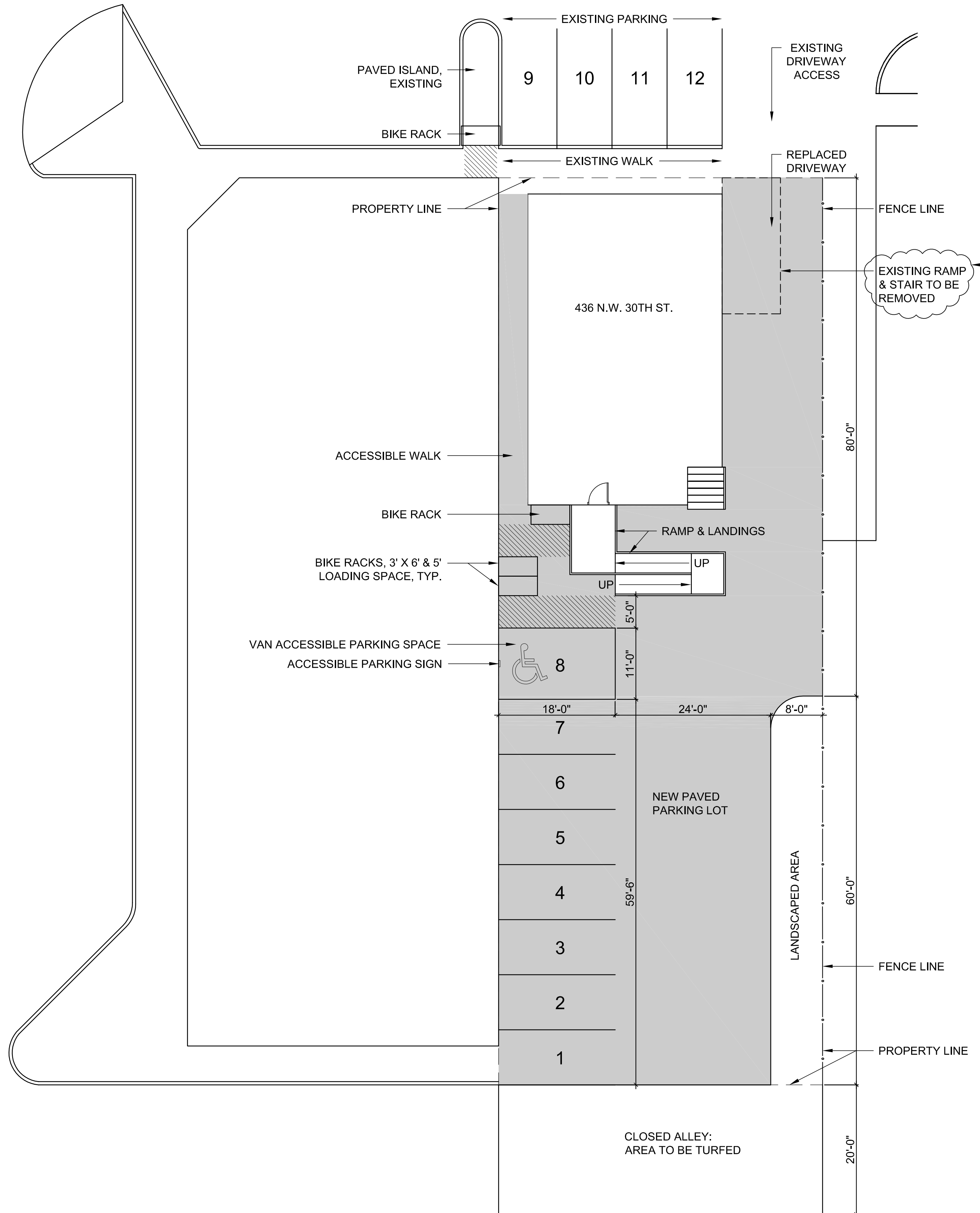
Attachment A.1 - Scope of Work:

1. Driveway Replacement and East Ramp and Stair Demolition: Demolish the ramp and stairs on the east side. Provide a new driveway between the fence line and the existing building for access to a new rear parking area.
2. New Parking Area: Provide a new parking area to comply with Oklahoma City Code requirements for the intended use. Oklahoma City Code Review determined that the required number of parking spaces is 14. The parking layout shows 12 parking spaces and 4 bike racks to offset 2 of the required parking spaces, in accordance with the Oklahoma City Municipal Code.
3. A new ramp on the south side of the building and adjacent to the accessible parking space will replace the ramp on the east side. A landscaped area along the east fence line and providing turf in the closed alley south of the property will provide planted areas to improve the aesthetics of the paved parking lot and provide permeable surfaces.
4. A new accessible sidewalk will be constructed between the west side of the property and the east wall of the corner building at 3020 N. Walker Ave.

436 N.W. 30th St., Oklahoma City, OK 73118

B. Documentation





A ARCHITECTURAL SITE PLAN - PARKING
SCALE: 1"=10'-0"

- INFORMATION ON THIS SHEET:**
1. PARKING SITE PLAN.
 2. 14 PARKING SPACES REQUIRED. 12 PARKING SPACES AND 4 BIKE RACKS PROVIDED TO FULFILL PARKING REQUIREMENT
- GENERAL NOTES:**
1. ALL WORK TO COMPLY WITH GOVERNING CODES, ORDINANCES, AND THE AMERICANS WITH DISABILITIES ACT (ADA).
 2. VERIFY EXISTING CONDITIONS. NOTIFY OWNER OF ANY DISCREPANCIES AFFECTING THE WORK. OBTAIN OWNER'S APPROVAL BEFORE ANY INTERRUPTION OF SERVICE TO, OR USE OF, ANY ADJOINING PREMISES.
 3. TYPICAL PARKING SPACE DIMENSIONS TO BE 8'-6" x 18'-0" UNLESS NOTED OTHERWISE.
 4. PARKING SPACES REQUIRED:
 - 4.1. BUILDING AREA: 1385 S.F.
 - 4.2. PARKING SPACE REQUIREMENTS FOR INTENDED USE: 1 PER 100 S.F.
 - 4.3. 14 PARKING SPACES REQUIRED. 12 PARKING SPACES AND 4 BIKE RACKS PROVIDED TO FULFILL PARKING REQUIREMENT.
 5. ALL PAVING TO BE PORTLAND CEMENT CONCRETE IN COMPLIANCE WITH OKLAHOMA CITY STANDARDS.

ADDED 3/24/21

REVISED 3/24/21

JOHN ROBISON
1042
3/18/21
LICENSED ARCHITECT
LICENSE NUMBER: 1042

Robison & Associates
Architects and Planners
2927 The Paseo
Oklahoma City, Oklahoma 73103
405-524-4544
robisonandassociates@gmail.com

**436 N.W. 30TH ST.
PARKING LAYOUT**
JEFFERSON PARK HISTORIC DISTRICT

REVIEW DATE: 3/12/21
ISSUED DATE: 3/18/21
REVISIONS: 3/24/21

AS 101
ARCHITECTURAL SITE
PLAN - PARKING