

SUBMITTAL CHECKLIST

Submit this checklist with the application and supporting documents.*

* Staff and/or the Commission may request additional documents to fully illustrate the proposal.

Intent

The purpose of documentation is to illustrate what the property looks like NOW, what work is proposed, and what the property would look like AFTER proposed work is completed. Please consult staff if you have questions about how to adequately document your proposed project.

Drawing Standards

- 1. Scale
- 2. North arrow /directional reference
- 3. Property lines
- 4. Specification of materials
- 5. Dimensions

Minimum Required Documents

- A. Scope of Work** – A written description of each proposed work item must be included on the application form itself. Additional pages may be attached if more detail is necessary.
- B. Documentation of Existing Conditions** – Documentation of the appearance, condition and dimensions of any existing materials to be replaced or altered must be submitted.
 - 1. Clear photos of each work item, printed on regular 8.5x11 paper (no photo paper)
 - 2. Drawings or labeled photos with accurate dimensions and materials (no photo paper)
- C. Site plans** for existing and proposed work as follows:
 - 1. Buildings (including garages)
 - 2. Fences or fence walls
 - 3. Sidewalks, driveways
 - 4. Landscape elements, including decks, sheds, etc.
- D. Elevations, floor, and roof plans**, including existing and proposed features and elements:
 - 1. Exterior materials and architectural elements
 - 2. Doors, windows, awnings, light fixtures
 - 3. Porches, stoops, steps, ramps, railings
 - 4. Roof plan (ridgelines, chimneys, vents, gutters, etc.)
- E. Construction methods and materials**
 - 1. Roof features, including chimneys, turbines, vents, gutters, etc.
 - 2. Brick/masonry color, size, and pattern
 - 3. Siding profile, dimensions, reveal
 - 4. Foundation material, dimensions, and features
- F. Products**
 - 1. Cut sheet or brochure of any commercial product to be used, with dimensions, materials, and color
 - 2. Photos or drawings of custom products to be used, with dimensions, materials, and color
- G. Additional documentation for New Construction or Additions**
 - 1. Floor height, with comparison to neighboring properties and primary structure (additions)
 - 2. Total height, with comparison to neighboring properties and primary structure (additions)
 - 3. Site plan with setbacks and siting of neighboring properties
 - 4. Topographical information for existing site and any proposed changes
- H. Additional Documentation** – Documents as needed to fully define the project, such as illustrations, details, sections, product information, and samples.



436 N.W. 30th Street
Oklahoma City, OK 73118

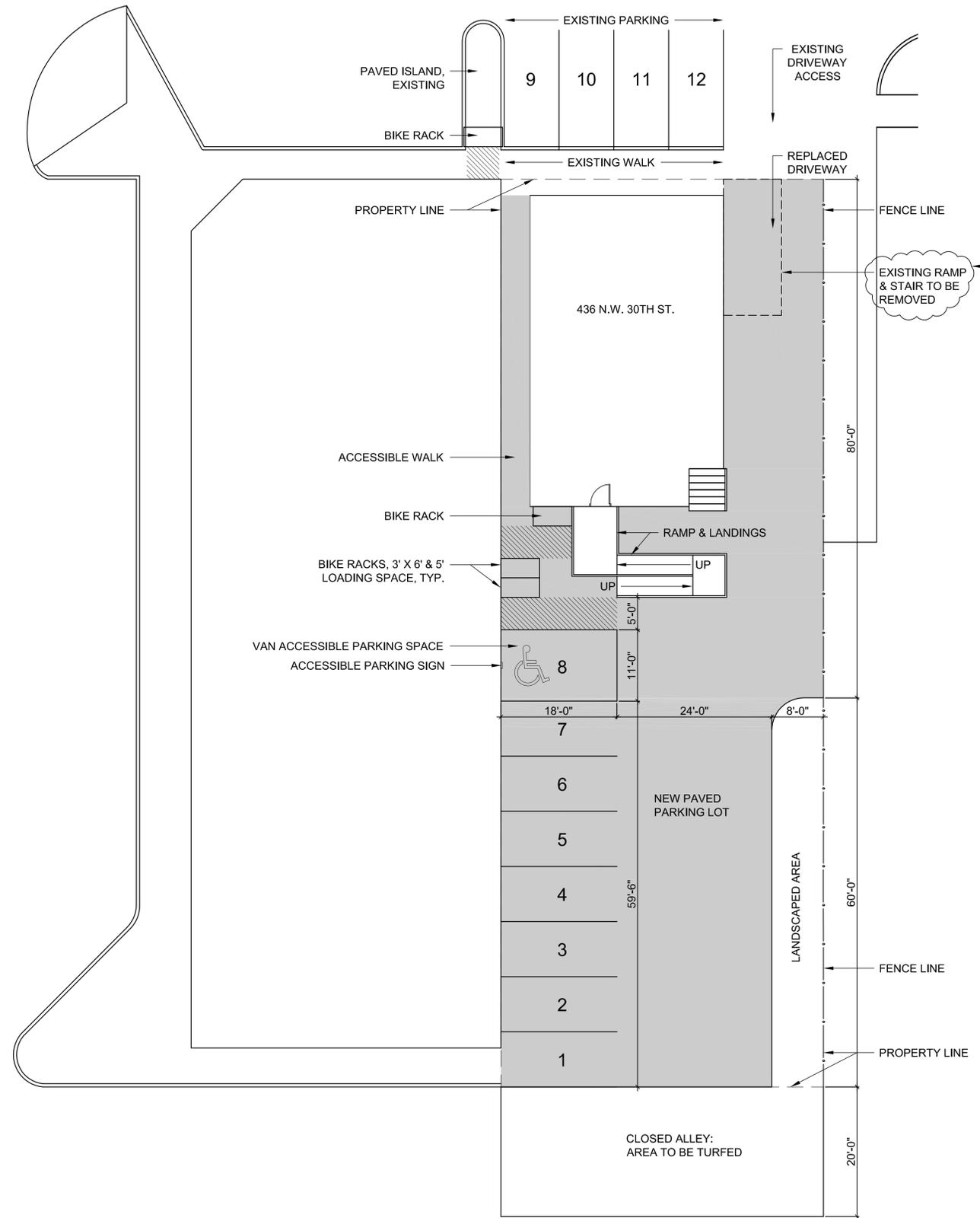
Attachment A.1 - Scope of Work:

1. Driveway Replacement and East Ramp and Stair Demolition: Demolish the ramp and stairs on the east side. Provide a new driveway between the fence line and the existing building for access to a new rear parking area.
2. New Parking Area: Provide a new parking area to comply with Oklahoma City Code requirements for the intended use. Oklahoma City Code Review determined that the required number of parking spaces is 14. The parking layout shows 12 parking spaces and 4 bike racks to offset 2 of the required parking spaces, in accordance with the Oklahoma City Municipal Code.
3. A new ramp on the south side of the building and adjacent to the accessible parking space will replace the ramp on the east side. A landscaped area along the east fence line and providing turf in the closed alley south of the property will provide planted areas to improve the aesthetics of the paved parking lot and provide permeable surfaces.
4. A new accessible sidewalk will be constructed between the west side of the property and the east wall of the corner building at 3020 N. Walker Ave.

436 N.W. 30th St., Oklahoma City, OK 73118

B. Documentation





ADDED 3/24/21

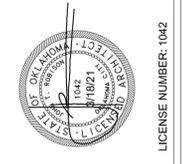
REVISED 3/24/21

INFORMATION ON THIS SHEET:

1. PARKING SITE PLAN.
2. 14 PARKING SPACES REQUIRED. 12 PARKING SPACES AND 4 BIKE RACKS PROVIDED TO FULFILL PARKING REQUIREMENT

GENERAL NOTES:

1. ALL WORK TO COMPLY WITH GOVERNING CODES, ORDINANCES, AND THE AMERICANS WITH DISABILITIES ACT (ADA).
2. VERIFY EXISTING CONDITIONS. NOTIFY OWNER OF ANY DISCREPANCIES AFFECTING THE WORK. OBTAIN OWNER'S APPROVAL BEFORE ANY INTERRUPTION OF SERVICE TO, OR USE OF, ANY ADJOINING PREMISES.
3. TYPICAL PARKING SPACE DIMENSIONS TO BE 8'-6" x 18'-0" UNLESS NOTED OTHERWISE.
4. PARKING SPACES REQUIRED:
 - 4.1. BUILDING AREA: 1385 S.F.
 - 4.2. PARKING SPACE REQUIREMENTS FOR INTENDED USE: 1 PER 100 S.F.
 - 4.3. 14 PARKING SPACES REQUIRED. 12 PARKING SPACES AND 4 BIKE RACKS PROVIDED TO FULFILL PARKING REQUIREMENT.
5. ALL PAVING TO BE PORTLAND CEMENT CONCRETE IN COMPLIANCE WITH OKLAHOMA CITY STANDARDS.



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436 N.W. 30TH ST.
PARKING LAYOUT
 JEFFERSON PARK HISTORIC DISTRICT

REVIEW DATE: 3/12/21
 ISSUED DATE: 3/18/21
 REVISIONS: 3/24/21

AS 101
 ARCHITECTURAL SITE
 PLAN - PARKING

A ARCHITECTURAL SITE PLAN - PARKING
 SCALE: 1"=10'-0"

