



The City of OKLAHOMA CITY

Staff Only: Date Stamp

Zoning: HP or HL

District:

HPCA- -

Received by:

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

NOTE: any relevant permits must be applied for and paid for separately in the Development Services Dept.

NOTE: Contact Historic Preservation Staff for final design inspection when work is complete.

Please select: [X] New Project [] Revision [] Extension [] Violation Notice Issued

Location of Proposed Work (Address): 1612 Classen Drive, Oklahoma City, OK 73103

Legal Description of Property (lot, block, addition): Harndale Addition Block: W84.6 FT of Lot 71 SE 75 FT of Lot 25

Year built: 1926 Exterior wall material: Stucco Floor area: 4094 sq.ft.

Itemized Work Items (List EACH ITEM proposed. Work not listed here will NOT be reviewed):

[] New Construction [] Addition [X] Fence [X] Demolition (specify structure) Fence

[X] Paving (specify) Concrete and tile [] Renovation (specify)

[X] Work not specified above Addition of outdoor fireplace, fire pit, water features, pergola, and pool and spa.

Owner's Authorization

I hereby certify that all above statements and statements contained in all attached and transmitted exhibits are true to the best of my knowledge and belief. In the event this proposal is approved and begun, I agree to complete the changes in accordance with approved plans in a good and workmanlike manner. I authorize the City of Oklahoma City to enter the property for the purpose of observing and photographing the project for presentations and to ensure consistency between the approved proposal and the completed project.

[X] (If applicable): I authorize my representative to speak for me in matters regarding this application. Any agreement made by my representative regarding this proposal will be binding upon me.

Owner's Signature [Signature]
Name (printed) Blake Pinard
Address 1612 Classen Drive
City, State, Zip Oklahoma City, OK, 73103

Date 5-29-21
Organization
Phone
Email blake.pinard@snagajob.com

I prefer to be: [] Mailed or [X] Emailed.
Representative Signature [Signature]
Name (printed) Brent Wall
Address 220 NW 13th St., Suite 3
City, State, Zip Oklahoma City, OK 73103

Date 3-22-2021
Organization LAUD Studio
Phone 405-420-8800
Email bwall@laudstudio.com

Contact: [] Owner [X] Representative

Is Federal money, a federal license or a federal permit included/required for any part of this project? Yes / No

If yes, what Federal agency?

Is the property owner pursuing the Federal Tax Credits for Rehabilitation of income producing historic properties? Yes / No (For questions concerning the federal tax credit program, telephone the State Historic Preservation Office at (405) 522-4479).

NOTE: Specific deadlines apply to submission of additional documentation or requests for appeals. Should your project be continued or denied, you are responsible for compliance with those deadlines.

SECTION A: SCOPE OF WORK

SCOPE OF WORK

1612 Classen Drive
Oklahoma City, OK 73103

May 11th, 2021

I. Front Yard Landscape - Classen Drive

- A. Install new planting beds.
- B. Install drought tolerant plantings in the new beds.
- C. Plant two 3" caliper trees in front yard.

II. New Perimeter Fence (Replacement) and Stucco Wall (16th St)

- A. Demolish existing deteriorating fence and damaged volunteer trees along perimeter.
- B. Install 6' H wood fence supported by posts at 8'-0" O.C. with concrete post footings.
- C. Install 6' H CMU wall with decorative columns and stucco finish to match existing home.
 - 1. Install 3' W cedar gate at center of stucco wall.

III. Back Yard Landscape and Home Owner Amenities

- A. Install new hardscape patio to connect proposed landscape design elements. Hardscape elements include integrated color concrete and decorative concrete tile.
- B. Install cedar pergola in an espresso finish to match trim of existing home.
- C. Install new pool and spa with decorative tile.
- D. Install two matching water features with stucco finish and decorative porcelain tile to match existing home.
- E. Install concrete fire bowls with gas connections.
- F. Install CMU fireplace with stucco finish and terracotta chimney caps to match existing home.
- G. Install decorative steel gates and screens.
- H. Install comprehensive drainage system in the front and back of property to collect water from new designed elements. Existing Permeable Surface - 9,711 SF. Proposed Permeable Surface - 6,809 SF. Total Site Area - 15,196 SF.
- I. Install drought tolerant plantings in the new beds with custom concrete curbs to match front yard.

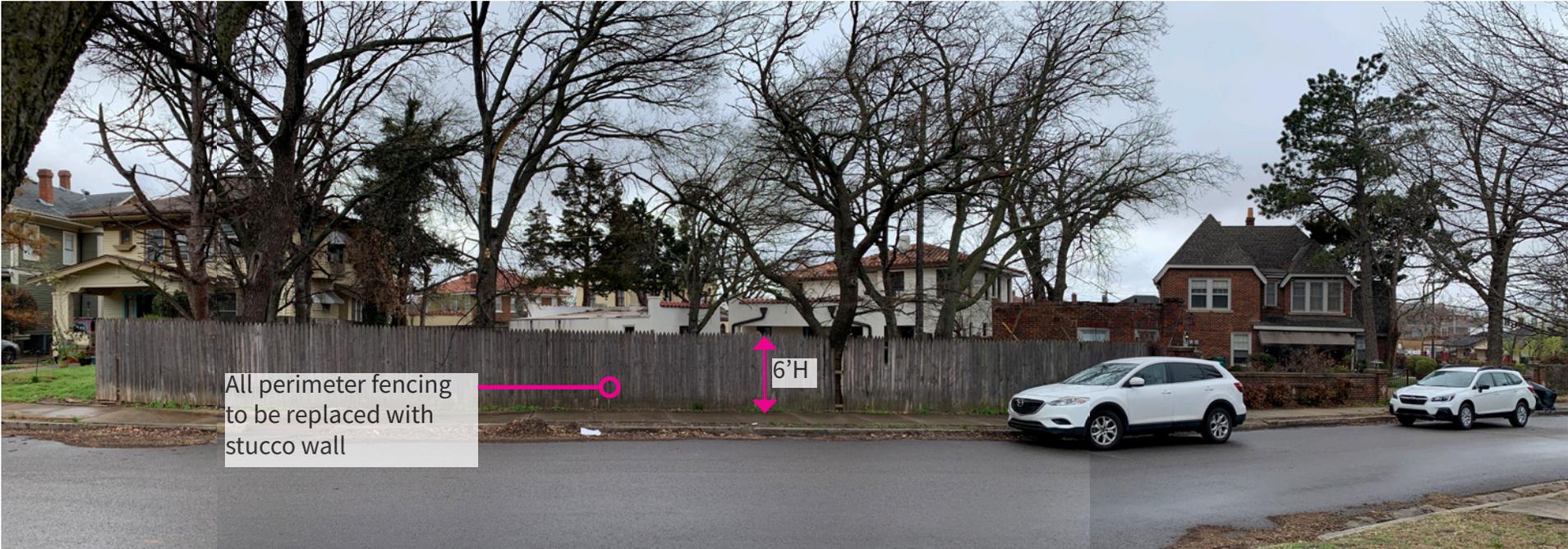
SECTION B: DOCUMENTATION OF EXISTING CONDITIONS







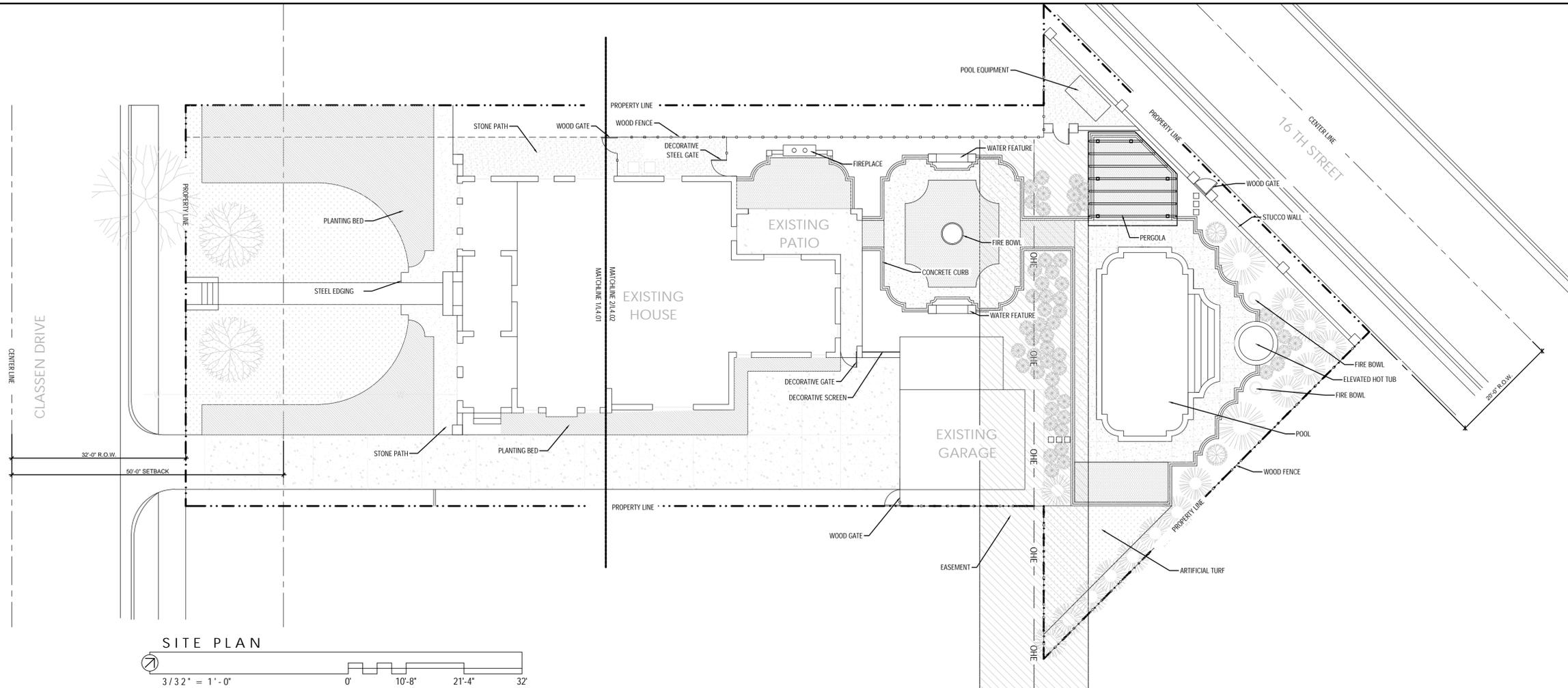




All perimeter fencing to be replaced with stucco wall

6'H

SECTION C: SITE PLANS



GENERAL NOTES

- WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING:
 - THESE GENERAL NOTES, AND CONSTRUCTION DOCUMENTS AND SPECIFICATIONS.
 - ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES, ORDINANCES AND REGULATIONS. ALL CODES LISTED IN SPECIFICATIONS AND DRAWINGS SHALL BE INCLUSIVE OF ALL CODES, REGULATIONS AND REQUIREMENTS ADOPTED BY THE STATE OF OKLAHOMA AND THE CITY OF NICHOLS HILLS, INCLUDING ALL AMENDMENTS.
- SOURCE OF BASE INFORMATION IS ASSUMED TO BE CORRECT. REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER'S REPRESENTATIVE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE FAMILIAR WITH AND TO LOCATE ALL EXISTING SITE CONDITIONS, UNDERGROUND UTILITIES, DROP WIRES, POLES, PIPES, AND OTHER SUBSTRUCTURES AND TO PROTECT THEM FROM DAMAGE. THE EXPENSE OF REPAIR, BODILY INJURY, OR REPLACEMENT OF SAID SUBSTRUCTURES INCLUDING DAMAGE OF THE OWNER'S PROPERTY SHALL BE BORN BY THE CONTRACTOR. THE CONTRACTOR SHALL HAND DIG FOOTINGS, TREE WELLS, PLANTING BEDS, ETC. AS REQUIRED. CONTRACTOR RESPONSIBLE FOR CONTACTING UTILITY COMPANIES PRIOR TO EXCAVATION.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES, LANDSCAPING, AND FEATURES TO REMAIN ON/OR ADJACENT TO THE PROJECT SITE DURING CONSTRUCTION. CONTRACTOR SHALL REPAIR, AT HIS OWN EXPENSE, ALL DAMAGE RESULTING FROM HIS OPERATIONS OR NEGLIGENCE.
- THE CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT INSPECTION SCHEDULES. CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES NECESSARY TO PROVIDE ALL WORK. WORK TO BE COMPLETED IN PLACE AS SPECIFIED.
- ALL MATERIALS SHALL BE OF STANDARD, APPROVED AND FIRST GRADE QUALITY AND SHALL BE IN PRIME CONDITION WHEN INSTALLED AND ACCEPTED. ALL MATERIALS SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL BEFORE INSTALLATION.
- ALL WORK AREAS SHALL BE CORDONED OFF OR FENCED DURING CONSTRUCTION.
- A COPY OF THE EROSION CONTROL SITE PLAN MUST BE ON SITE AT ALL TIMES AND MADE AVAILABLE TO THE INSPECTOR UPON REQUEST.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ALL EROSION CONTROL DEVICES DAMAGED DUE TO CONSTRUCTION.

LAYOUT NOTES

- ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE, LARGER SCALE OVER SMALLER SCALE, ADDENDA AND CLARIFICATIONS OVER PREVIOUS DOCUMENTS.
- CONTRACTOR TO LAY OUT HARDSCAPE ELEMENTS AND VERIFY LAYOUT WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. HARDSCAPE ELEMENTS ARE DIMENSIONED ON THE LANDSCAPE LAYOUT PLAN. ANY DISCREPANCIES OR CONFLICTS WITH EXISTING CONDITIONS OR OTHER DRAWINGS SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT IMMEDIATELY FOR PROPER CLARIFICATION OR ADJUSTMENT.
- FOR DIMENSIONS OF EXISTING BUILDINGS, PROPOSED BUILDING IMPROVEMENTS, AND RELATED WORK, REFER TO THE ARCHITECTURAL AND OR CIVIL DRAWINGS.
- INSTALL INTERSECTING ELEMENTS AT 90 DEGREE ANGLES TO EACH OTHER UNLESS OTHERWISE NOTED.
- "SAND BACKFILL" IS NOT PERMITTED. LIMESTONE SCREENINGS, CRUSHER RUN, RECYCLED PC CONCRETE OR OTHER APPROVED AGGREGATE SHALL BE USED AS BACKFILL MATERIAL. THE MATERIAL SHALL BE DAMPENED AND HAND TAMPED IN LIFTS NOT EXCEEDING FOUR (4) INCHES IN DEPTH. ANY REFERENCE TO "SAND BACKFILL" CONTAINED IN THESE PLANS AND/OR SPECIFICATIONS IS REPLACED BY THIS REQUIREMENT. UNLESS OTHERWISE PROVIDED, INCLUDE COST IN THE PRICE BID FOR OTHER ITEMS OF WORK.

TREE PRESERVATION NOTES

- ALL TREES TO BE PRESERVED AS INDICATED ON THE TREE PROTECTION PLAN SHALL BE PROTECTED BY 4" SNOW FENCE. THE FENCE SHALL BE FIRMLY ANCHORED INTO THE GROUND AND SHALL REMAIN UPRIGHT AND INTACT UNTIL ALL CONSTRUCTION ACTIVITY IS COMPLETE. CONSTRUCTION ACTIVITIES OR STORAGE SHALL NOT OCCUR WITHIN THESE PROTECTED AREAS. THE CONTRACTOR SHALL STAKE THE PROTECTIVE FENCING LOCATION. THE LOCATION OF THE PROTECTIVE FENCING SHALL BE APPROVED ONSITE BY THE LANDSCAPE ARCHITECT PRIOR TO THE START OF ANY SITE WORK.
- WHEN EXCAVATION NEAR A TREE TO BE PROTECTED MUST BE CARRIED OUT, DAMAGE CAN BE LIMITED BY ROOT PRUNING. ROOT PRUNING SHALL BE COMPLETED BEFORE GRADING IS STARTED AND SHALL OCCUR BENEATH THE PROTECTIVE FENCING AS SHOWN ON THE PLAN.
- ROOT PRUNING SHALL BE PERFORMED, WHEN REQUIRED, WITH A TRENCHER SUCH AS A TELEPHONE CABLE PULLER OR A "DITCH WITCH" PRIOR TO ADJACENT EXCAVATION. THE TRENCHING SHALL BE TO A MINIMUM DEPTH OF 24" OR THE DEPTH OF EXCAVATION. THE CONTRACTOR SHALL STAKE THE LIMIT OF ROOT PRUNING AS PER THE PLAN. LIMITS OF TRENCHING SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY TRENCHING IN THE FIELD. ALL ROOTS DAMAGED BY TRENCHING SHALL BE HAND PRUNED. ROOTS GREATER THAN 1" DIAMETER SHALL BE PRUNED WITH A HAND SAW. ROOTS LESS THAN 1" SHALL BE PRUNED WITH LOPPERS OR HAND PRUNERS. DO NOT TRENCH FOR IRRIGATION OR ELECTRICAL WITHIN DRIP LINES OF EXISTING TREES. COORDINATE ALL TRENCHING REQUIRED FOR UTILITY WORK WITH THE LANDSCAPE PLANS.
- THE BEST METHOD TO AVOID SOIL COMPACTION IS TO KEEP OFF. THIS INCLUDES RESTRICTING ALL TRAFFIC BOTH VEHICULAR AND PEDESTRIAN FROM CROSSING OVER THE ROOT ZONES, AND RESTRICTING EVEN TEMPORARY MATERIAL STORAGE UNDER TREES.

PLANTING NOTES

BY USE OF THESE DRAWINGS BEARING THE SEAL AND SIGNATURE OF THE LANDSCAPE ARCHITECT, FOR ANY REASON, THE USER ACKNOWLEDGES AND ACCEPTS THE FOLLOWING:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH UNDERGROUND UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED TO DAMAGE OF SAID UTILITIES OR STRUCTURES IF PROPER VERIFICATION BY CONTRACTOR WAS NOT PERFORMED.
- DO NOT WILLFULLY PROCEED WITH PLANTING OPERATIONS AS DESIGNED WHEN IT IS OBVIOUS THAT OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT WERE NOT KNOWN DURING THE DESIGN PROCESS. SUCH CONDITIONS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER AND LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ALL NECESSARY CHANGES DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH PLANTING OPERATIONS.
- ANY DISCREPANCIES BETWEEN THE NOTES AND PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION.
- IF CONFLICTS ARISE BETWEEN THE ACTUAL SIZE OF THE AREAS ON SITE AND THE DRAWINGS THE CONTRACTOR SHALL CONTACT THE OWNER'S AUTHORIZED REPRESENTATIVE FOR RESOLUTION. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- AFTER FINISH GRADES HAVE BEEN ESTABLISHED FOR ALL ON-GRADE PLANTING AREAS, THE CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY A QUALIFIED SOILS TESTING LABORATORY FOR SOIL FERTILITY, AGRICULTURAL SUITABILITY, AND SOIL PREPARATION RECOMMENDATIONS. THE CONTRACTOR MAY BE REQUESTED TO AMEND THE SOIL TO CONFORM TO THE RECOMMENDATIONS, HOWEVER, ANY AMENDMENT THAT MIGHT BE REQUESTED OF THE CONTRACTOR SHALL ONLY BE UPON RECEIPT OF WRITTEN CHANGE ORDER FROM OWNER.
- REFER TO DRAWINGS FOR PLANTING REQUIREMENTS, MATERIALS, AND EXECUTION. MULCH SHALL BE CEDAR.
- ALL TREES SHALL BE TAGGED BY THE LANDSCAPE ARCHITECT.

9. FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE LANDSCAPE ARCHITECT. CONTRACTOR SHALL COMPLETE THE FOLLOWING TASKS BEFORE BEGINNING PLANTING OPERATIONS:

- SHRUBS- LAYOUT CONTAINER LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT ONSITE PRIOR TO DIGGING HOLES FOR PLANTING.
- TREES- STAKE ALL TREE LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO DIGGING HOLES FOR PLANTING. ANY TREE PLANTED WITHOUT ITS FINAL LOCATION APPROVED BY THE LANDSCAPE ARCHITECT IS SUBJECT TO RELOCATION AT THE SOLE EXPENSE OF THE CONTRACTOR. ENSURE PROPER COORDINATION OF ALL FOOTINGS, SUB-STRUCTURE AND UTILITIES.
- ELECTRICAL- STAKE THE LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. REVIEW WITH PROPOSED TREE STAKING MENTIONED ABOVE. ANY SITE LIGHTING INSTALLED WITHOUT ITS FINAL LOCATION APPROVED BY THE LANDSCAPE ARCHITECT IS SUBJECT TO RELOCATION AT THE SOLE EXPENSE OF THE CONTRACTOR.
- 10. THE CONTRACTOR SHALL ALWAYS ASSUME THE SMALLER SIZE OF EACH PLANT WHEN A RANGE IS GIVEN CONCERNING SPACING, I.E. PLANT TYPE IS 12" TO 18" WIDE. THE CONTRACTOR SHALL USE 12" (THE SMALLER SIZE) TO ESTIMATE PLANTS REQUIRED TO FILL A GIVEN AREA.
- 11. SPECIAL WARRANTY: WARRANT THE FOLLOWING PLANTS, FOR THE WARRANTY PERIOD INDICATED, AGAINST DEFECTS AND/OR LOSS RESULTING FROM MATERIALS AND EXECUTION INCLUDING DEATH AND UNSATISFACTORY GERMINATION/GROWTH, BUT EXCLUDING DAMAGE AND/OR LOSS RESULTING FROM MAINTENANCE, NEGLIGENCE, ABUSE, VANDALISM, THEFT BY OTHERS AND/OR UNSEASONAL SEVERE WEATHER CONDITIONS.
- 12. WARRANTY PERIOD FOR TURF, GRASSES, SHRUBS TREES AND ALL VEGETATION: TWELVE MONTHS FROM DATE OF SUBSTANTIAL COMPLETION.
- 13. WARRANTEE REPLACEMENTS: REMOVE DEAD AND/OR DEFECTIVE PLANTS IMMEDIATELY AND REPLACE WITHIN THIRTY DAYS WHEN WEATHER CONDITIONS PERMIT BUT BEFORE FINAL COMPLETION. MATCH SIZE AND SPECIES OF ADJACENT PLANTS. REINSTATE THE WARRANTY FOR THE CORRECTED WORK FROM DATE WHEN THE CORRECTION IS COMPLETED.



LAUD STUDIO LLC
220 NW 13TH ST SUITE 3
OKLAHOMA CITY, OK
73103 | 405.420.8800



PROJECT NUMBER
2018

PINARD RESIDENCE
1612 CLASSEN DRIVE, OKLAHOMA CITY, OK 73106



ISSUE	DATE
Review Set	05.11.21

DRAWN BY: HM
CHECKED BY: BW

SITE PLAN & GENERAL NOTES

L0.01
SHEET 01 OF 08



PROJECT NUMBER
2018

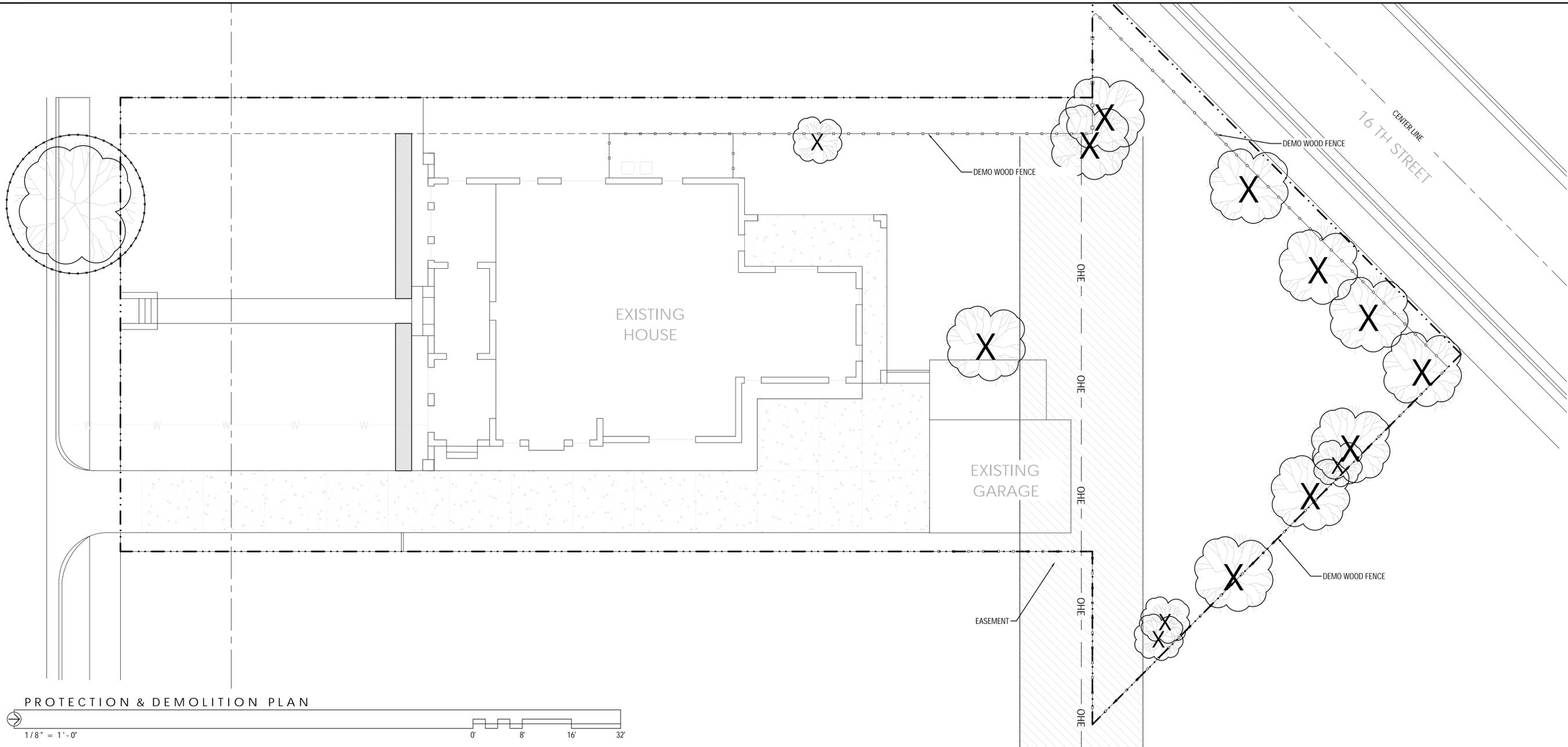
PINARD RESIDENCE
1612 CLASSEN DRIVE, OKLAHOMA CITY, OK 73106



ISSUE	DATE
Review Set	05.11.21

DRAWN BY: HM
CHECKED BY: BW

PROTECTION & DEMOLITION PLAN
L1.01
SHEET 02 OF 08



PROTECTION & DEMOLITION LEGEND

	REMOVE TREE		TRANSPLANT TREE		PROTECT TREE
	ITEM TO BE REMOVED		ITEM TO BE SALVAGED		PROTECTION FENCING
	AREA TO BE REMOVED		PROTECTION STAKES		STRAW WATTLE
			LIMIT OF DEMOLITION		



LAUD STUDIO L.L.C
220 NW 13TH ST SUITE 3
OKLAHOMA CITY, OK
73103 | 405.420.8800



PROJECT NUMBER
2018

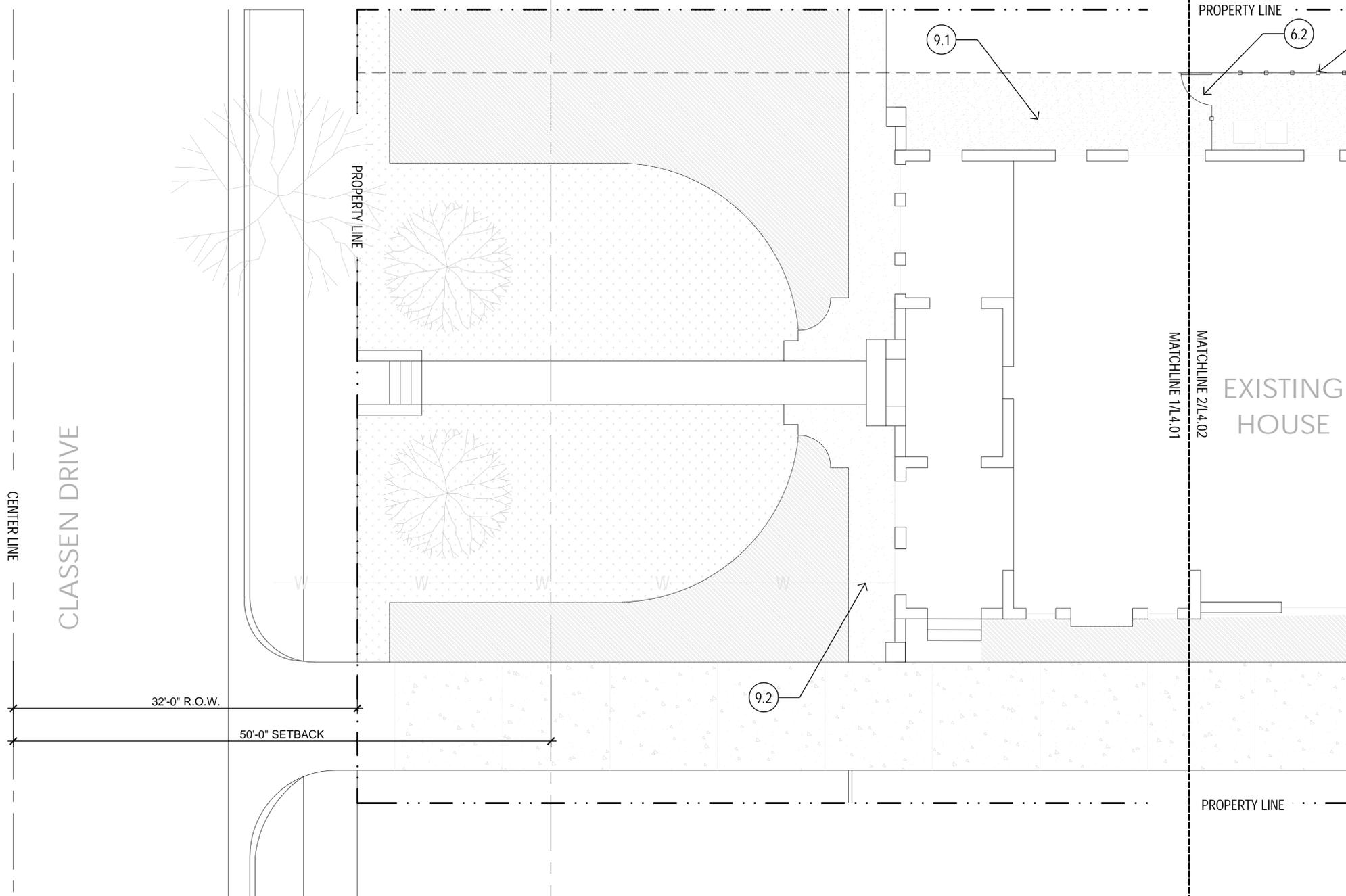
PINARD RESIDENCE
1612 CLASSEN DRIVE, OKLAHOMA CITY, OK 73106



ISSUE DATE
Review Set 05.11.21

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LAYOUT & MATERIALS PLAN
L4.01
SHEET 03 OF 08

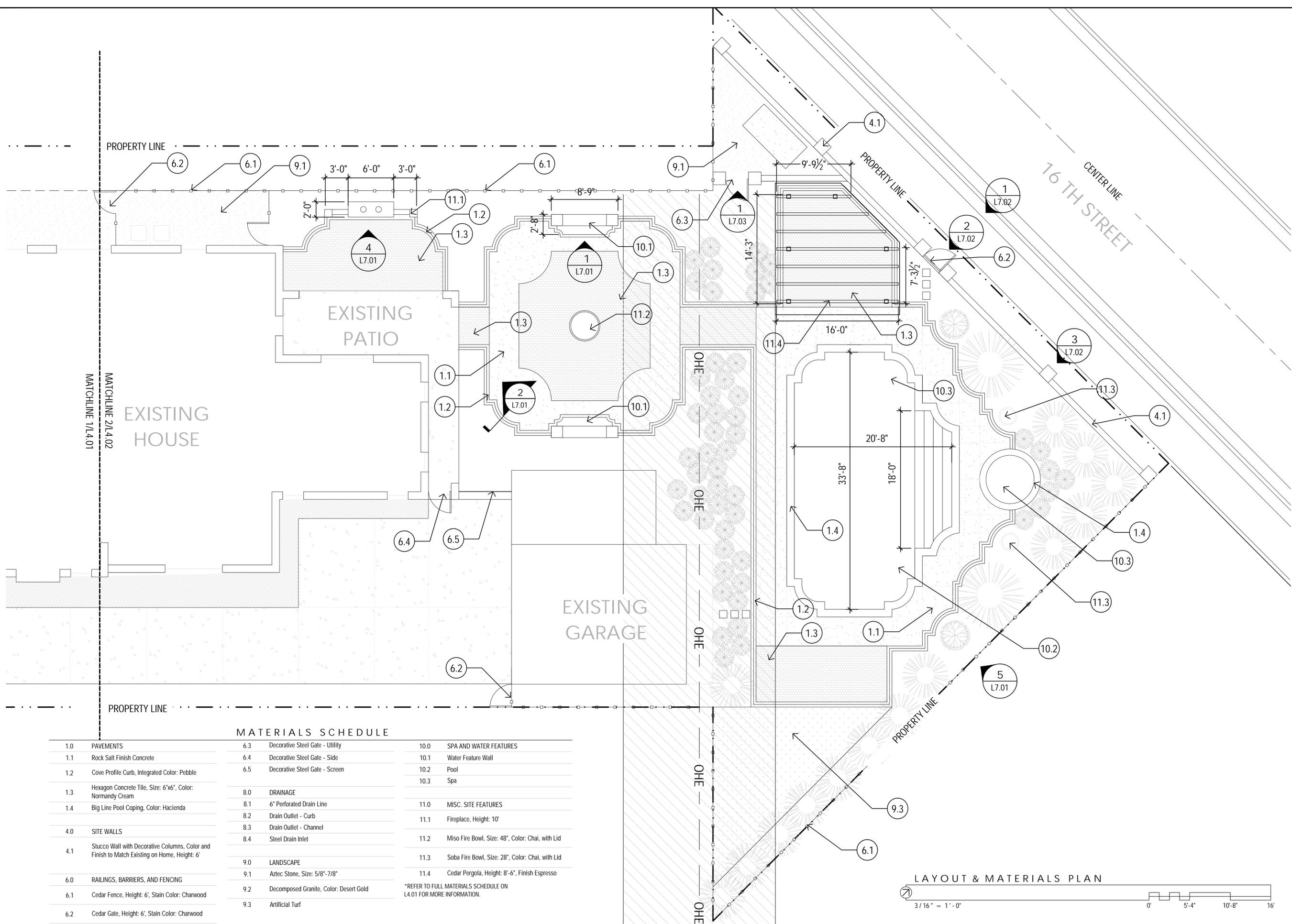


MATERIALS SCHEDULE

NO.	DESCRIPTION	MANUFACTURER	DETAIL
1.0	PAVEMENTS		
1.1	Rock Salt Finish Concrete	Davis Colors	
1.2	Cove Profile Curb, Integrated Color: Pebble	Davis Colors	RE:2/L7.01
1.3	Hexagon Concrete Tile, Size: 6"x6", Color: Normandy Cream	Artllo	
1.4	Big Line Pool Coping, Color: Hacienda	Arto	
2.0	JOINTING - NOT USED AT THIS TIME		
3.0	STEPS - NOT USED AT THIS TIME		
4.0	SITE WALLS		
4.1	Stucco Wall with Decorative Columns, Color and Finish to Match Existing on Home, Height: 6'	Custom	RE: 1-3/L7.03
5.0	SITE FURNISHINGS - BY OWNER		
6.0	RAILINGS, BARRIERS, AND FENCING		
6.1	Cedar Fence, Height: 6', Stain Color: Charwood	Sherwin Williams	RE:5/L7.01
6.2	Cedar Gate, Height: 6', Stain Color: Charwood	Sherwin Williams	RE:2/L7.03
6.3	Decorative Steel Gate - Utility	Custom	RE:1/L7.03
6.4	Decorative Steel Gate - Side	Custom	
6.5	Decorative Steel Gate - Screen	Custom	
7.0	SITE LIGHTING - NOT USED AT THIS TIME		
8.0	DRAINAGE		
8.1	6" Perforated Drain Line	NDS	
8.2	Drain Outlet - Curb	Custom	
8.3	Drain Outlet - Channel	Custom	
8.4	Steel Drain Inlet	NDS	
9.0	LANDSCAPE		
9.1	Aztec Stone, Size: 5/8"-7/8"		RE: 3/L7.02
9.2	Decomposed Granite, Color: Desert Gold		RE: 3/L7.02
9.3	Artificial Turf		
10.0	SPA AND WATER FEATURES		
10.1	Water Feature Wall	Custom	RE:1/L7.01
10.2	Pool	By Others	
10.3	Spa	By Others	
11.0	MISC. SITE FEATURES		
11.1	Fireplace, Height: 10'	Custom	RE:4/L7.01
11.2	Miso Fire Bowl, Size: 48", Color: Chai, with Lid	Paloform	Per Manufacturer
11.3	Soba Fire Bowl, Size: 28", Color: Chai, with Lid	Paloform	Per Manufacturer
11.4	Cedar Pergola, Height: 8'-6", Finish Espresso	Custom	RE:4/L7.01

LAYOUT & MATERIALS PLAN





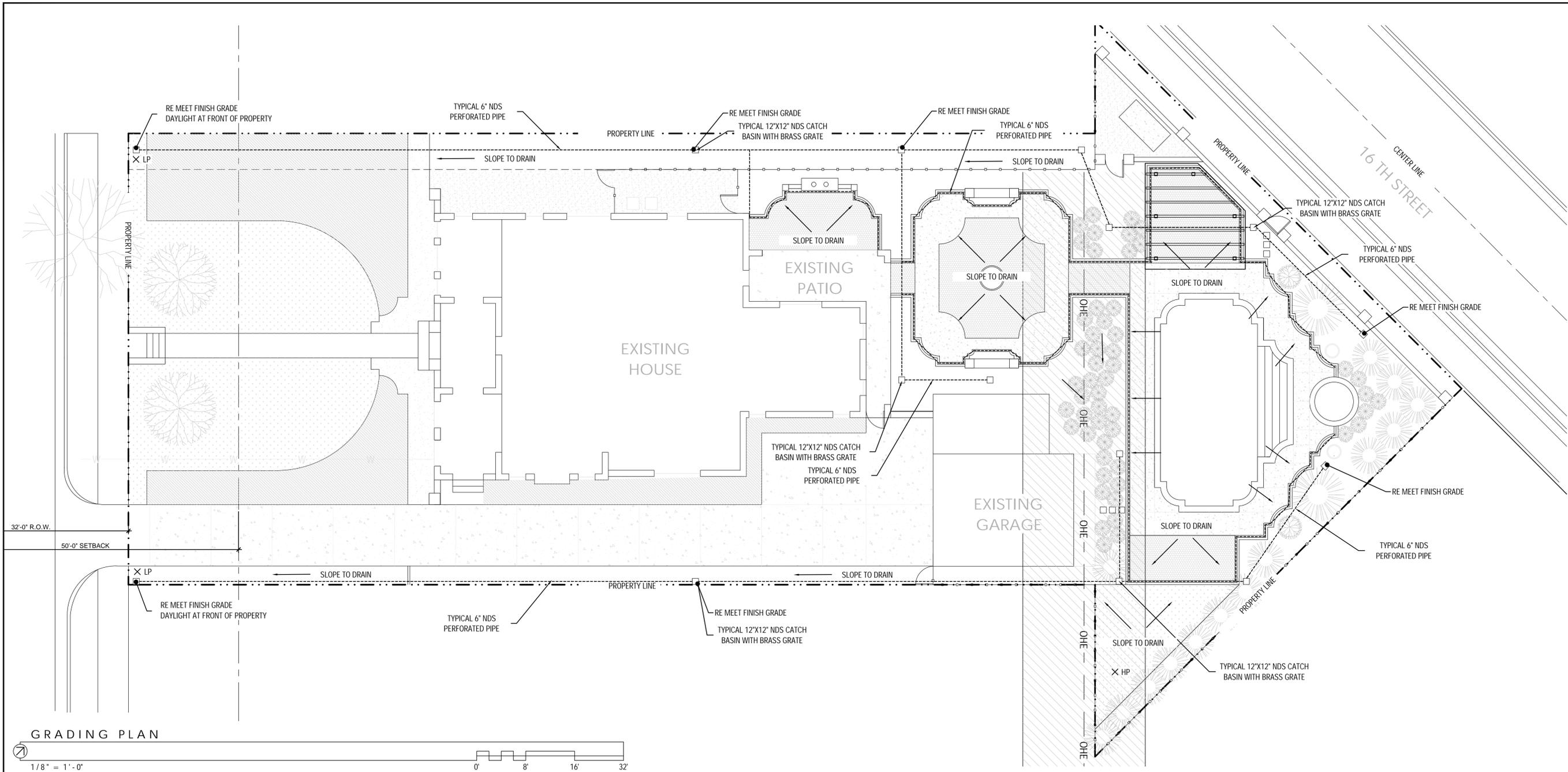
MATERIALS SCHEDULE

1.0 PAVEMENTS	6.3 Decorative Steel Gate - Utility	10.0 SPA AND WATER FEATURES
1.1 Rock Salt Finish Concrete	6.4 Decorative Steel Gate - Side	10.1 Water Feature Wall
1.2 Cove Profile Curb, Integrated Color: Pebble	6.5 Decorative Steel Gate - Screen	10.2 Pool
1.3 Hexagon Concrete Tile, Size: 6"x6", Color: Normandy Cream	8.0 DRAINAGE	10.3 Spa
1.4 Big Line Pool Coping, Color: Hacienda	8.1 6" Perforated Drain Line	11.0 MISC. SITE FEATURES
4.0 SITE WALLS	8.2 Drain Outlet - Curb	11.1 Fireplace, Height: 10'
4.1 Stucco Wall with Decorative Columns, Color and Finish to Match Existing on Home, Height: 6'	8.3 Drain Outlet - Channel	11.2 Miso Fire Bowl, Size: 48", Color: Chai, with Lid
6.0 RAILINGS, BARRIERS, AND FENCING	8.4 Steel Drain Inlet	11.3 Soba Fire Bowl, Size: 28", Color: Chai, with Lid
6.1 Cedar Fence, Height: 6', Stain Color: Charwood	9.0 LANDSCAPE	11.4 Cedar Pergola, Height: 8'-6", Finish Espresso
6.2 Cedar Gate, Height: 6', Stain Color: Charwood	9.1 Aztec Stone, Size: 5/8"-7/8"	
	9.2 Decomposed Granite, Color: Desert Gold	
	9.3 Artificial Turf	

*REFER TO FULL MATERIALS SCHEDULE ON L4.01 FOR MORE INFORMATION.

LAYOUT & MATERIALS PLAN





GRADING PLAN



LEGEND

- X 1185.12 EXISTING ELEVATION
- 1185.12 PROPOSED ELEVATION
- FL-1185.12 PROPOSED FLOW LINE ELEVATION
- INDICATED DIRECTION OF DRAINAGE
- CENTER LINE
- MEG MEET EXISTING GRADE
- CJ CONTRACTION JOINT
- EJ EXPANSION JOINT
- FG FINISHED GRADE
- P.O.B. POINT OF BEGINNING
- P.O.E. POINT OF ENDING
- TW TOP OF WALL
- BW BOTTOM OF WALL
- TC TOP OF CURB
- BC BOTTOM OF CURB
- G GUTTER
- HP HIGH POINT
- LP LOW POINT
- C CLEAN CUT
- TS TOP OF SLIDE
- RE RIM ELEVATION
- FLOW LINE

GRADING NOTES

1. THE CONTRACTOR SHALL STOCKPILE AND REUSE AS MUCH TOPSOIL FROM THE SITE.
2. CONTRACTOR SHALL REMOVE EXCAVATION TO AN APPROVED LANDFILL OR CONSTRUCTION SITE.
3. ALL PROPOSED CONTOURS SHALL TRANSITION SMOOTHLY INTO EXISTING CONTOURS.
4. ALL SPOT GRADES ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD
5. IF ANY DISCREPANCIES ARISE IN THE FIELD THE CONTRACTOR IS TO GET CLARIFICATION FROM THE LANDSCAPE ARCHITECT.
6. ALL AREAS OF FILL SHALL BE COMPACTED IN 12" LIFTS.
7. ALL AREAS OF FILL SHALL BE COMPACTED TO A DENSITY OF 90%
8. CONTRACTOR SHALL SCARIFY FINAL GRADES TO A DEPTH OF 1/2" PRIOR TO SEEDING.

SECTION D: ENLARGED PLANS AND DETAILS

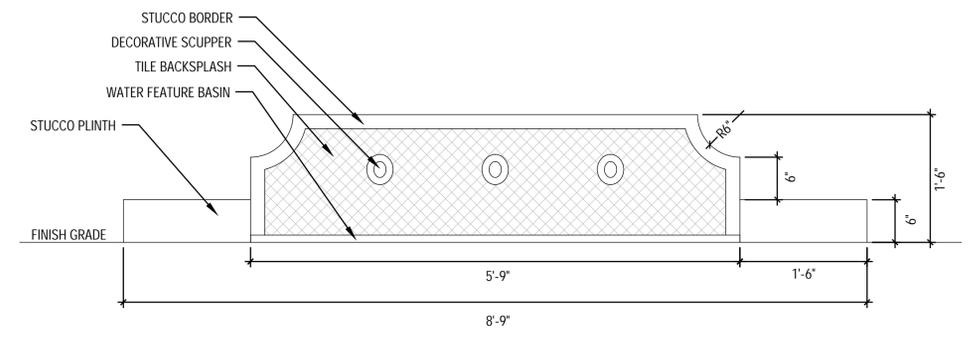


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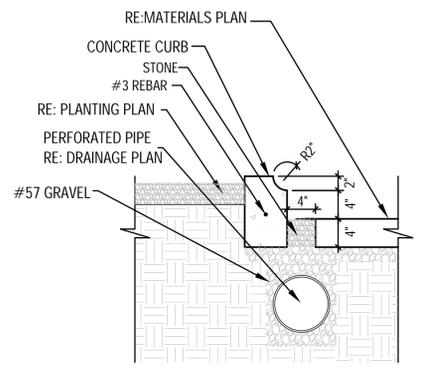
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DETAILS

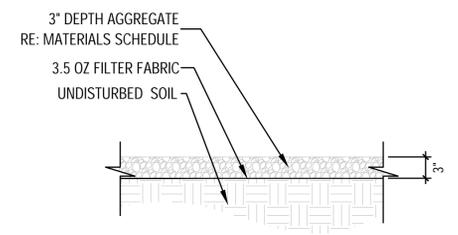
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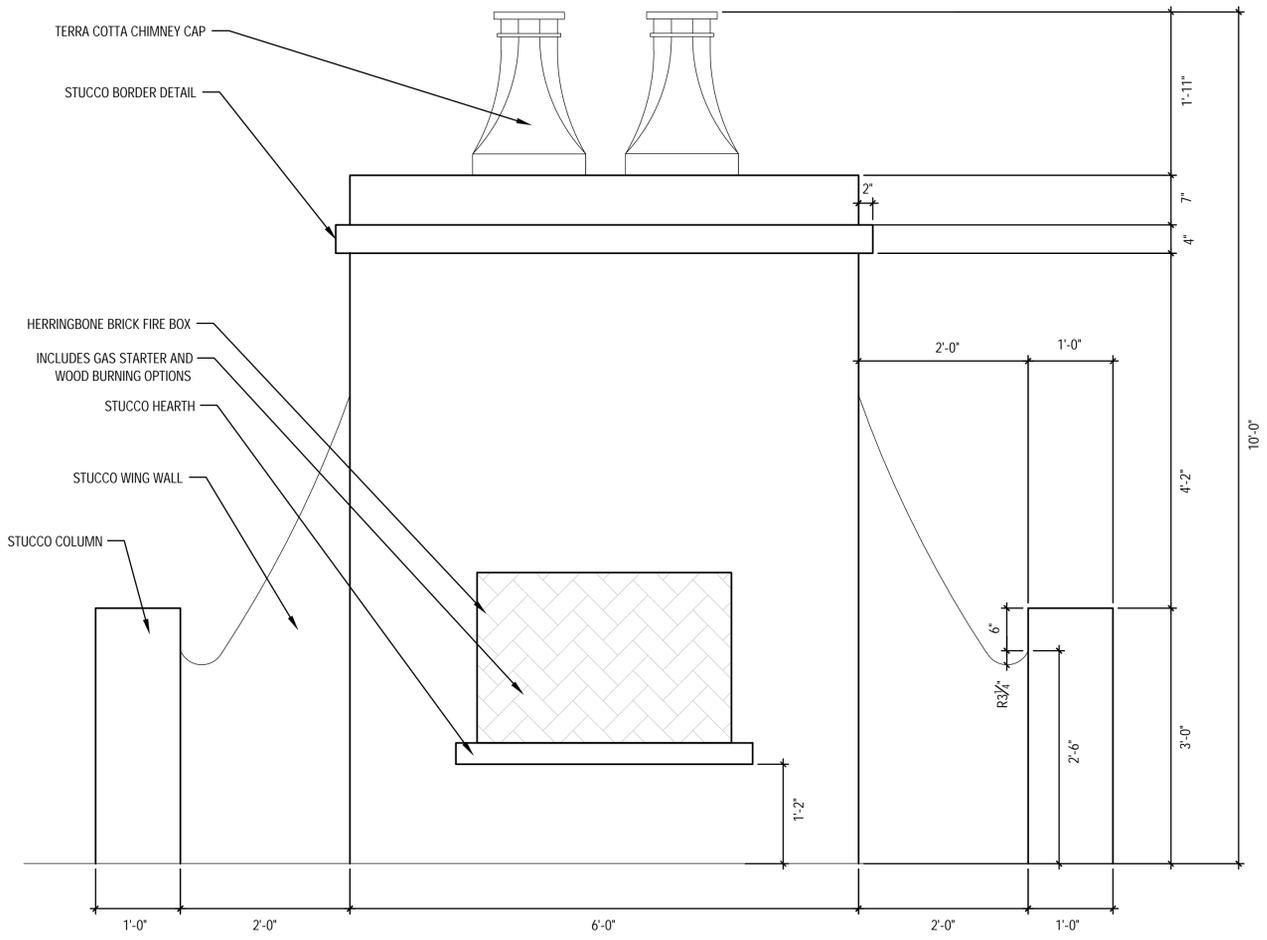
1 WATER FEATURE ELEVATION
SCALE: AS SHOWN



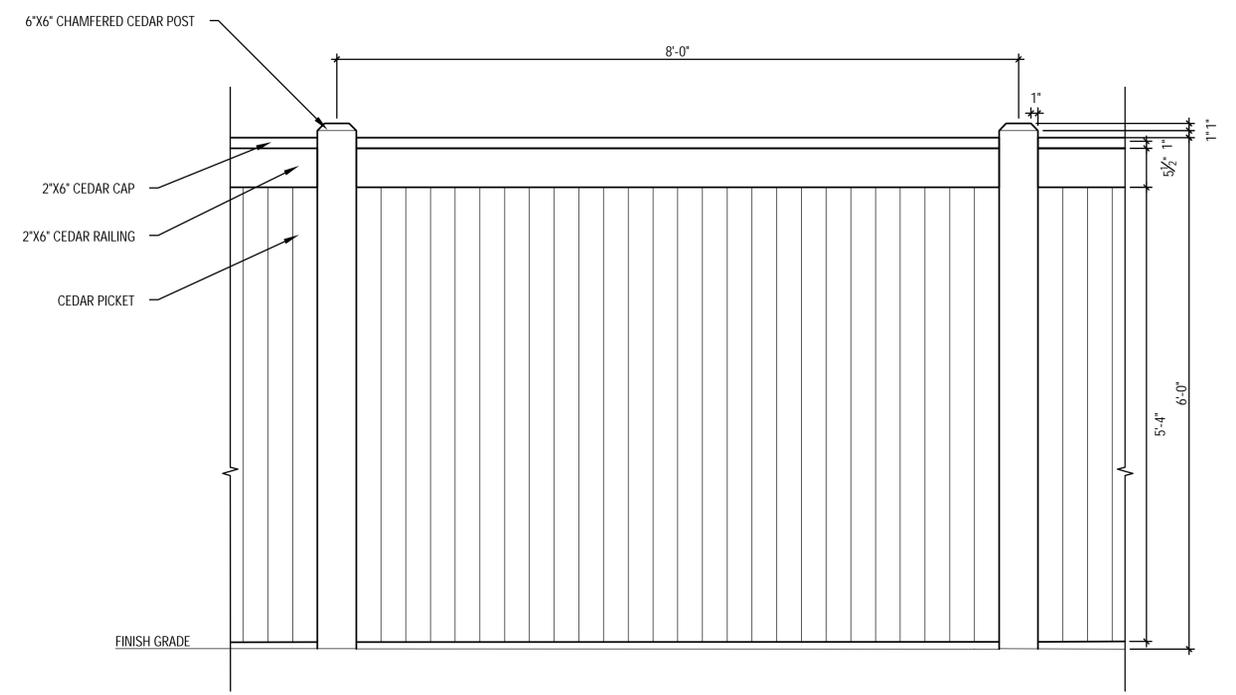
2 DECORATIVE CURB SECTION
SCALE: AS SHOWN



3 STONE SECTION
SCALE: AS SHOWN



4 FIREPLACE ELEVATION
SCALE: AS SHOWN



5 CEDAR FENCE ELEVATION
SCALE: AS SHOWN

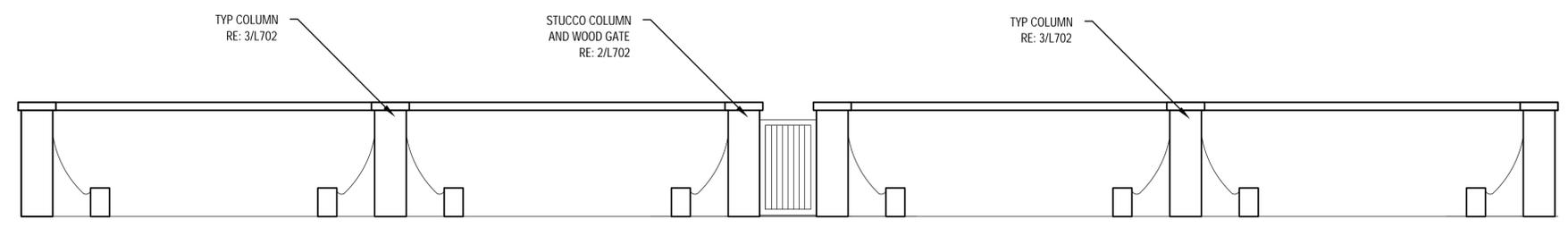


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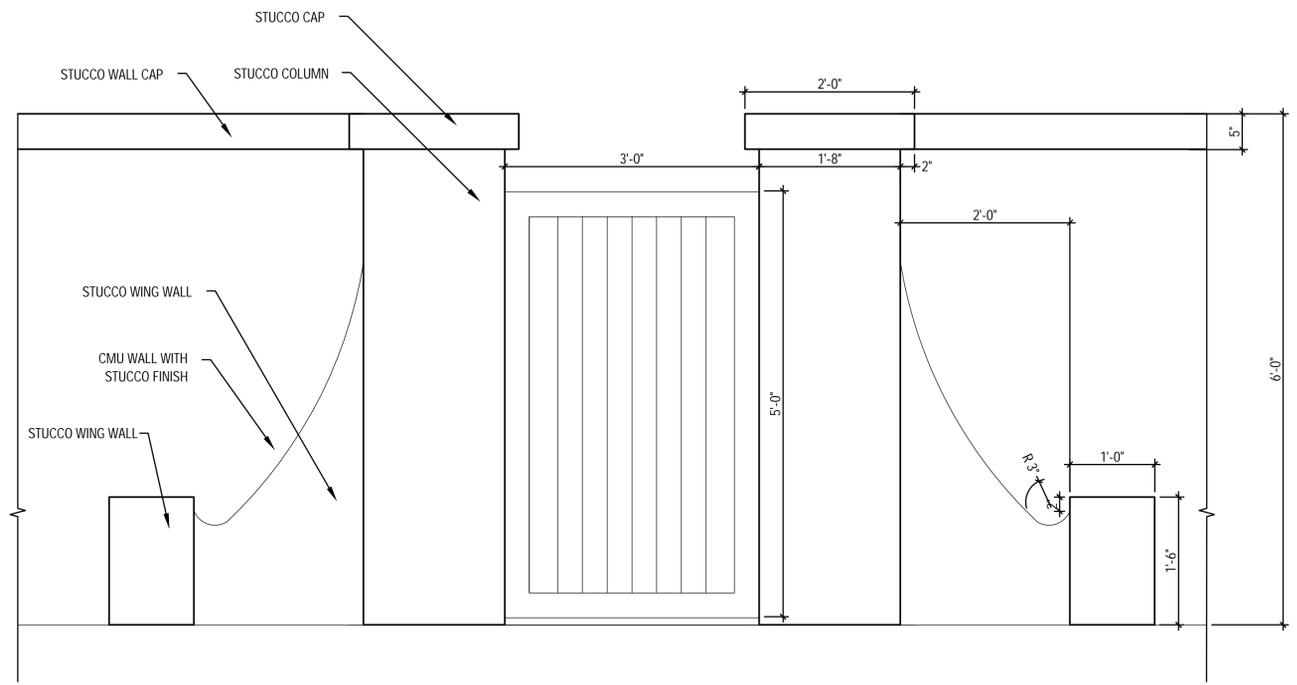
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DETAILS

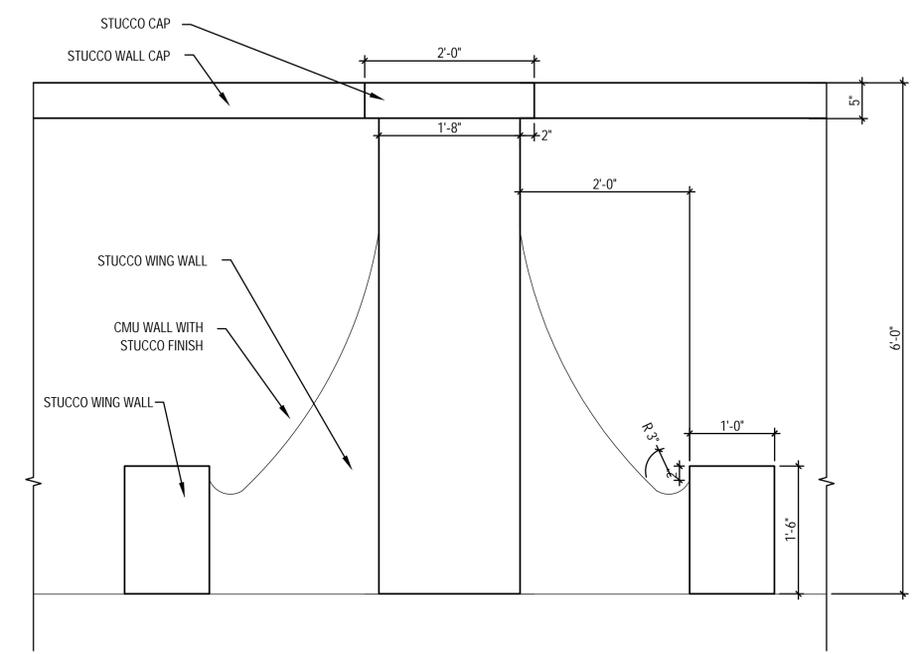
L7.02
SHEET 07 OF 08



1 STUCCO WALL AND WOOD GATE ELEVATION
SCALE: AS SHOWN



2 STUCCO WALL AND WOOD GATE ELEVATION
SCALE: AS SHOWN

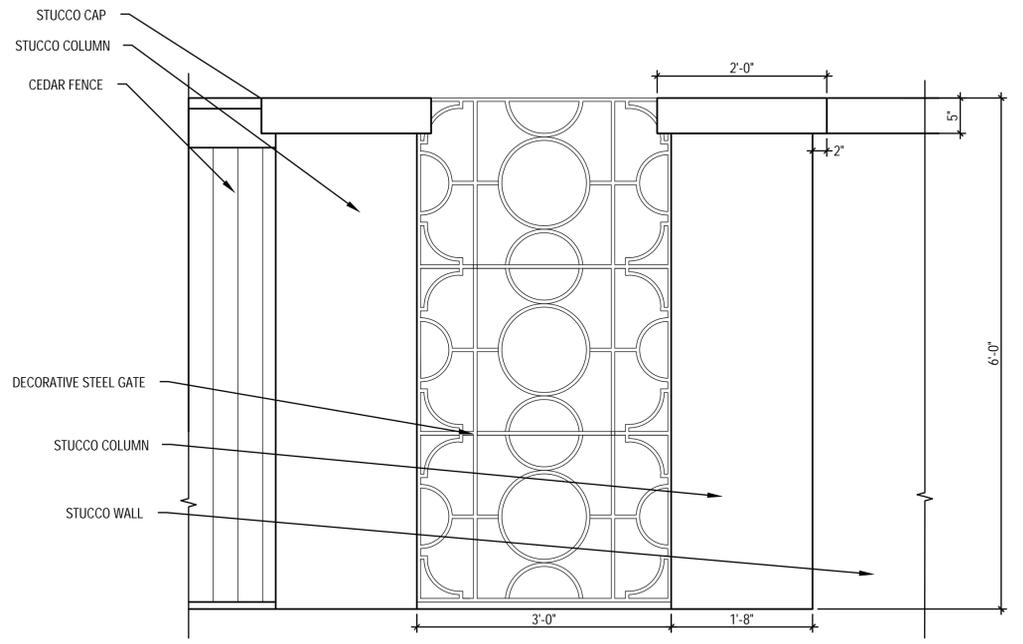


3 STUCCO WALL AND COLUMN ELEVATION
SCALE: AS SHOWN

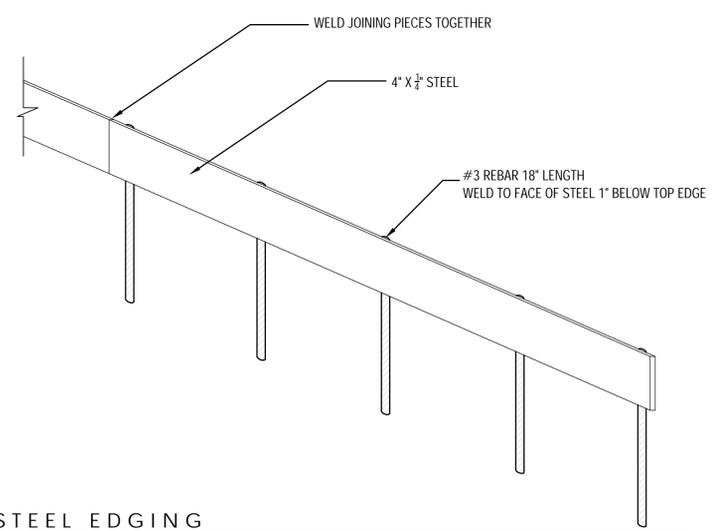


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1 DECORATIVE UTILITY GATE ELEVATION
SCALE: AS SHOWN



2 STEEL EDGING
SCALE: AS SHOWN

DETAILS | Entry Steps and Planting Beds

LAUD

Mulch: Aztec Stone, Size: 5/8"-7/8"

Stone Path: Desert Gold Granite Chip, Size: 5/8"

Plantings: Xeriscaping

Tile: Adessi Mercado Blue Porcelain Tile



MULCH



GRANITE CHIP PATH



TILE

DETAILS | Fireplace

LAUD

Stucco: Texture and color to match existing home. Form of fireplace wings to match front of house arched wall design. Over all of fireplace height including chimney caps is 10'.

Chimney Cap: Sandkuhl Halifax Clay Chimney Pot , Finish: Terra Cotta

*** Code requires that chimney height be 2 feet taller than adjacent structures like patio covers and homes. Source: concretenetwork.com



STUCCO



CHIMNEY CAP

DETAILS | Water Feature

LAUD

Stucco Body and Basin: Texture and color to match existing home
Tile: Adessi Mercado Blue Porcelain Tile
Scupper: Pentair Baroque Lion, Finish: Natural
Accent Flooring: Artillo Hexagon, Color: Normandy Cream
Concrete Flooring: Integrated Color Concrete, Color: Pebble, Finish: Rock Salt



STUCCO



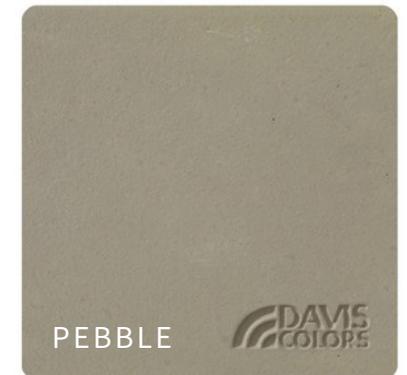
TILE



SCUPPER



ACCENT FLOOR TILE



CONCRETE

DETAILS | Fire Bowls

LAUD

Fire Bowls: Paloform Miso 48" dia., Paloform Soba 28" dia.
Accent Flooring: Artillo Hexagon, Color: Normandy Cream
Concrete Flooring: Integrated Color Concrete, Color: Pebble, Finish: Rock Salt



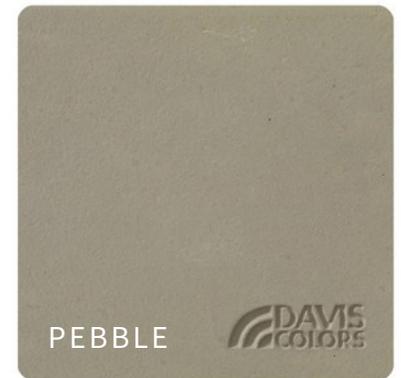
FIRE PIT 01



FIRE PIT 02



ACCENT FLOOR TILE



CONCRETE

DETAILS | Pergola

Pergola: 8'-6" OAH Cedar Structure, 7'-6" H to bottom of beam, Finish: Espresso



DETAILS | Pool and Spa

LAUD

Pool Coping: Arto Big Line Pool Coping, Color: Hacienda
Tile: Adessi Mercado Blue Porcelain Tile
Accent Flooring: Artillo Hexagon Concrete Tile, Color: Normandy Cream
Concrete Flooring: Integrated Color Concrete, Color: Pebble, Finish: Rock Salt



STUCCO



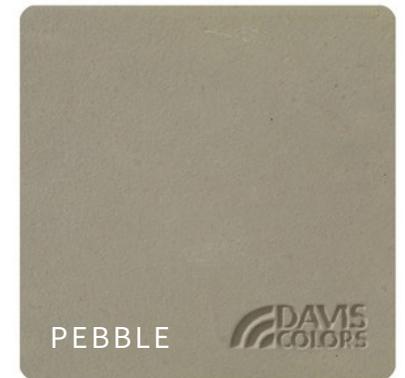
POOL COPING



POOL TILE



ACCENT FLOOR TILE



CONCRETE

DETAILS | Steel Gates and Screens

LAUD

Gates and Screen: 6' H Custom Powder Coated Steel, Color: Black



DETAILS | Stucco Wall

Stucco Wall: Texture and color to match existing home. Form of wall relief to match front of house arched wall design. Columns and walls are 6'H.

Cedar Gate: 3' W x 5' H gate to match perimeter fencing. Color: Espresso.

LAUD



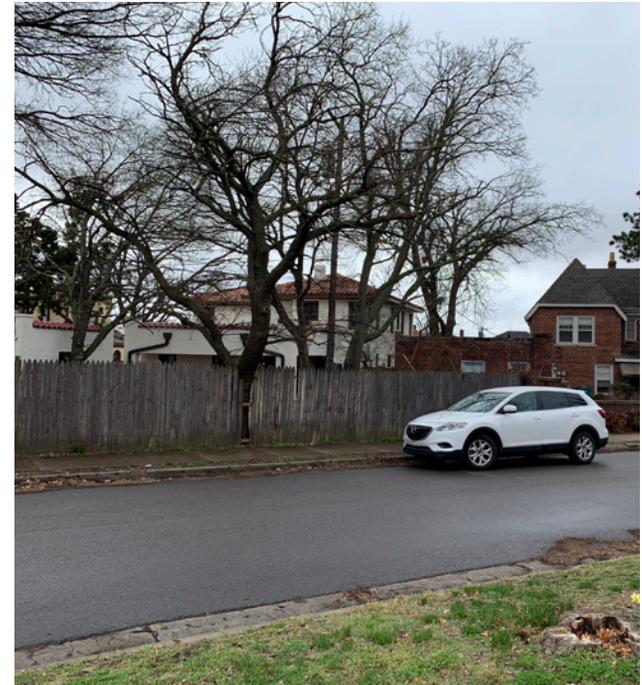
STUCCO



CEDAR GATE



PROPOSED



EXISTING

DETAILS | Cedar Fence

Fence: 6'H Cedar Fence with Cap and Base Detailing, Color: Espresso



PROPOSED



EXISTING

SECTION F: PRODUCTS AND CUTSHEETS



Mulch: Aztec Stone, Size: 5/8"-7/8", Minick Materials



Stone Path: Desert Gold Granite Chip, Size: 5/8" ,Minick Materials



SPECIFICATIONS

Size	8 x 8	Product Length	7.9	Product Width	7.9
Product Thickness	10MM	Box Length	8.100	Box Width	8.100
Box Weight (lbs)	36.42	Box Quantity	18	Coverage (sqft/pc)	0.43
Material	Porcelain	Color	Multi Color	Edge ⓘ	Pressed
Suggested Grout Line Size ⓘ	1/8, 3/16, 3/8, or 1/4	Finish	Matte	Style/Design ⓘ	Pattern Look
PEI Rating ⓘ	3	DCOF ⓘ	?.42	Body Color ⓘ	Standard Body
Water Resistance ⓘ	Waterproof	Installation Type	Grout & Mortar	Print Quality ⓘ	Inkjet
Placement ⓘ	Indoor/ Outdoor	Installation Options ⓘ	Floor/Wall	Shower Surface	Shower Floors
Shower Surface	Shower Walls	Pool Surface ⓘ	Pool Interiors	Pool Surface ⓘ	Pool Decks
Commercial / Residential Use	Residential/Light Commercial	Durable ⓘ	Yes	Country of Origin ⓘ	Turkey

PRODUCT DETAILS

With a matte finish, this multi color Mercado Blue Porcelain Tile is 8 x 8.

Pressed tiles require more prominent grout lines, and the rounded edges allow for a smoother transition.

Bring an international touch to your home with this tile made in Turkey.

PEI measures a tile's durability and ability to withstand foot traffic, on a scale of 1-5. This tile, rated at 3 PEI, can be used on all indoor wall applications, all interior countertop applications and all residential interior floors. This tile should not be used in commercial applications.

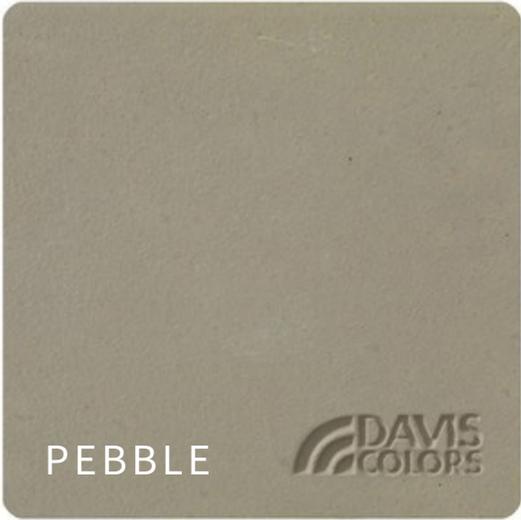
This product can be installed on a shower wall.

This product can be installed on a shower floor.





Concrete Flooring Finish: Salt



Concrete Flooring: Integrated Color Concrete, Color: Pebble



6x6 Artillo Hexagon Normandy Cream

Handcrafted concrete tile with rustic surface and irregular edges. For interior and exterior installations; 1/2" grout joint recommended.

Nominal Size: 5 3/4" x 5 3/4"

Nominal Thickness: 3/4"

Pieces Per SqFt: 4.25

Weight Per Piece: 1.5 lbs.

Pieces Per Box: 40

Boxes Per Pallet: 30

Accent Flooring: Artillo Hexagon, Color: Normandy Cream



Rustic Elegance | Handcrafted in Los Angeles Since 1966

Big Line Hacienda

Big Line Pool Coping Hacienda
SKU: #ROMPOOL-BIGLINE-ONESIZE-HACI-STD



Pool Coping: Arto Big Line Pool Coping, Color: Hacienda

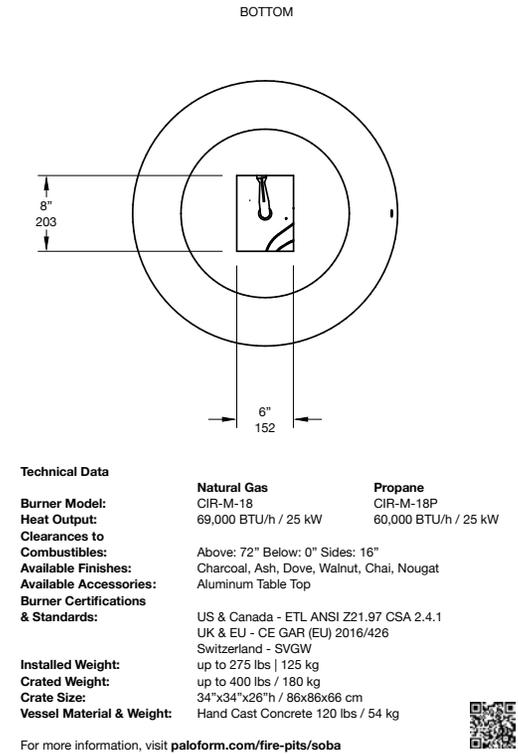
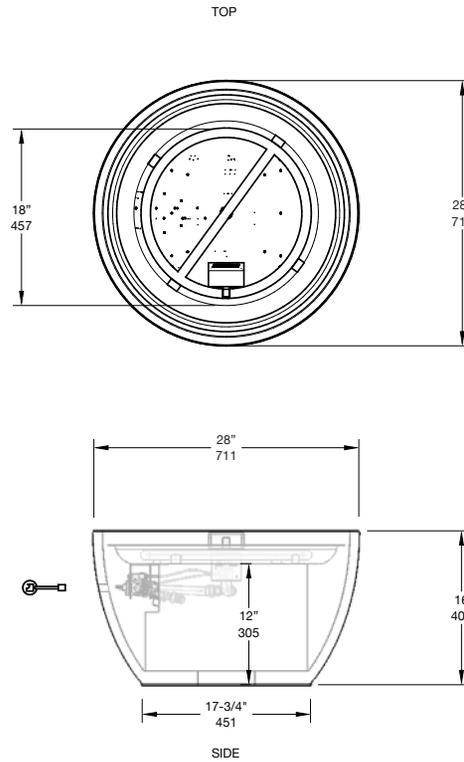


Dimensions:

- 10-1/2" x 12" x 4-1/8"
- Pipe Length is 2"
- Pipe location is down 1"

- Fixtures are easy to install with common construction adhesives
- Blended, light weight polymer construction will not crack, fade or discolor
- All fixtures attach to 3/4 inch pipe making them easy to mix and match
- Real Metallic finishes weather gracefully over time into a beautiful, rich patina

Scupper: Pentair Baroque Lion, Finish: Natural



sales@paloform.com | paloform.com

Soba Concrete - Match-lit

PALOFORM

SCALE 1" = 1"

2019-01-18

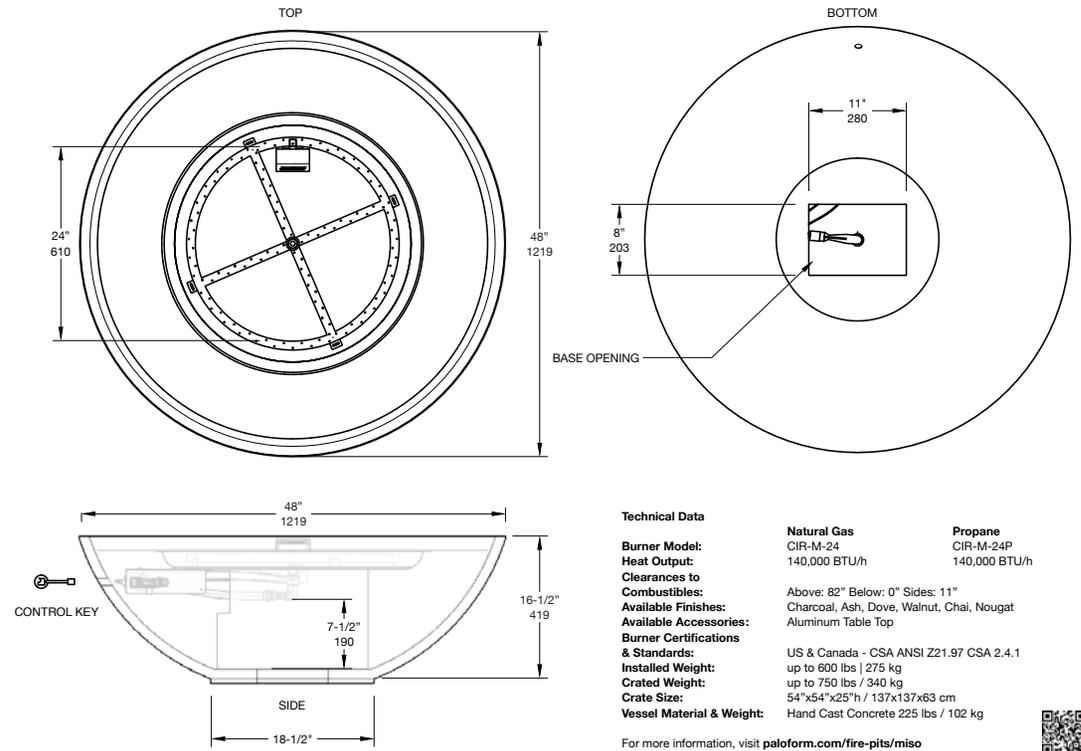


CHAI CONCRETE



LIGHT GREY RIVER ROCK

Paloform Soba Fire Bowl with aluminum cover, QTY: 2



Technical Data

Burner Model:	Natural Gas	Propane
Heat Output:	CIR-M-24	CIR-M-24P
Clearances to Combustibles:	140,000 BTU/h	140,000 BTU/h
Available Finishes:	Above: 82" Below: 0" Sides: 11"	
Available Accessories:	Charcoal, Ash, Dove, Walnut, Chai, Nougat Aluminum Table Top	
Burner Certifications & Standards:	US & Canada - CSA ANSI Z21.97 CSA 2.4.1	
Installed Weight:	up to 600 lbs / 275 kg	
Crate Size:	up to 750 lbs / 340 kg	
Vessel Material & Weight:	54"x54"x25"h / 137x137x63 cm	
	Hand Cast Concrete 225 lbs / 102 kg	

For more information, visit paloform.com/fire-pits/miso



sales@paloform.com | paloform.com

Miso 48 Concrete - Match-It

P-FIR-MIS48-M

PALIFORM

SCALE 1" = 1'

2020-08-06



CHAI CONCRETE



LIGHT GREY RIVER ROCK

Paloform Miso 48 Fire Bowl with aluminum cover, QTY:1



SPECIFICATIONS

Material: Clay	Shape: Square	Installation: Mortar Mount
Type: Single Flue	Height: 23"	Inner Base Width: 13 1/2"
Inner Base Depth: 13 1/2"	Outer Base Width: 16"	Outer Base Depth: 16"
Top Opening: 10"		Item Weight: 102 lbs.

Chimney Cap: Sandkuhl Halifax Clay Chimney Pot , Finish: Terra Cotta



Artificial Turf