



The City of
OKLAHOMA CITY

Staff Only:

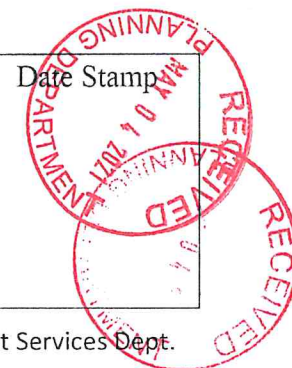
Date Stamp

Zoning: HP or HL

District: MP

HPCA- 21 - 00082

Received by: [Signature]



APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

NOTE: any relevant permits must be applied for and paid for separately in the Development Services Dept.

NOTE: Contact Historic Preservation Staff for final design inspection when work is complete.

Please select: ☒ New Project ☐ Revision ☐ Extension ☐ Violation Notice Issued

Location of Proposed Work (Address): 705 NW 20th Street, Oklahoma City, OK 73103

Legal Description of Property (lot, block, addition): University Addition Block 31 Lots 20-21

Year built: 1920 Exterior wall material: Wood Siding Floor area: 3263 sq.ft.

Itemized Work Items (List EACH ITEM proposed. Work not listed here will NOT be reviewed):

☒ New Construction ☐ Addition ☐ Fence ☒ Demolition (specify structure) 2-story front porch

☒ Paving (specify) Drive and walkways ☐ Renovation (specify) _____

☒ Work not specified above 1. Remove / replace 2-story front porch; 2. Remove / replace front doors; 3. Remove 2-story back stair; 4. Remove 2nd-story back door; 5. Remove / replace driveway; 6. Remove / replace back stoop and awning; 7. Remove / replace fence; and 8. Construct one-story garage.

Owner's Authorization

I hereby certify that all above statements and statements contained in all attached and transmitted exhibits are true to the best of my knowledge and belief. In the event this proposal is approved and begun, I agree to complete the changes in accordance with approved plans in a good and workmanlike manner. I authorize the City of Oklahoma City to enter the property for the purpose of observing and photographing the project for presentations and to ensure consistency between the approved proposal and the completed project.

☐ (If applicable): I authorize my representative to speak for me in matters regarding this application. Any agreement made by my representative regarding this proposal will be binding upon me.

Owner's Signature

Name (printed) Mr Christopher Gray

Address 929 NW 17th Street

City, State, Zip Oklahoma City, OK 73106

I prefer to be: ☐ Mailed or ☒ Emailed.

Representative Signature [Signature]

Name (printed) Mr. Kenneth W Aunchman AIA

Address 616 NW 21st Street

City, State, Zip Oklahoma City, OK 73103

I prefer to be: ☐ Mailed or ☒ Emailed.

Contact: ☐ Owner ☒ Representative

Date May 3, 2021

Organization Prairie Property Solutions, LLC

Phone (405) 763-7796

Email chris@prairieprops.com

Date May 3, 2021

Organization Preservation and Design Studio, PLLC

Phone (405) 601-6814

Email ka@panddstudio.com

Is Federal money, a federal license or a federal permit included/required for any part of this project? Yes / ☒ NO

If yes, what Federal agency? N/A

Is the property owner pursuing the Federal Tax Credits for Rehabilitation of income producing historic properties? Yes / ☒ NO (For questions concerning the federal tax credit program, telephone the State Historic Preservation Office at (405) 522-4479).

NOTE: Specific deadlines apply to submission of additional documentation or requests for appeals. Should your project be continued or denied, you are responsible for compliance with those deadlines.

May 4, 2021
Application for Certificate of Appropriateness
Continuation Sheet (Page 1 of 4)
705 NW 20th Street, Oklahoma City, OK 73103
Owner: Mr. Christopher Gray
Exhibits Prepared by: Preservation and Design Studio, PLLC

Itemized Work

1. Remove / replace two-story front porch.

The existing, wood framed, two-story porch extends the full width of the house and measures approximately 7'-11" x 25'-7" at the first-story and 8'-4" x 26'-3" at the second-story.

The existing porch has Dutch lap siding from grade to the second-story band boards. The first-story porch knee-walls and "columns" are finished with wood siding. The first-story knee-wall and column finish matches the siding of the rest of the building but is incongruous with the architectural style of the house and the second-story porch. The second-story porch has 31-inch tall wood railings with three square columns measuring about 7¾-inches on each side. The columns support the shallow, hipped porch roof. Other two-story porches in Mesta Park have a unifying design between the first and second stories. Reference pages XX and XX of Attachment A for a visual survey of other two-story porches in Mesta Park.

The origin of the existing porch siding is unknown, however, an inspection of the visible and concealed structure of the porch indicates old wood and abutting newer wood under the older and newer siding boards. The porch has significant termite damage and appears to have had more than one infestation over time. The termite damage is evident to the height of the second-story porch floor. Removal and reconstruction are determined to be the only courses of action to address the termite damaged materials, eradicate termite infestation, and provide a slightly modified design (such as a suitable brick and concrete foundation and footings) that will stave off future termite infestation and damage. The reconstruction also proposes a porch design more congruous with the age and style of the house.

Additional defects of the existing porch include:

- The existing porch is framed directly on soil. Selective removal of materials and visual investigation has not located any foundation under the perimeter wall of the first-story porch. Some intermediate porch floor supports have brick footings resting on soil. Structure to ground contact has caused porch base plates to rot. (Reference Attachment A, Pages 14-16)
- The porch is infested with termites. Selective removal of materials and visual inspection has revealed significant termite damage up to the floor of the second-story porch. Some framing has been compromised to extent of being able to completely see through from one side of wood components to the other. (Reference Attachment A, Pages 17-19)
- Drainage of the first-story porch floor is inhibited by the existing first-story knee walls with no drainage openings or scuppers.
- Neither the first-story porch knee-walls, nor the second-story railing meet the minimum height required by the residential building code. An incompatible and incongruous extension has been added to the second-story railing as a temporary solution.

(Continued)

May 4, 2021

Application for Certificate of Appropriateness

Continuation Sheet (Page 2 of 4)

705 NW 20th Street, Oklahoma City, OK 73103

Owner: Mr. Christopher Gray

Exhibits Prepared by: Preservation and Design Studio, PLLC

- The porch floors have inconsistent and unequal slopes. The first-story porch has an average slope of approximately three degrees (5/8-inch over a 12-inch slope). The second-story porch has an average slope of approximately seven degrees (1 ½-inch over 12-inch slope).
- The southwest corner of the porch has dropped during settling. The base of the southwest corner of the structure is no longer plumb.

Porch removal will consist of all parts including, but not limited to, roofs, walls, floors, stairs, railings, and brick footings. The proposed new two-story front porch will be 25'-10" x 8'-2" and will be constructed in the same location as the existing porch.

The proposed design includes a brick stem wall to form a firm foundation and prevent further insect infestations. The brick will match, as closely as possible, the red brick used at the bricked foundation of the house. New 8-inch square treated wood columns will provide new support for the second-story porch floor deck. The existing second-story railing has been used to generate an appropriate new railing for the first-story porch. The open bottom railing will assist with water drainage and increased air circulation keeping the porch deck dry. New 36-inch tall railings will meet the minimum allowed height per the residential building code. The second-story porch will match the design and details of the existing porch, with the exception of the new 36-inch railing height. The porch roof will be similar in slope and shape to the existing porch roof. The first- and second-story porch ceilings will be finished with bead board to match the existing first-story porch ceiling and the roof soffits of the main house.

Important features of the new porch are:

- New 2'-0" tall brick stem wall with termite shield and crawl space vent covers. New bricks will match the brick of the existing foundation wall of the house.
- 2x8 treated lumber floor joists;
- 1x6 treated wood deck floor boards;
- 8x8 wood columns;
- 2x12 trim boards;
- 1x4 column trim;
- 2x12 stair stringers;
- 4x4 newel posts;
- 2x2 spindles (balusters);
- 1x12 stair treads;
- 1x6 riser covers;
- 1x6 tongue and groove double beaded board ceilings. Reference attached product information sheet; and
- Architectural grade shingles to match the existing shingles on the house roof. Reference attached product information sheet.

(Continued)

2. Remove / replace front doors.

The existing $\frac{3}{4}$ light, paneled wood doors are in poor condition. Existing doors will be removed and replaced with similar $\frac{3}{4}$ light, paneled wood doors. Reference attached product information sheet.

3. Remove two-story back stair.

The two-story egress stair is in disrepair and obsolete. It will be removed.

4. Remove second-story back door.

The second-story back door is in disrepair and is obsolete. It will be removed, and the opening will be patched in with wood siding to match the rest of the house.

5. Remove / replace driveway.

The paved portion of the driveway is cracked and uneven. The driveway will be removed, and a new driveway will be installed in approximately the same location. The new driveway will extend back to the proposed new garage. The new driveway will be 10'-0" wide from the curb-cut at the street and to the back of the house. From the back wall of the house to the front of the proposed new garage, the driveway and a new sidewalk will widen to 29'-0". The new driveway will extend the full width of the proposed new garage and the abutting sidewalk will extend from the proposed new deck steps to the pedestrian door on the west side of the proposed new garage.

6. Remove / replace back stoop and awning.

The wood back stoop, stairs, and awning are in poor condition. The existing railing does not comply with the minimum height required by the residential building code.

A new 13'-2" x 10'-0" wood deck will be constructed. Important features of the deck include:

- 4x4 treated wood posts in new concrete footings;
- 4x4 treated wood newel posts;
- 2x8 treated lumber floor structure;
- 1x6 treated wood decking;
- 2x12 stair stringers;
- 2x2 spindles (balusters);
- 1x12 stair treads; and
- 1x6 riser covers;

A new 13'-2" wide by 3'-0" deep wood awning will be constructed. Important features of the canopy include:

- 4x4 wood wall brackets;
- 2x10 wood eave beam;
- Wood siding at the east and west sides. Siding will match the siding used on the house; and
- Architectural grade shingles to match the house shingles.

• (Continued)

7. Remove / replace fence.

The perimeter backyard fences include multiple styles and materials. Fences at the north end of the property are comprised of 6'-0" tall stockade fencing (two different types of wood) and 3'-6" tall chain link fencing. Along a portion of the west property line (between the north end of the yard and the neighboring garage) there is a 6'-0" tall wood stockade fence. The fences are in poor condition. These fences will be removed and replaced with new 6'-0" tall, wood stockade fences. Reference attached product information sheet.

The 6'-0" tall, wood stockade fence along the east property line appears to be in good condition and will be repaired as needed.

8. Construct one-story garage.

The property does not have a garage. Available Sanborn insurance maps show a one-story autohouse located near the northeast corner of the property. A 19'-0" long by 1'-0" wide concrete footing is located near the historic northeast property corner. Existing concrete footings will be removed.

A new one-story, two-car garage is proposed. The new garage will be located to match the approximate location of the historic garage as evident by the remaining concrete footing. The new garage will be offset from the east property line by 3'-0". The historic alley has been vacated by the city and the new garage will be offset from the historic centerline of the alley by 11'-0" (1'-0" south of the platted north property line).

Important features of the new garage include:

- Concrete footings, floor slab, and foundation walls. A 12" tall (above grade) concrete curb will serve to keep the proposed new wood frame off the ground;
- 2x4 wall framing, exterior sheathing and smooth HardiePlank lap siding and trim. Reference attached product sheet is attached;
- Wood-framed, hipped roof with architectural grade shingles of a color to match the house. Eaves will be 1'-0" wide and have a closed, bead board soffit to match the soffits on the house. Reference attached product information sheet;
- One-over-one, aluminum clad, wood hung window. The window is scaled for the size of the garage. Reference attached product information sheet;
- Painted wood, paneled overhead garage door. Reference attached product information sheet;
- Painted wood, paneled ½ light pedestrian door on the west (backyard) side of the garage. Reference attached product information sheet; and
- Exterior, wall mounted, light fixtures including two (2) on the south (driveway) side of the garage, and one (1) at the west pedestrian door. Reference attached product information sheet.

(End)

Yetter, Angela D

From: Kenneth Aunchman <ka@panddstudio.com>
Sent: Wednesday, May 19, 2021 2:39 PM
To: Yetter, Angela D; Catherine Montgomery; Alexander Montgomery; Chris Grey
Subject: HPCA 21-00082 705 NW 20th Street
Attachments: IMG_0235.JPG

WARNING: The sender of this email could not be validated and may not match the person in the "From" field..

Angela,

I have attached the photograph that you requested yesterday.

I have also confirmed the following:

1. The front porches will be painted with the exception of the porch floors.
2. The back deck will be unpainted and treated wood.
3. The porch and deck floors will be 1x6 treated deck boards.
4. We will be staying with a single garage vehicle door.
5. The doors and hardware at the front porch will be replaced. The door locations, opening sizes, and exterior trim will remain the same.

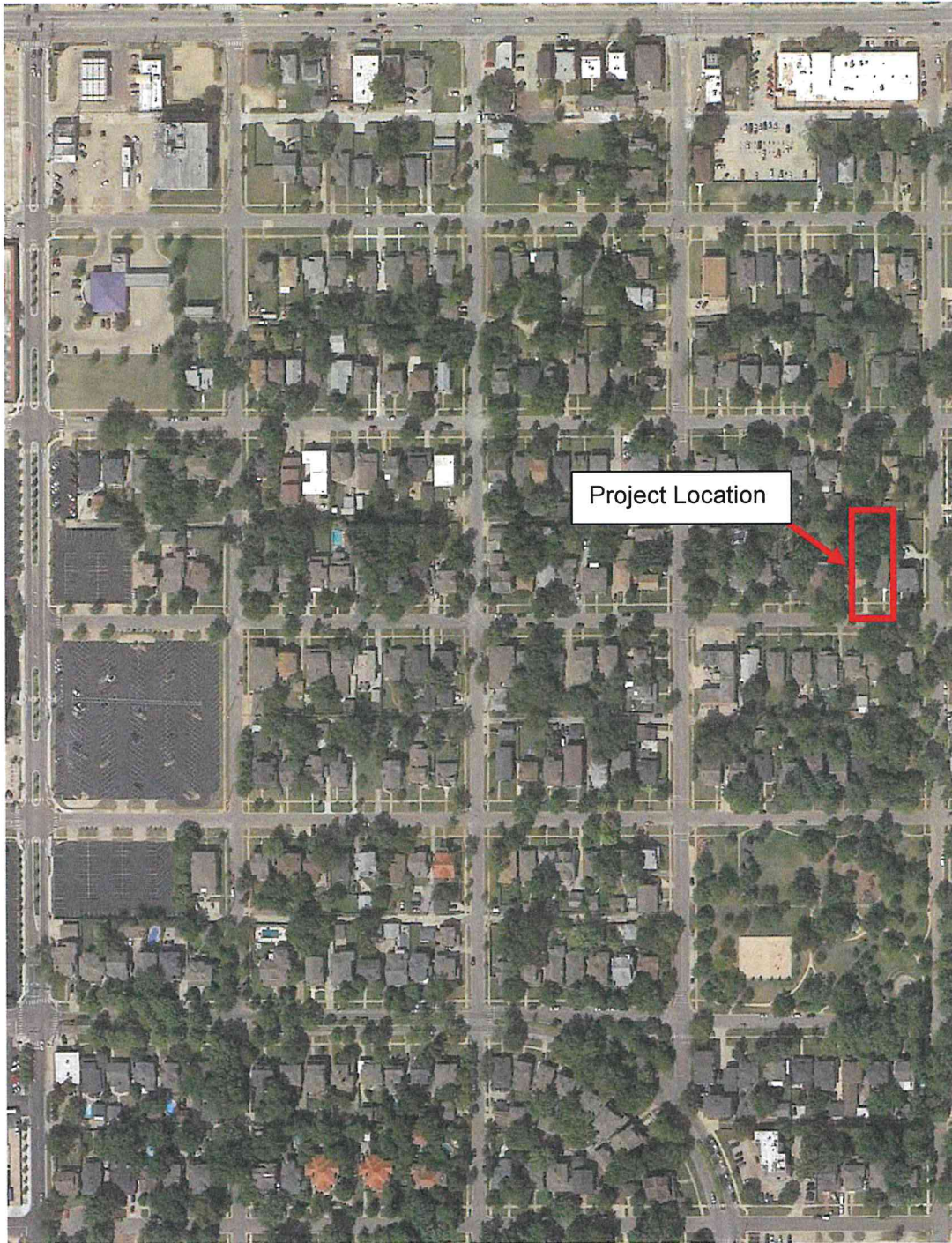
Let me know if you have any other questions.



PRESERVATION AND
DESIGN STUDIO

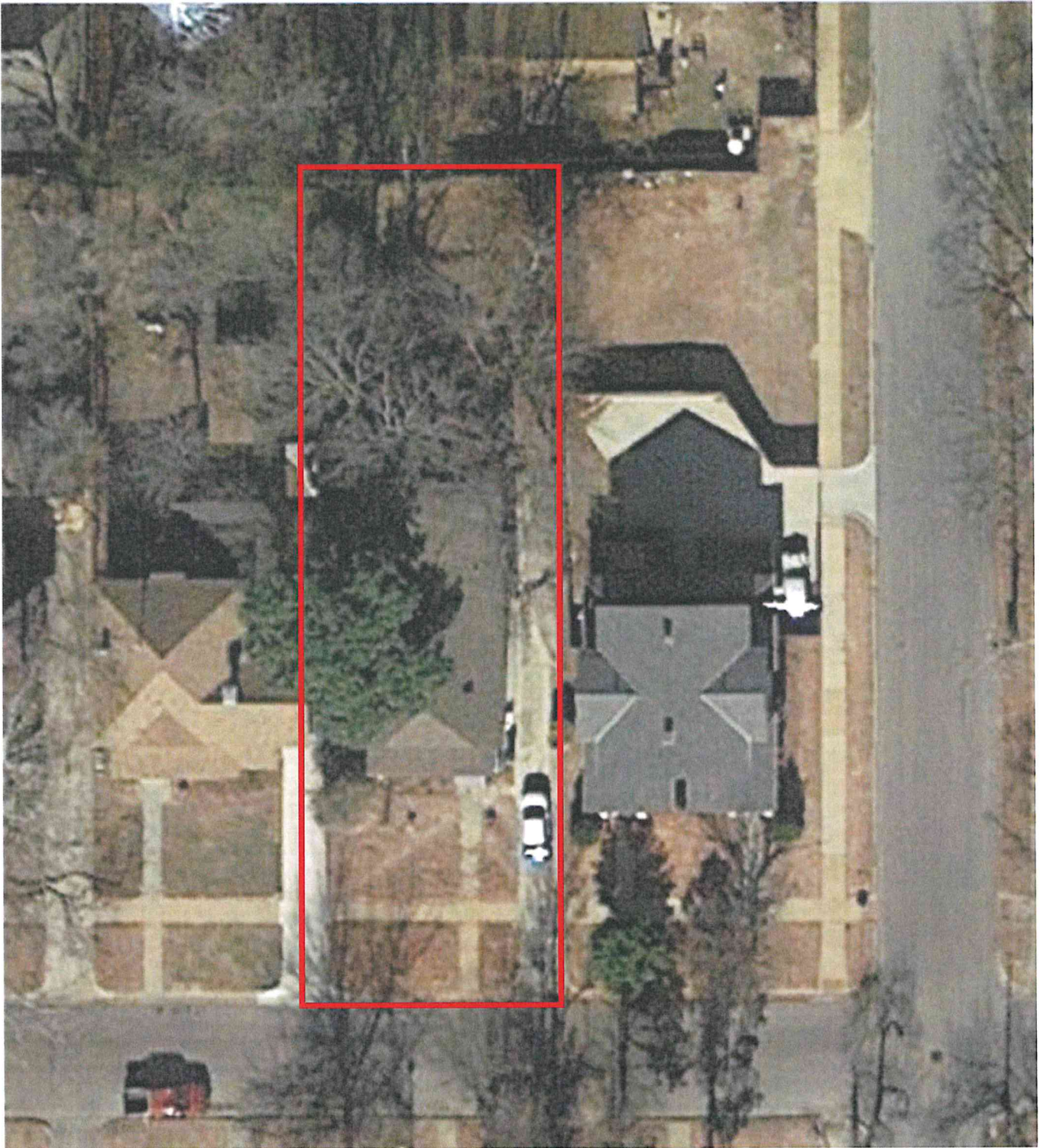
Ken Aunchman AIA, Architect
ARCHITECTS | INTERIOR DESIGNERS | HISTORIC PRESERVATION SPECIALISTS
616 NW 21st Street | Oklahoma City, OK 73103 | 405.601.6814 | PandDStudio.com
KA@PandDStudio.com





The Big Picture: Aerial
(Google Earth 2017)

This aerial photograph shows the property in Mesta Park Historic District. The lot is on the north side of Northwest 20th Street. The house was built in 1910.

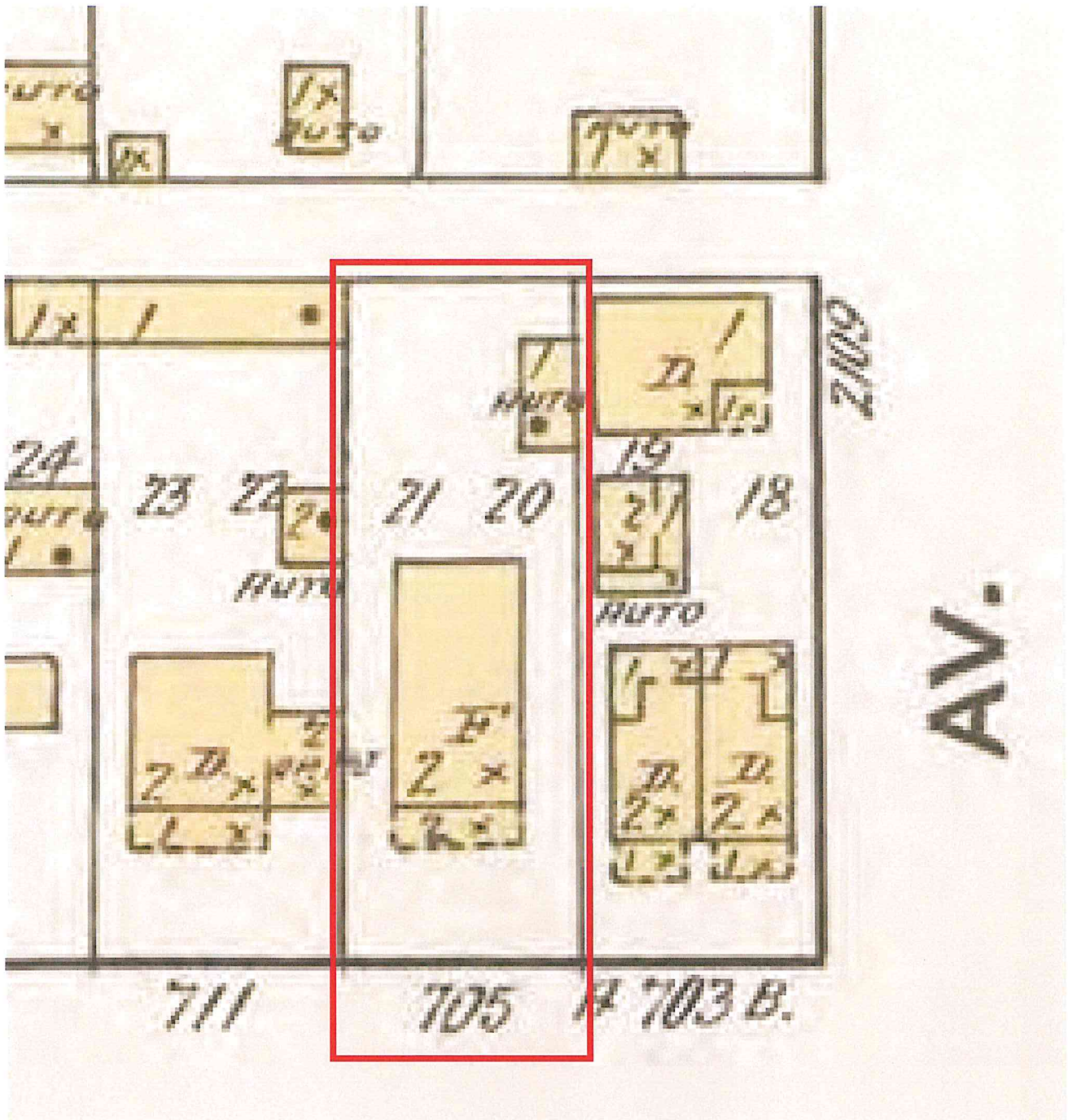


Close Up: Aerial
(Google Earth 2017)

This aerial photograph shows the location of the property on the north side of Northwest 20th Street.

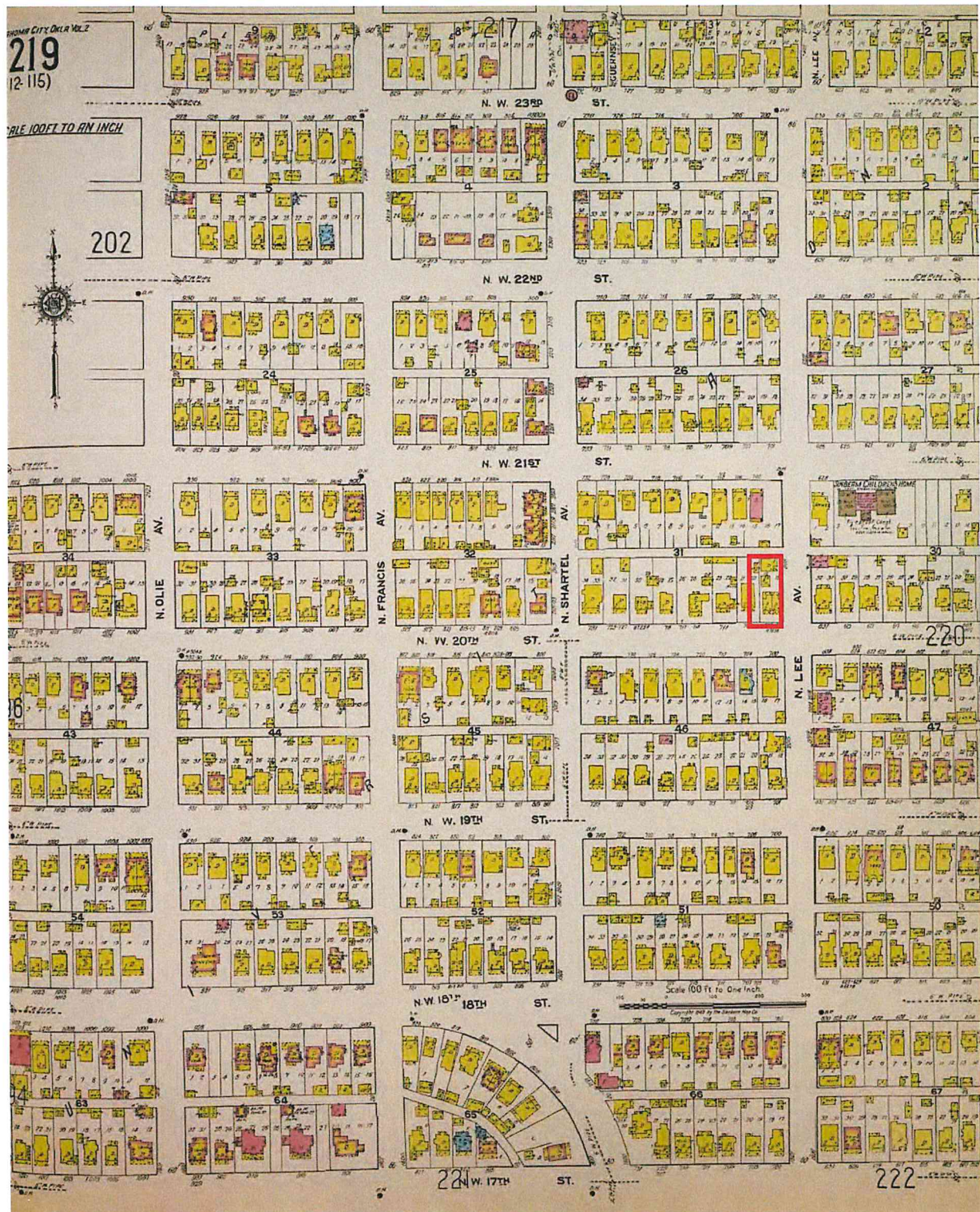


The Big Picture: 1922, #219, Vol. 2
(Sanborn Fire Insurance Maps)



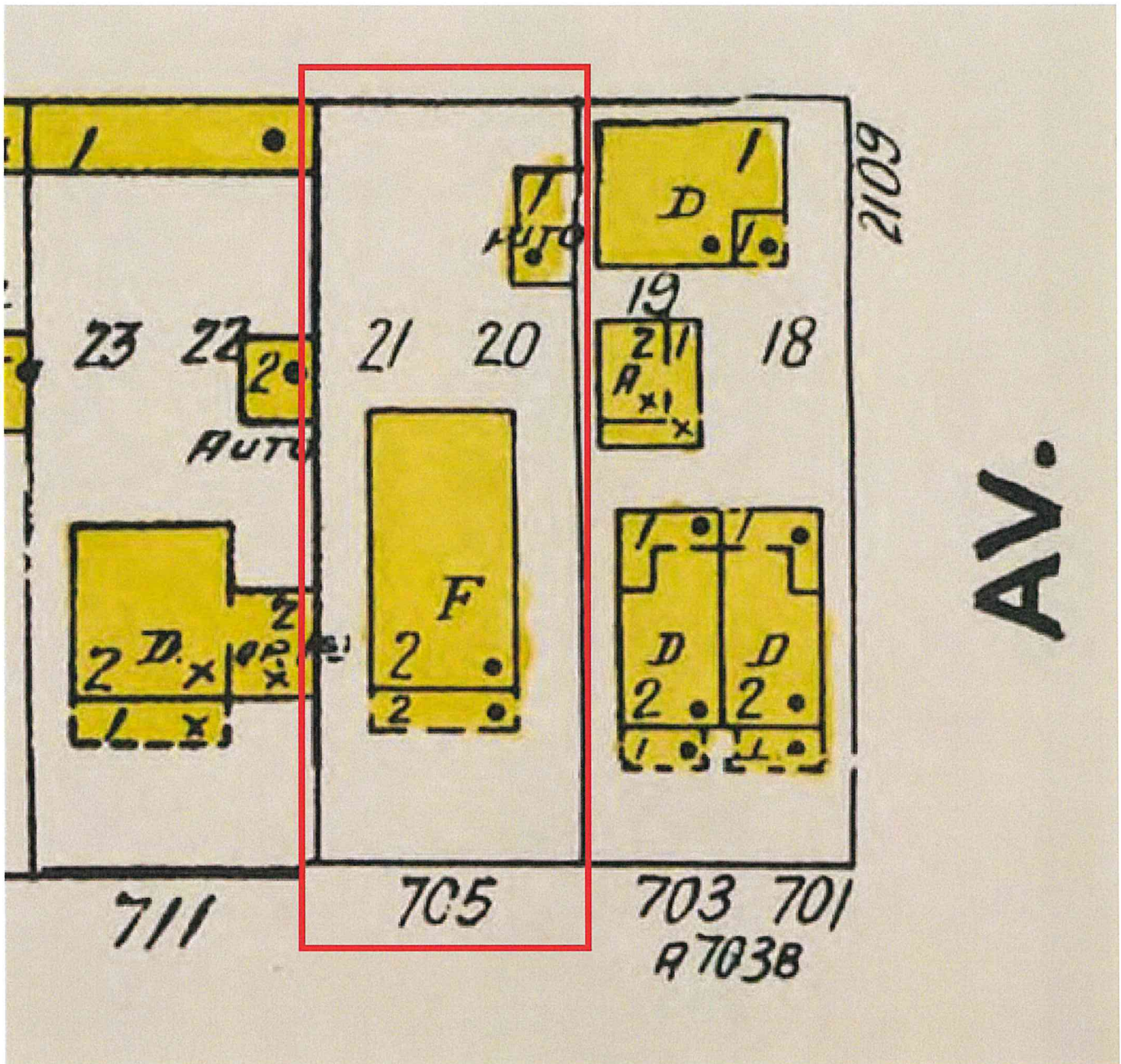
Close Up: 1922, #219, Vol. 2
(Sanborn Fire Insurance Maps)

The 1922 edition of the Sanborn maps indicates that the building is a wood framed, two-story flat with shingle roofs. A two-story porch extends the full width of the building. A one-story, wood framed autohouse is located along the east property line. The autohouse has a composition roof.



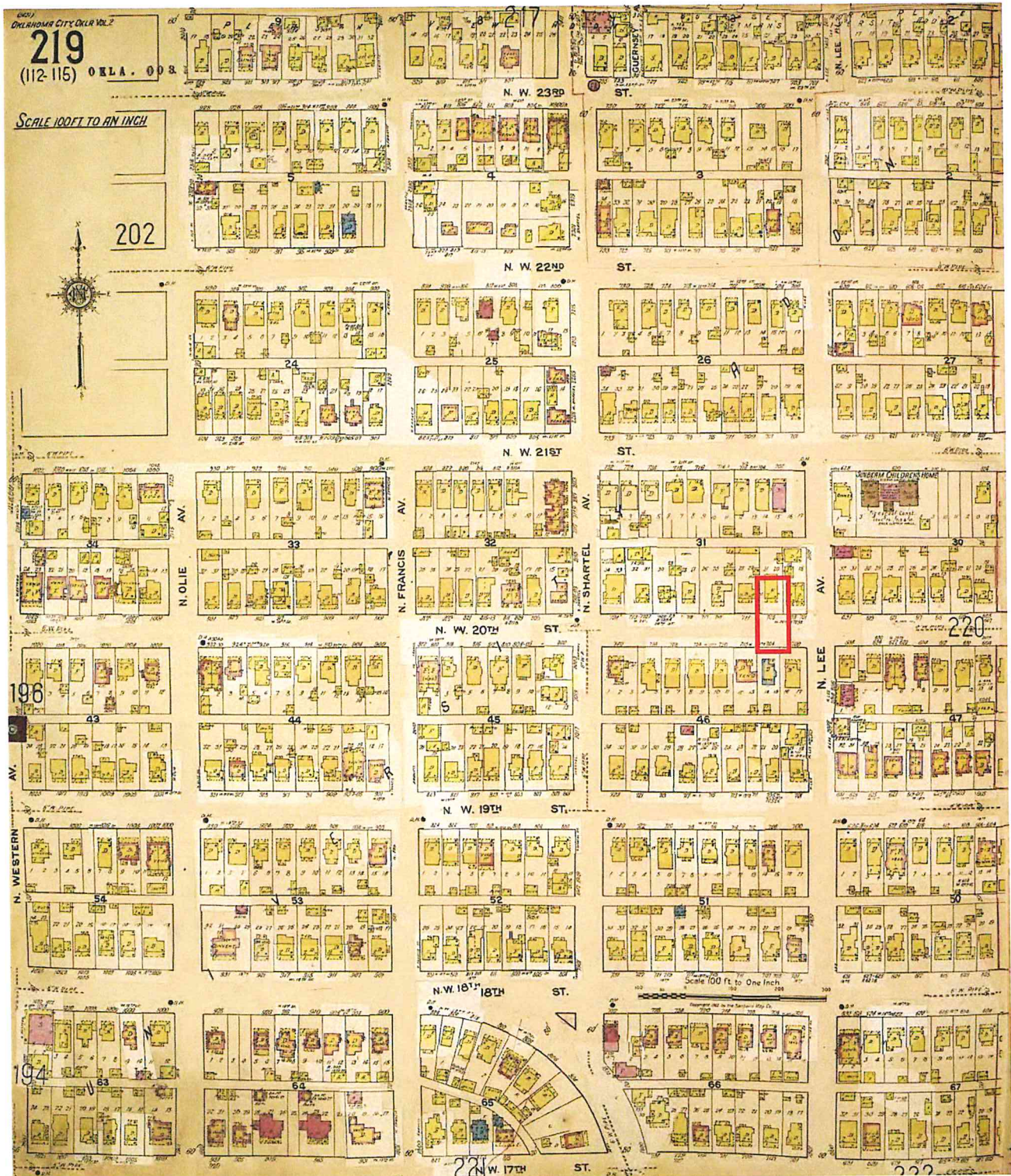
Big Picture: 1949, #219, Vol. 2
(Sanborn Fire Insurance Maps)

The 1949 edition of the Sanborn maps shows few changes from the 1922 edition.



Close Up: 1949, #219, Vol. 2
(Sanborn Fire Insurance Maps)

The 1949 edition of the Sanborn maps indicates composition roofs on the building and porch.



Big Picture: 1950, #322, Vol. 3
(Sanborn Fire Insurance Maps)

The 1950 edition of the Sanborn maps indicates no additional changes to the property.

705 Northwest 20th Street
Oklahoma City, OK 73103

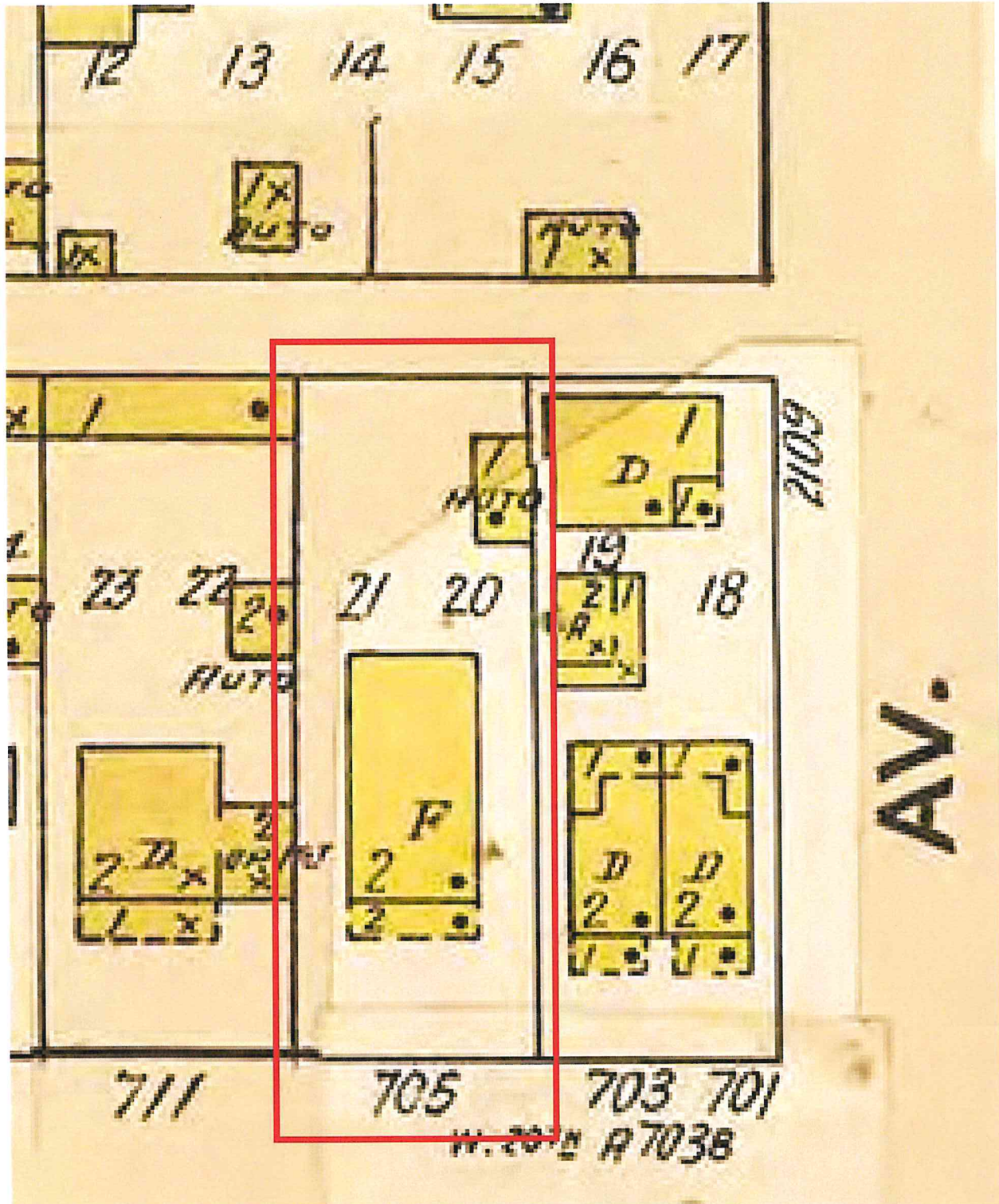


Historic Preservation Commission

HPCA-21-00082

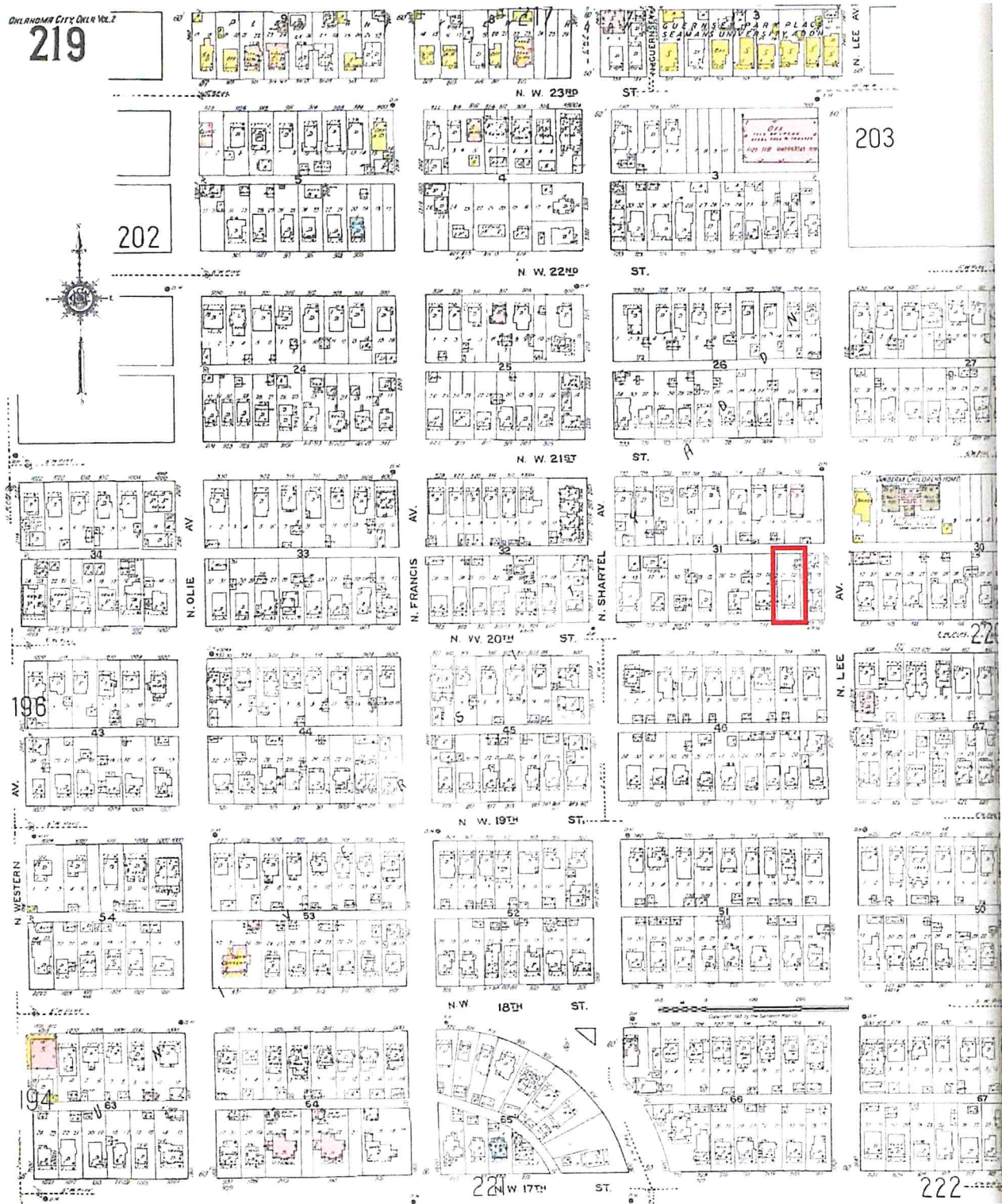
Attachment A
Page 7 of 26 (2/24/2021)

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Close Up: 1950, #219, Vol. 2
(Sanborn Fire Insurance Maps)

The 1950 edition of the Sanborn maps indicates no changes to the property.



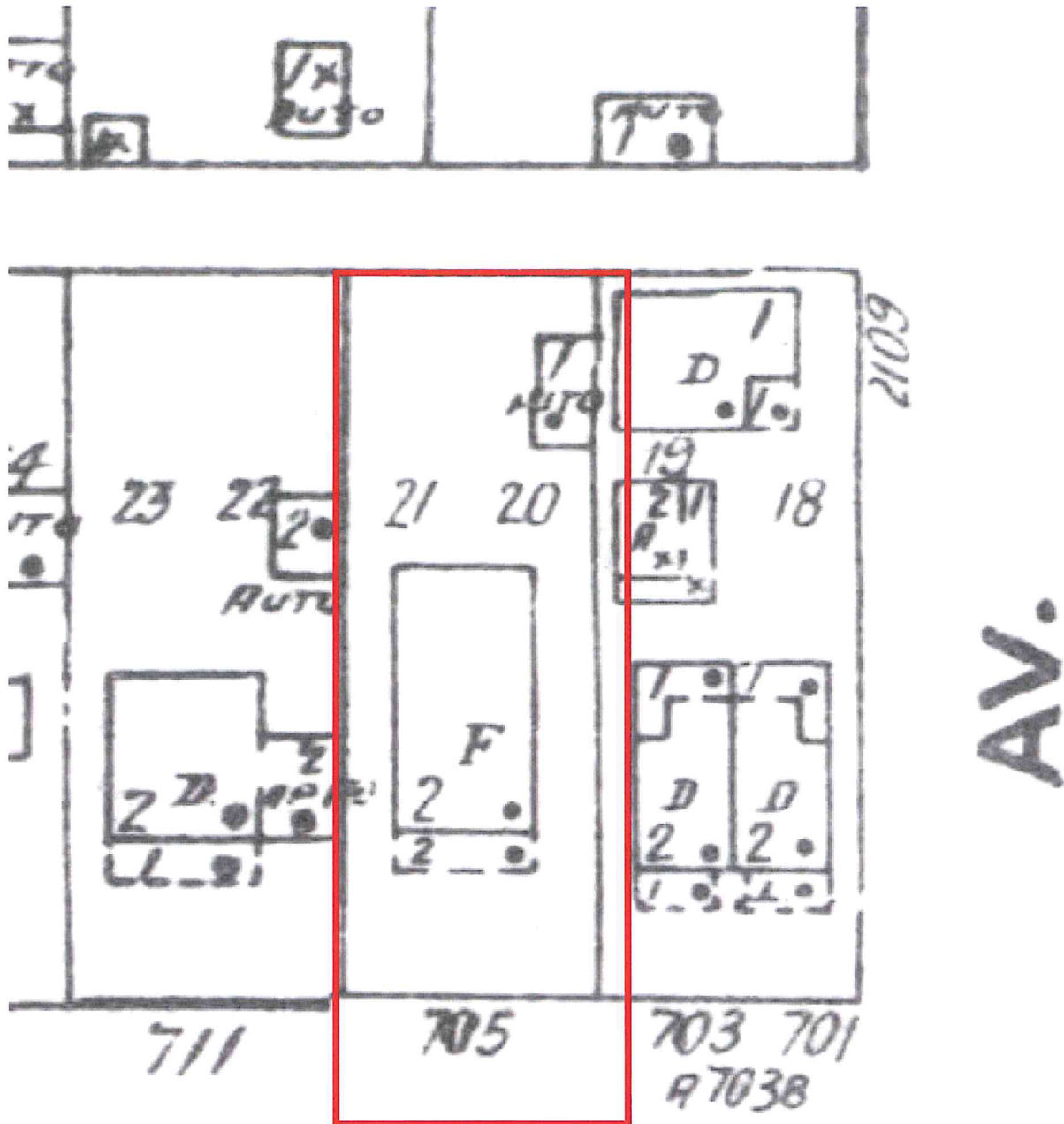
The Big Picture: 1955, #322, Vol. 3
(Sanborn Fire Insurance Maps)

The 1955 edition of the Sanborn maps indicates no additional changes to the property.

705 Northwest 20th Street
Oklahoma City, OK 73103



PRESERVATION
DESIGN STUDIO



Close Up: 1955, #322, Vol. 3
(Sanborn Fire Insurance Maps)

The 1955 edition of the Sanborn maps indicate no changes to the property.



Historical Image: 2004
(Oklahoma County Assessor)



Historical Image: 2012
(Oklahoma County Assessor)

705 Northwest 20th Street
Oklahoma City, OK 73103



HPCA-21-00082

Attachment A
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Historic Preservation Commission

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Historical Image: 2016
(Oklahoma County Assessor)



Historical Image: 2020
(Oklahoma County Assessor)



Existing Conditions: 2021
(Oklahoma County Assessor)



Existing Conditions: April 2021
(Preservation and Design Studio)



#1: Condition Assessment: April 2021

(Preservation and Design Studio)

West elevation. Red box indicates location of selective demolition (Reference detail image #2 below).



#2: Condition Assessment: April 2021

(Preservation and Design Studio)

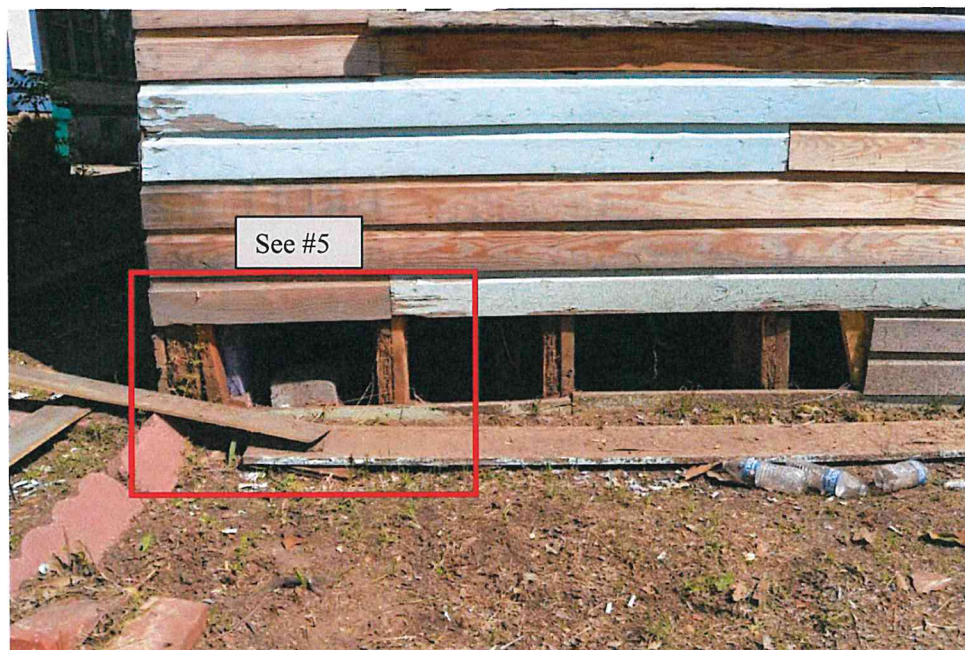
Wood framing and newer replacement siding at west elevation. Wood bottom plate resting on soil. Wood bottom plate is missing at left side.



#3: Condition Assessment: April 2021

(Preservation and Design Studio)

South elevation. Red boxes indicate location of selective demolition (Reference detail images #4 and #8 below).



#4: Condition Assessment: January 2021

(Preservation and Design Studio)

South porch foundation at west end of porch. Behind the siding newer studs abut older studs. Both old and new studs are termite damaged. (Reference detail image #5 below).

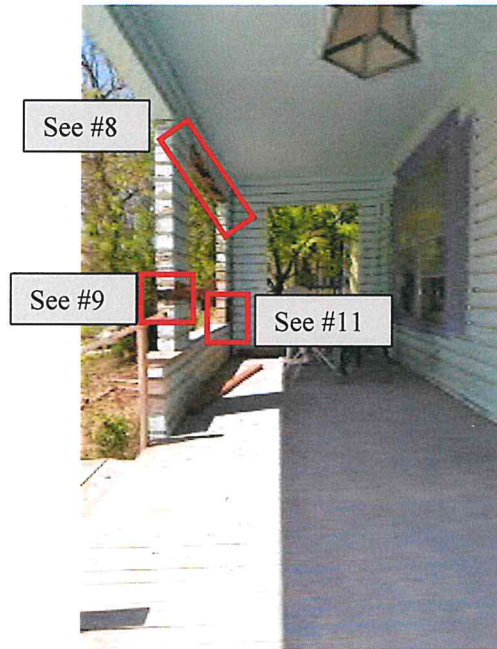


#5: Condition Assessment: January 2021
 (Preservation and Design Studio)
 Close-up of termite damaged stud structure.



#6: Condition Assessment: January 2021
 (Preservation and Design Studio)

Underside of first-story porch floor. Porch decking appears to be contemporary. Support post on brick footing that is level with the top elevation of the soil. Brick faced foundation wall of house is visible from this vantage point.



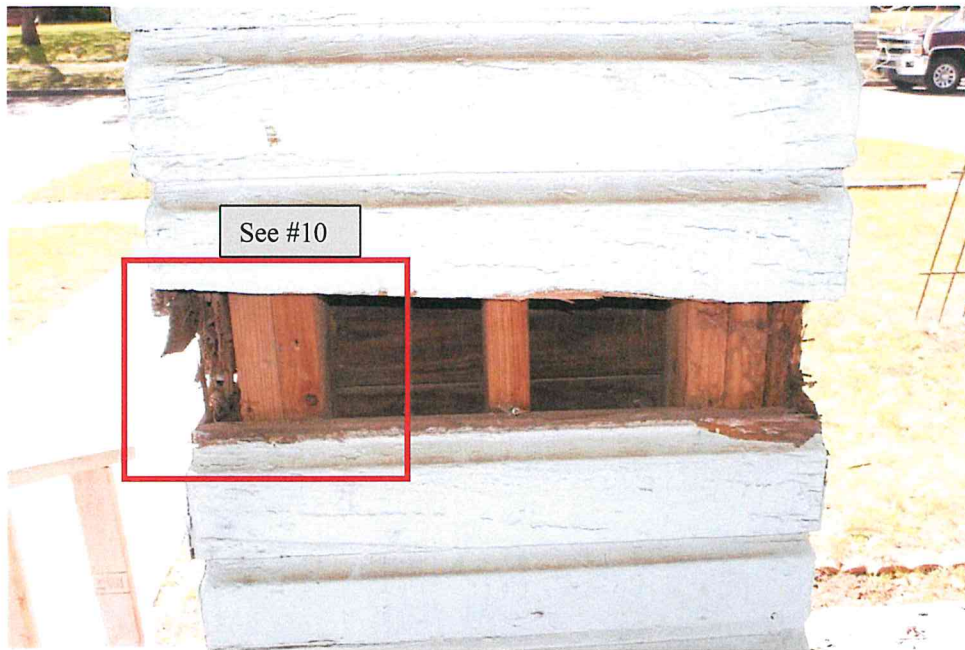
#7: Condition Assessment: April 2021
(Preservation and Design Studio)

Interior side of first-story front porch. Red boxes indicate areas of selective demolition. (Reference detail images #8, #9, and #11 below).



#8: Condition Assessment: April 2021
(Preservation and Design Studio)

Header at 1st-story porch ceiling. Interior finish board (bottom portion of framing) with termite damage.



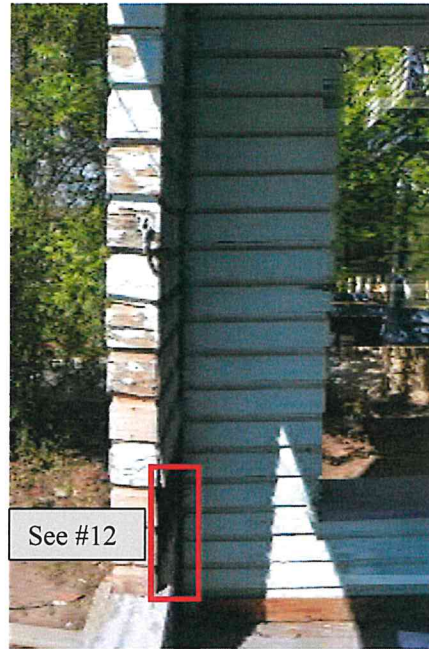
#9: Condition Assessment: April 2021
(Preservation and Design Studio)

Termite damaged stud at west, 1st-story porch column (left) is nearly completely gone. Apparently newer studs are in better condition but also termite damaged. The newer appearing studs seem to indicate that siding feature is not original. (Reference detail image #10 below).



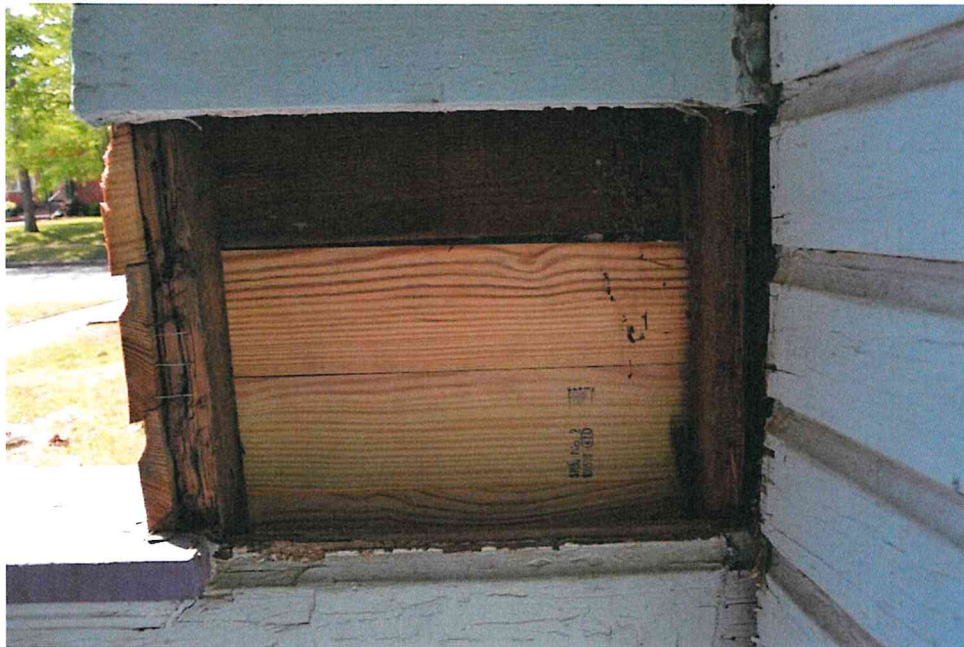
#10: Condition Assessment: April 2021
(Preservation and Design Studio)

Exterior stud has few fibers remaining. Newer appearing studs are shown close up and seem to indicate that the siding is not original.



#11: Condition Assessment: April 2021
(Preservation and Design Studio)

A variety of wood materials and conditions are visible. (Reference detail image #12 below).



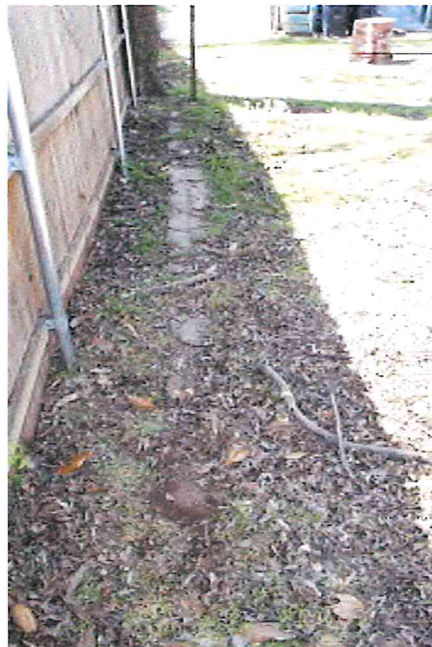
#12: Condition Assessment: April 2021
(Preservation and Design Studio)

Termite damaged studs at west end of 1st-story porch. Recently installed siding has little viable support.



Existing Conditions: April 2021
(Preservation and Design Studio)

Cracked and broken existing concrete driveway slopes down towards house foundation. The west (right) side of the driveway has a later concrete topping which is cracked and deteriorated. Fence along east property line (left).



Existing Conditions: April 2021
(Preservation and Design Studio)

Remnant of concrete foundation near fence (left) along east property line.



Mesta Park Two-Story Porch Survey: 511 NW 16th Street
(Oklahoma County Assessor)

Individual square wood columns for each of 1st- and 2nd-story porches. Painted brick pedestals for 1st-story columns. Foundation wall not visible. No railing at 1st-story porch edges. Wood railings at 2nd-story porch.



Mesta Park Two-Story Porch Survey: 513 NW 16th Street
(Oklahoma County Assessor)

Individual square wood columns for each of 1st- and 2nd-story porches. Concrete (or parged) foundation wall. Wood railings at 1st- and 2nd-story porches.



Mesta Park Two-Story Porch Survey: 632 NW 16th Street
(Oklahoma County Assessor)

Two-story, fluted wood columns. Painted masonry foundation wall. No railing at 1st-story porch edges. Wood railings at 2nd-story porch.



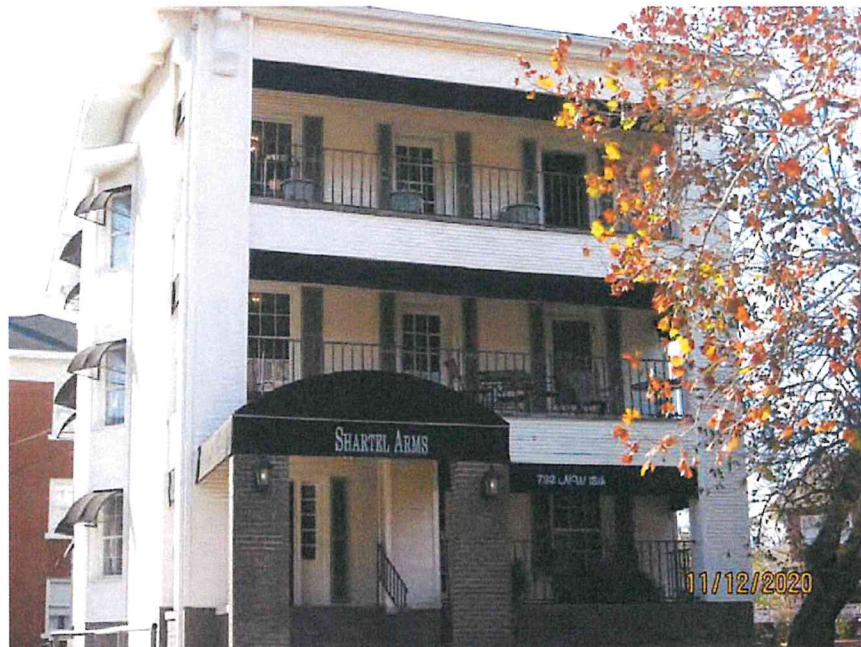
Mesta Park Two-Story Porch Survey: 605-07 NW 17th Street
(Oklahoma County Assessor)

Two-story, fluted wood columns. Masonry foundation wall. Wood railings at 1st- and 2nd-story porches.



Mesta Park Two-Story Porch Survey: 600 NW 16th Street
(Oklahoma County Assessor)

Wood columns atop brick pedestals at 1st-story. Wood columns at 2nd-story porch. Lattice screened crawl space under 1st-story porch floor. Wood railings at 1st- and 2nd-story porches.



Mesta Park Two-Story Porch Survey: 732 NW 18th Street
(Oklahoma County Assessor)

Two story square columns finished with siding. Wood columns from railing height to porch ceiling beam. Brick foundation wall. Metal railings at 1st- and 2nd-story porches.



Mesta Park Two-Story Porch Survey: 610 NW 20th Street
(Oklahoma County Assessor)

Two-story, fluted wood columns set atop painted brick pedestals and foundation stem wall. Wood railing at 1st- and 2nd-story porches.



Mesta Park Two-Story Porch Survey: 705 NW 20th Street
(Oklahoma County Assessor)

Subject property. Siding covered columns and knee wall at 1st-story seem out of place to rest of porch design. Wood siding foundation wall also seems out of place and is insect damaged. Square wood columns and wood railing design at 2nd-story porch appear appropriate in design.



Mesta Park Two-Story Porch Survey: 2115 North Shartel Avenue
(Oklahoma County Assessor)

Individual round wood columns for each of 1st- and 2nd-story porches. Victorian styled capitals for 2nd-story columns. Foundation wall not visible. Wood railings at 1st- and 2nd-story porches.



Mesta Park Two-Story Porch Survey: 705 NW 21st Street
(Oklahoma County Assessor)

Brick columns extend above 2nd-story porch floor. Wood columns from railing height to porch ceiling beam. Brick foundation wall. Wood railings at 1st- and 2nd-story porches.

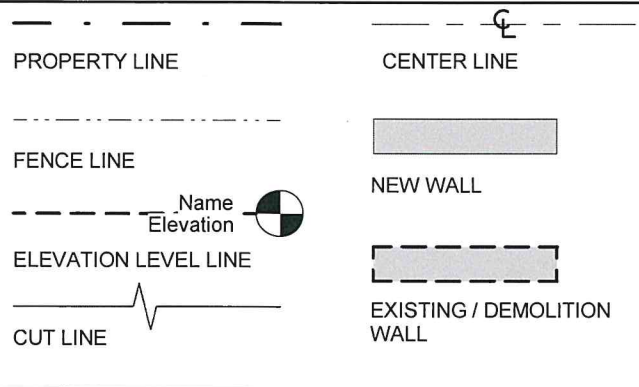


Mesta Park Two-Story Porch Survey: 916 NW 21st Street
(Oklahoma County Assessor)

Two-story wood columns at corners. Smaller, individual columns at each of 1st- and 2nd-story porches (center). Brick foundation wall. Metal railings at 1st- and 2nd-story porches.

GENERAL NOTES:

1. ALL WORK IS NEW UNLESS OTHERWISE NOTED.
2. FIELD VERIFY ALL DIMENSIONS AND CONDITIONS.
3. NOTIFY OWNER AND ARCHITECT OF ALL DISCREPANCIES IN DRAWINGS AND REPRESENTED SITE CONDITIONS.



705 NW 20th STREET

OKLAHOMA CITY, OK 73103

LEGAL DESCRIPTION:

UNIVERSITY ADDITION BLOCK 31 LOTS 20 AND 21

CODES:

BUILDING CODE - IRC 2015, FIRE CODE - IFC 2015,
ELECTRICAL CODE - NEC 2017, PLUMBING CODE - IPC 2015,
MECHANICAL CODE 2015 - IMC, ENERGY CODE - IECC 2008

SHEET INDEX

- 1 COVER SHEET
- 2 EXISTING / DEMOLITION SITE PLAN
- 3 NOT USED
- 4 EXISTING / DEMOLITION ELEVATIONS
- 5 EXISTING / DEMOLITION ELEVATIONS
- 6 PROPOSED SITE PLAN
- 7 PROPOSED PORCH PLANS
- 8 PROPOSED PORCH PLAN
- 9 PROPOSED PORCH ELEVATIONS
- 10 PROPOSED DECK PLAN AND ELEVATION
- 11 PROPOSED DECK ELEVATION
- 12 PROPOSED GARAGE PLANS
- 13 PROPOSED GARAGE ELEVATIONS
- 14 PROPOSED GARAGE ELEVATIONS
- 15-17 NOT USED
- 18 PROPOSED SIDING
- 19 PROPOSED SOFFIT
- 20 PROPOSED WINDOW
- 21 PROPOSED WINDOW
- 22 PROPOSED GARAGE DOOR
- 23 PROPOSED PEDESTRIAN DOORS
- 24 PROPOSED SHINGLE
- 25 PROPOSED WALL LIGHTS
- 26 PROPOSED WOOD FENCE
- 27 PROPOSED CRAWL SPACE VENT COVER



PROJECT LOCATION

1 PROJECT VICINITY MAP
NOT TO SCALE

NORTH



Preservation and Design Studio
616 Northwest 21st Street, Oklahoma City, OK 73102
(405) 601-6814 www.panddstudio.com

REVISION DATE:

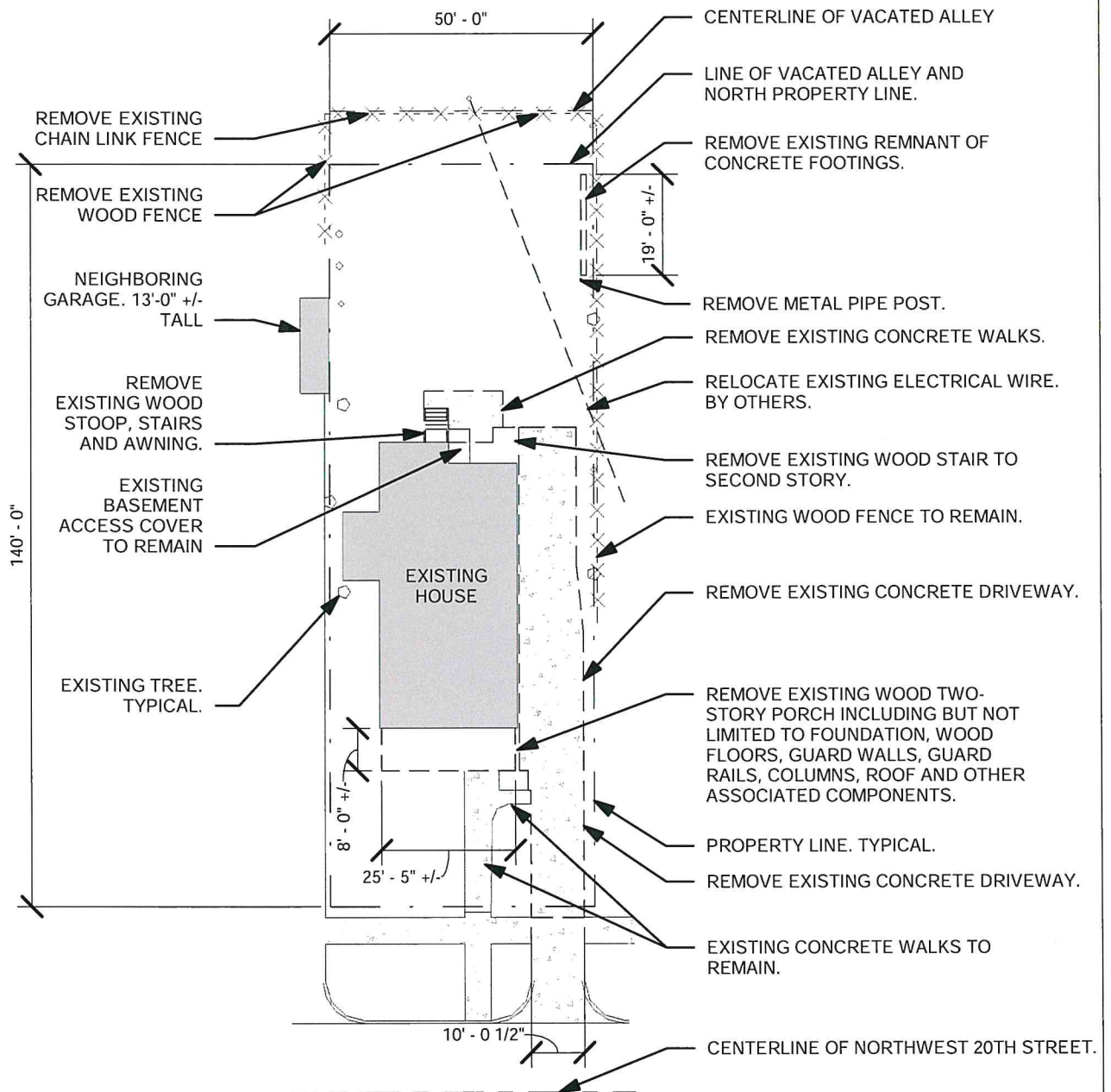
JOB NO: 21-010

DATE: MAY 4, 2021

PROJECT: 705 NW 20TH STREET
OKLAHOMA CITY, OK 73103

SHEET NO: 1



TITLE: COVER SHEET



① EXISTING / DEMOLITION SITE PLAN
1" = 30'-0"

0 15' 30'



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SHEET NOTE:

REMOVE EXISTING WOOD TWO-STORY PORCH (INDICATED BY DIAGONAL HATCH), INCLUDING BUT NOT LIMITED TO FOUNDATION, WOOD FLOORS, GUARD WALLS, GUARD RAILS, COLUMNS, ROOF AND OTHER ASSOCIATED COMPONENTS.

2 WEST PORCH ELEVATION
NOT TO SCALE



1 SOUTH PORCH ELEVATION
NOT TO SCALE

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	REVISION DATE:	JOB NO: 21-010		SHEET NO: 4
		DATE: MAY 4, 2021		TITLE: EXISTING / DEMOLITION ELEVATIONS

REMOVE EXISTING
WOOD STAIR, RAILING
AND COLUMNS.

REMOVE EXISTING
CONCRETE DRIVEWAY.



REMOVE EXISTING DOOR,
HARDWARE AND TRIM.

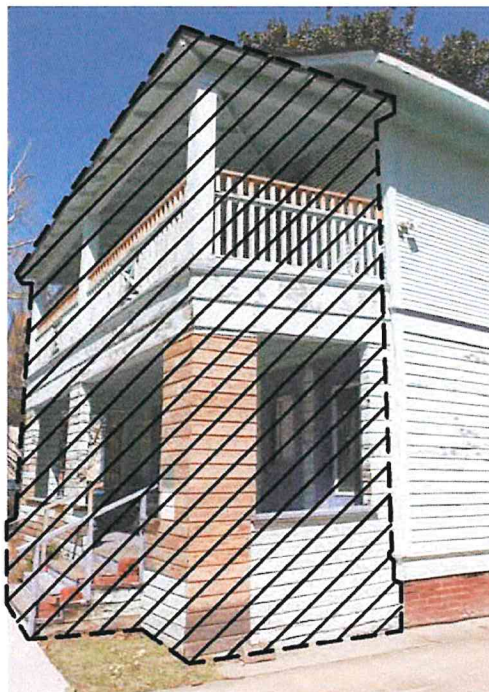
REMOVE EXISTING WOOD
CANOPY.

REMOVE WOOD HALF
LITE DOOR AND METAL
SCREEN DOOR.

REMOVE EXISTING WOOD
STOOP, STAIR AND
RAILING.

REMOVE EXISTING
CONCRETE WALK.



② NORTH ELEVATION
NOT TO SCALE

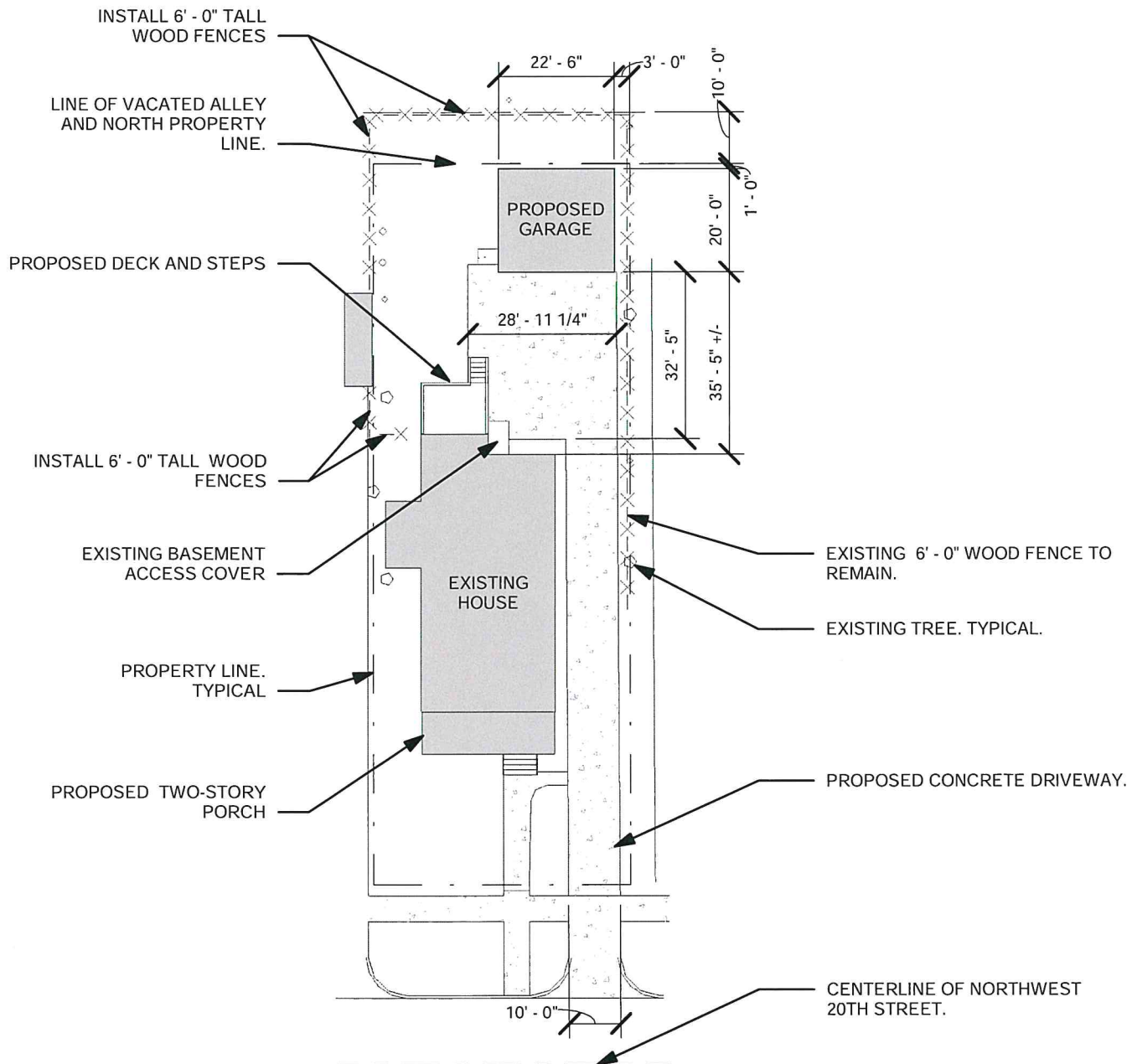


SHEET NOTE:

REMOVE EXISTING WOOD TWO-STORY
PORCH (INDICATED BY DIAGONAL
HATCH), INCLUDING BUT NOT LIMITED
TO FOUNDATION, WOOD FLOORS,
GUARD WALLS, GUARD RAILS,
COLUMNS, ROOF AND OTHER
ASSOCIATED COMPONENTS.

① EAST PORCH ELEVATION
NOT TO SCALE

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	REVISION DATE:	JOB NO: 21-010	SHEET NO: 5	TITLE: EXISTING / DEMOLITION ELEVATIONS	
		DATE: MAY 4, 2021			



① PROPOSED SITE PLAN 0 12.5' 25' NORTH
1" = 30'-0"



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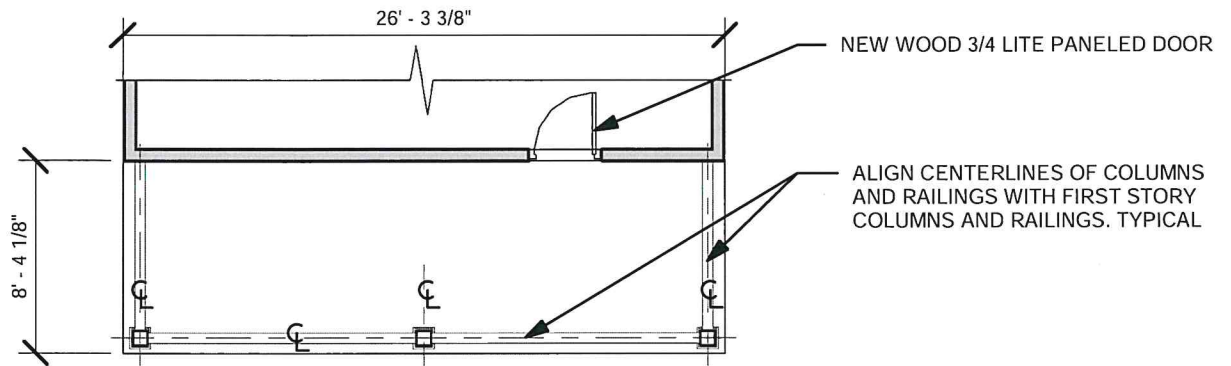
DATE: MAY 4, 2021

PROJECT: 705 NW 20TH STREET
OKLAHOMA CITY, OK 73103

SHEET NO: 6

TITLE: PROPOSED SITE PLAN





2

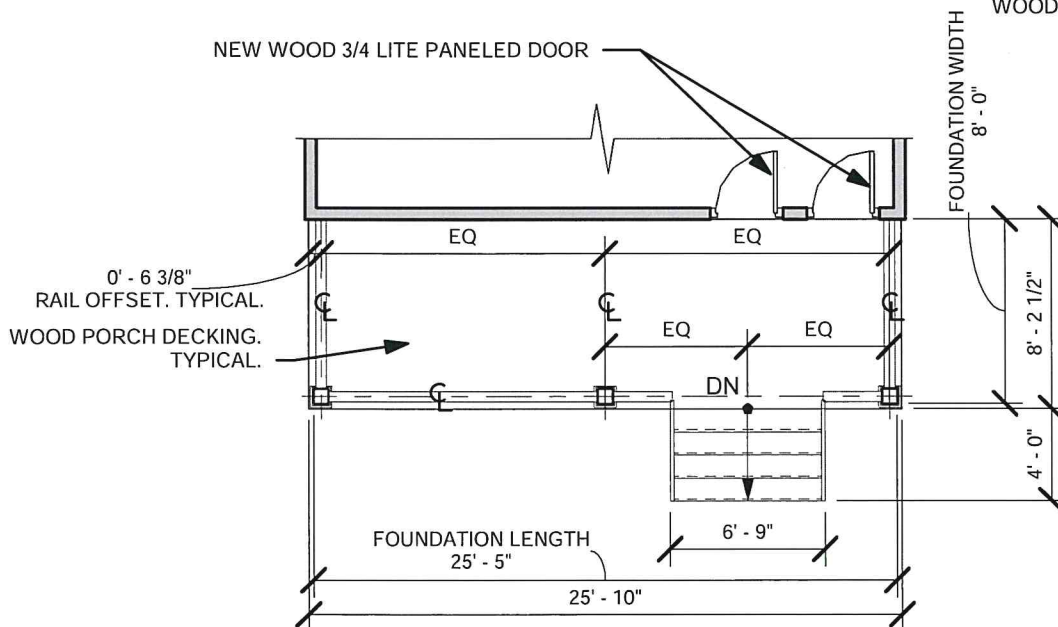
PROPOSED SECOND FLOOR PORCH PLAN

1/8" = 1'-0"



STAIR AND PORCH NOTES:
5 EQUAL RISERS AT 6 1/4" +/-
4 - 12" TREADS
ALL STAIR MATERIALS ARE TREATED WOOD.

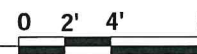
8X8 PORCH COLUMNS
2X6 TOP RAILS
2X4 BOTTOM RAILS
2X2 SPINDELS
4X4 NEWEL POST
2X8 FLOOR JOISTS
2X12 STAIR STRINGERS
1X12 STAIR TREADS
1X6 FLOOR BOARDS AND STAIR TREADS
1X6 RISER COVERS
1X COLUMN CAPITAL AND BASE TRIM
WOOD BEAD BOARD CEILINGS



1

PROPOSED FIRST FLOOR PORCH PLAN

1/8" = 1'-0"



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DATE:

MAY 4, 2021

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OKLAHOMA CITY, OK 73103

SHEET NO:

7

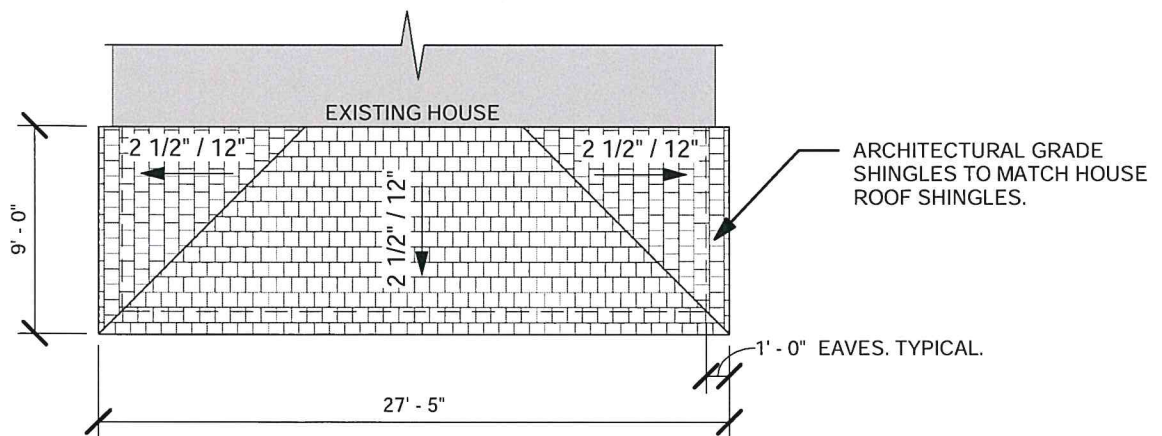
TITLE:

PROPOSED PORCH PLANS

DRAWN BY: KA

CHECKED BY: CM





1 PROPOSED PORCH ROOF PLAN
1/8" = 1'-0"

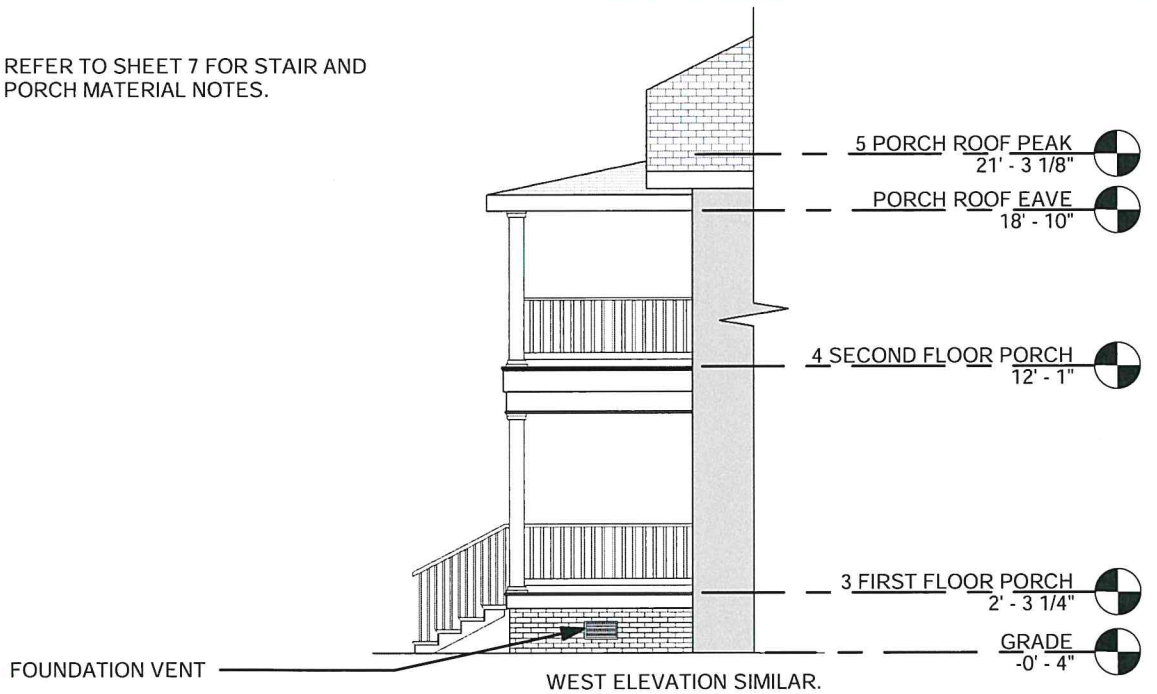
0 2' 4' 8'



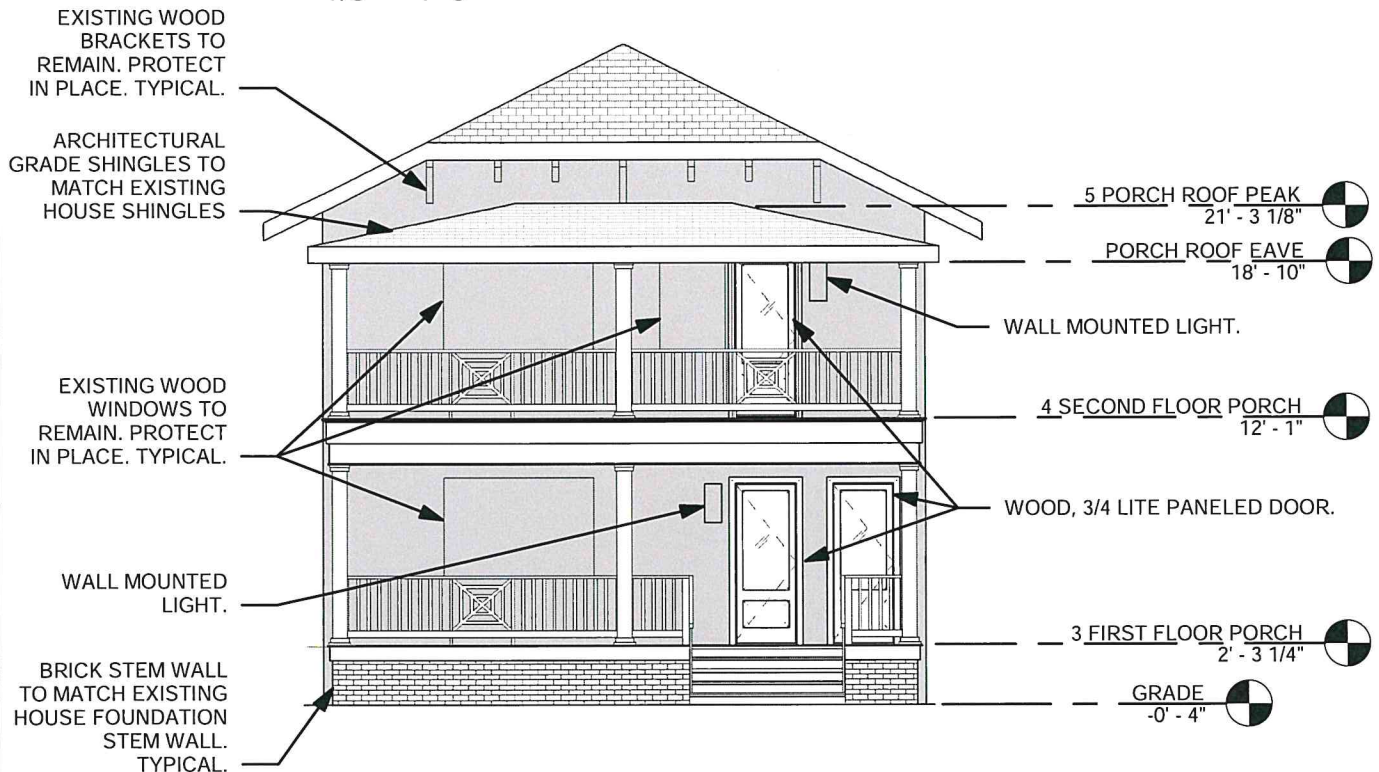
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DATE: MAY 4, 2021

PROJECT: 705 NW 20TH STREET
OKLAHOMA CITY, OK 73103
SHEET NO: 8
TITLE: PROPOSED PORCH PLAN

REFER TO SHEET 7 FOR STAIR AND
PORCH MATERIAL NOTES.





② EAST PORCH ELEVATION
1/8" = 1'-0"



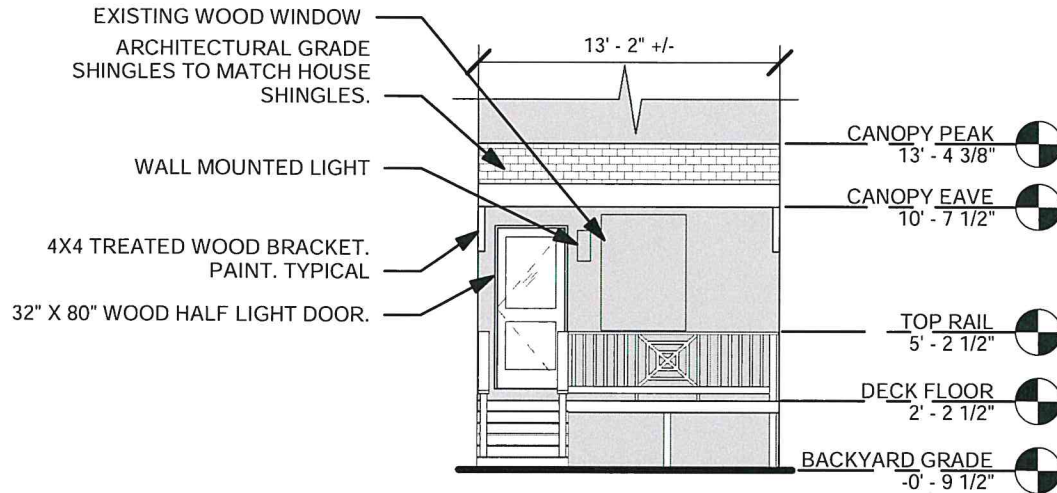
① SOUTH PORCH ELEVATION
1/8" = 1'-0"



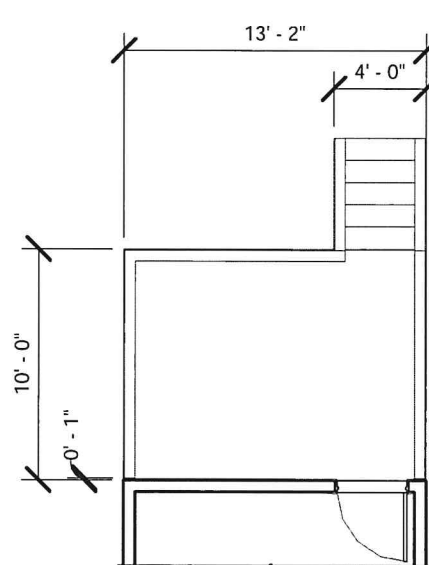
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	REVISION DATE:	JOB NO: 21-010	SHEET NO: 9	TITLE: PROPOSED PORCH ELEVATIONS	
		DATE: MAY 4, 2021			

CANOPY NOTES:

ALL CANOPY STRUCTURAL MATERIALS ARE
WOOD, PAINT WOOD.
2X10 EAVE BEAM
4X4 BRACKETS



2 PROPOSED NORTH DECK ELEVATION
1/8" = 1'-0"



DECK AND STAIR NOTES:

STAIRS - 6 EQUAL RISERS AT 6" +/-
5 TREADS AT 12"
ALLSTAIR AND DECK MATERIALS ARE
TREATED WOOD
4X4 NEWEL AND SUPPORT POST
2X6 DECK JOIST
1X6 FLOOR BOARDS
2X4 BOTTOM RAIL
2X2 SPINDELS
2X6 TOP RAIL
2X12 STAIR STRINGERS
1X6 STAIR TREADS
1X6 STAIR RISER COVER

1 PROPOSED NORTH DECK PLAN
1/8" = 1'-0"



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REVISION DATE:

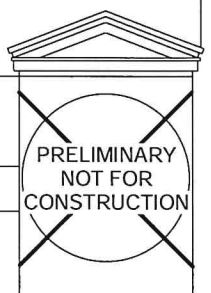
JOB NO: 21-010

DATE: MAY 4, 2021

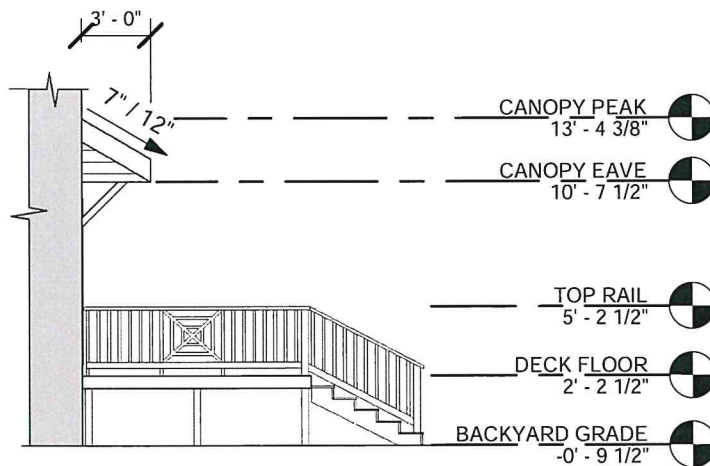
PROJECT: 705 NW 20th STREET
OKLAHOMA CITY, OK 73103

SHEET NO: 10

TITLE: PROPOSED DECK PLAN AND
ELEVATION

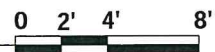




REFER TO SHEET 10 FOR CANOPY NOTES AND DECK
AND STAIR NOTES.

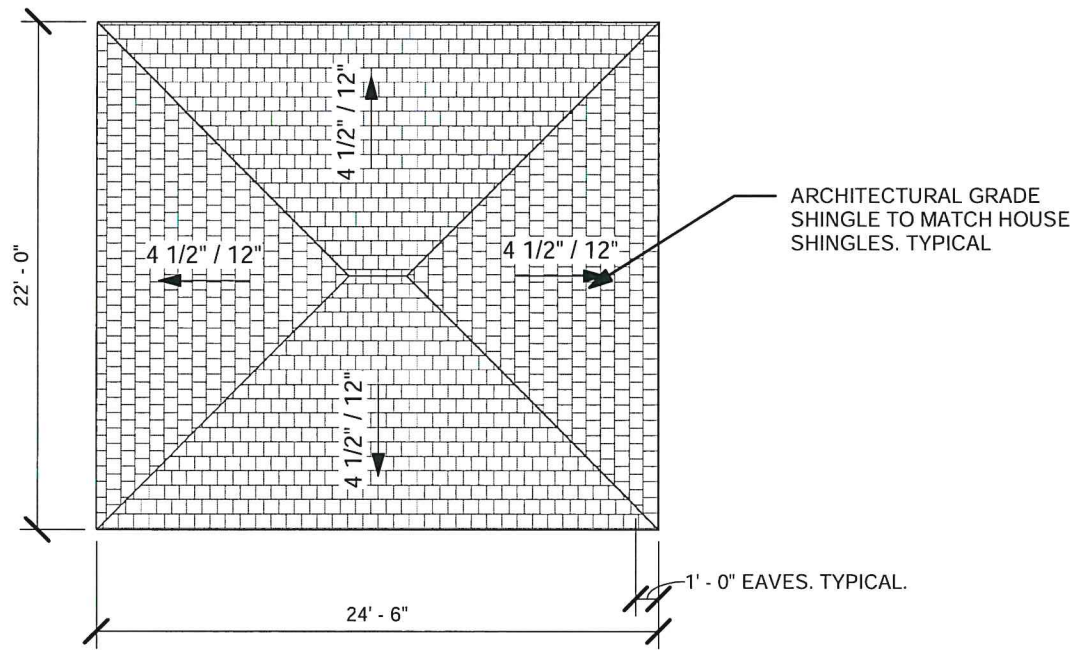


WEST ELEVATION SIMILAR

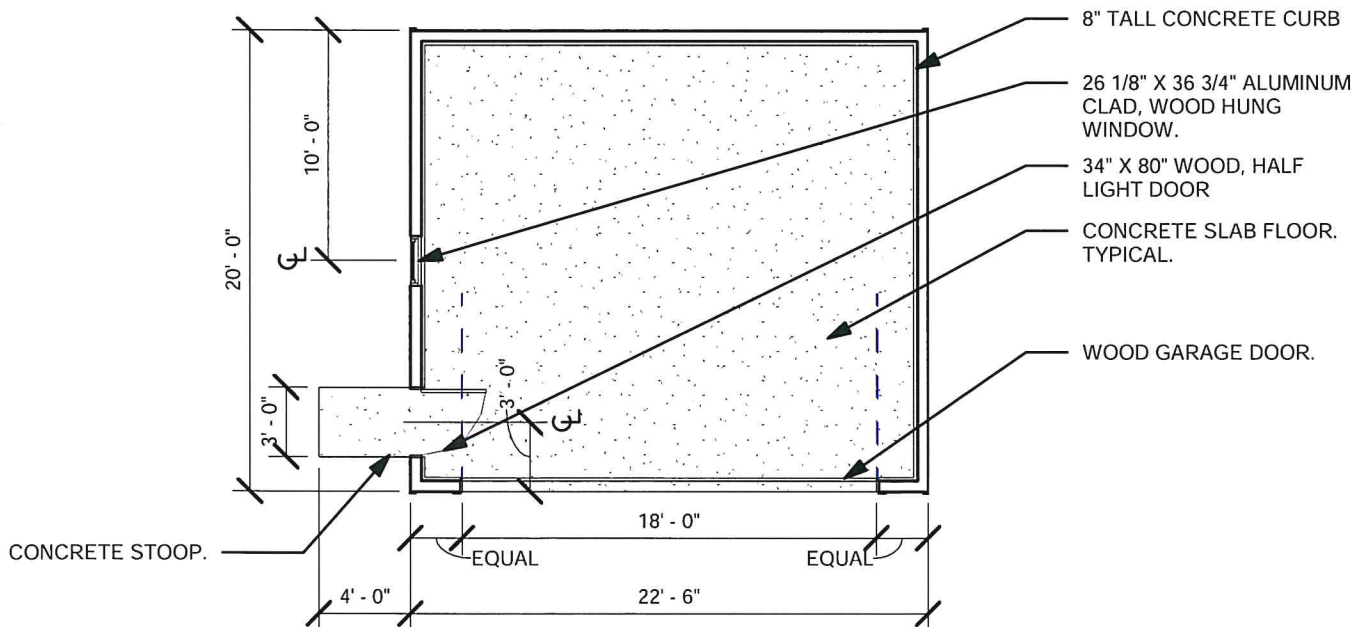
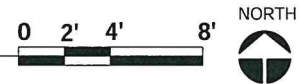
1 PROPOSED EAST ELEVATION
1/8" = 1'-0"



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	REVISION DATE:	JOB NO: 21-010	SHEET NO: 11	TITLE: PROPOSED DECK ELEVATION	
		DATE: MAY 4, 2021			





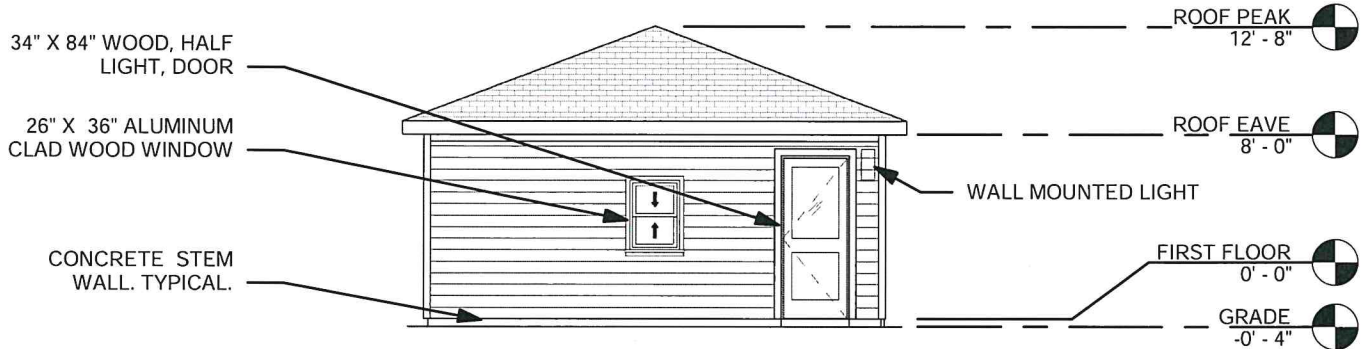
② PROPOSED GARAGE ROOF PLAN
1/8" = 1'-0"



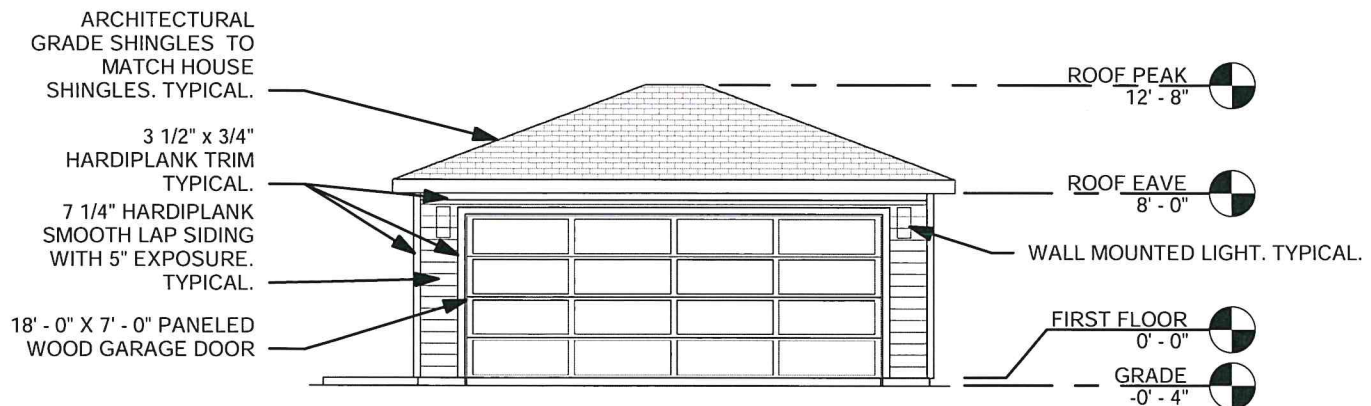
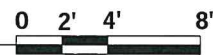
① PROPOSED GARAGE PLAN
1/8" = 1'-0"



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② PROPOSED WEST ELEVATION
1/8" = 1'-0"



① PROPOSED SOUTH ELEVATION
1/8" = 1'-0"



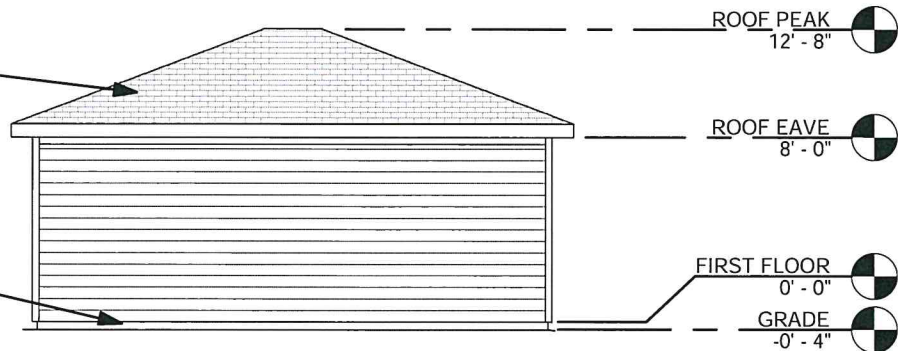
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	DATE: MAY 4, 2021

PROJECT: 705 NW 20TH STREET OKLAHOMA CITY, OK 73103	
SHEET NO: 13	
TITLE: PROPOSED GARAGE ELEVATIONS	

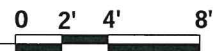


ARCHITECTURAL
GRADE SHINGLES TO
MATCH HOUSE
SHINGLES. TYPICAL.

CONCRETE STEM
WALL. TYPICAL.

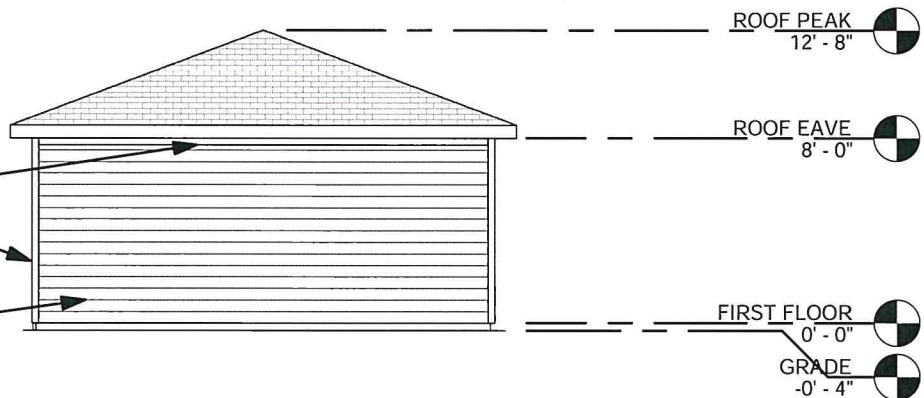


② PROPOSED NORTH ELEVATION
1/8" = 1'-0"



3 1/2" x 3/4"
HARDIPLANK TRIM
TYPICAL.

7 1/4" HARDIPLANK
SMOOTH LAP SIDING
WITH 5" EXPOSURE.
TYPICAL.



① PROPOSED EAST ELEVATION
1/8" = 1'-0"



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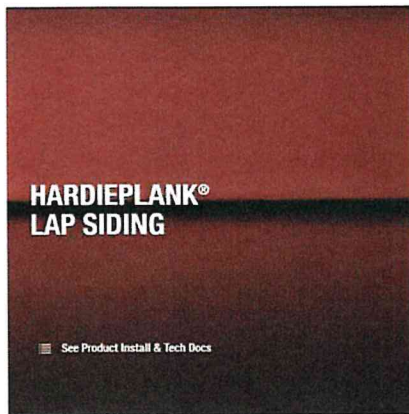
DATE: MAY 4, 2021

PROJECT: 705 NW 20TH STREET
OKLAHOMA CITY, OK 73103

SHEET NO: 14

TITLE: PROPOSED GARAGE
ELEVATIONS





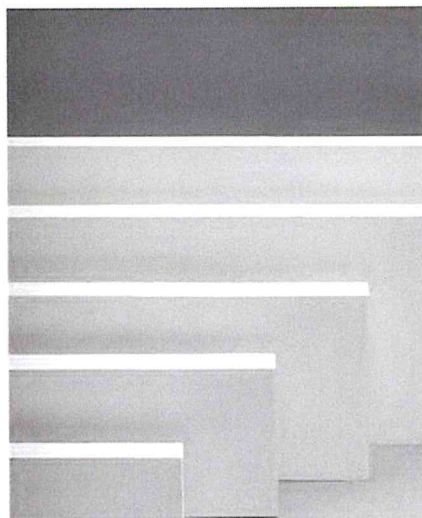
Primed for Paint

Size Options

Thickness 0.312"
Weight 2.40 lbs. per square foot
Length 144"

Widths	6.25"	8.25"	12"
Exposures	5"	7"	10.75"
Pcs./Pallet	308	230	152

Widths	5.25"	7.25"	9.25"
Exposures	4"	6"	8"
Pcs./Pallet	360	252	190



TRIM COLORS

Arctic White



[Request a Quote >](#)

[Request a Sample >](#)

Colors shown may vary due to screen resolution. Please see actual product sample for true color.

AVAILABLE SIZES

THICKNESS: 0.75"

WIDTHS: 3.5" 5.5" 7.25"
EXPOSURES: 3.5" 5.5" 7.25"

LENGTH: 144" boards

SIDING AND TRIM ARE SMOOTH FACED



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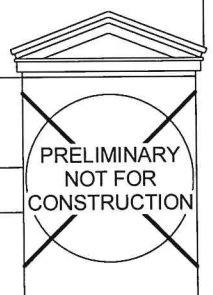
JOB NO: 21-010

DATE: MAY 4, 2021

PROJECT: 705 NW 20th STREET
OKLAHOMA CITY, OK 73103

SHEET NO: 18

TITLE: PROPOSED SIDING



Model # 604437 · Internet # 100028238 · Store SKU # 604437

1 in. x 6 in. x 8 ft. Tongue and Groove Pattern Stock Board

★★★★ (8) [Write a Review](#) [Customer Images \(5\)](#) [Questions & Answers \(8\)](#)



\$6.32 / each

Pick Up In Store **FREE**
Available for Pick Up: Today

145 In stock at:
N Oklahoma City #3902
[Change Pick Up Store](#)

1

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Oklahoma City, OK 73112
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145 In Stock
Aisle 16, Bay 006



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DESIGN STUDIO
DRAWN BY: KA
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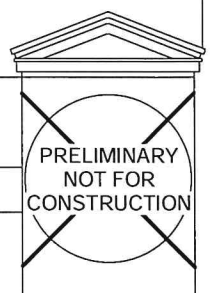
JOB NO: 21-010

DATE: MAY 4, 2021

PROJECT: 705 NW 20th STREET
OKLAHOMA CITY, OK 73103

SHEET NO: 19

TITLE: PROPOSED SOFFIT



Pella® Reserve™

Traditional Wood & Clad/Wood



Exquisitely designed windows and doors with unparalleled historical detailing.

Double-Hung Interior



Double-Hung Exterior



• Historical details

Our most historically authentic line of wood windows and patio doors. Featuring through-stile construction, deliberate proportions and intricate profiles. Pella Reserve products are the ideal choice for historical renovations and traditional building projects.

• Authentic hardware

Complement your project with historically authentic spoon-lock window hardware. Our Antiek casement window hardware is inspired by period furniture to deliver authentic traditional style.

• Architectural interest

Featuring the industry's only foam spacer solution, Pella's Integral Light Technology® grille helps capture the look of true-divided-light without sacrificing energy performance. Further your aesthetic with the putty profile, recreated with historically accurate angles – providing meaningful depth and a realistic shadow. Pella Reserve products offer the industry's deepest sash dimension.

• Virtually unlimited customization

If you can dream it, we can build it with our most customizable product line. From extra tall to extra wide, Pella can craft unique windows that complement your aesthetic. Custom sizes, grille patterns and designs, finishes, wood types and glass options are available.

• Tailor-made solutions

From preliminary drawings to installation, Pella's expert team of architects, engineers, drafters and consultants can work to deliver custom window and door solutions for your project. Partner with Pella to achieve your unique vision without concessions.

• Intentional innovation

Winner of the 2019 Most Innovative Window from Window and Door Magazine, the Integrated Rolscreen® retractable screen preserves aesthetic view. It is a double- and single-hung screen that appears when you open the window, and rolls away, out of sight, when you close it.

• Durable interiors and extruded aluminum exteriors

Create a custom exterior color to meet your design needs or choose from 27 standard color options. Interior finish options are available in four paints, eleven stains and primed and ready-to-paint.

• ENERGY STAR® certified¹

Pella wood products offer energy-efficient options that will meet or exceed ENERGY STAR guidelines in all 50 states. Pella Reserve products with triple-pane glass have been awarded the ENERGY STAR Most Efficient Mark in 2020.¹

• Testing beyond requirements

At Pella, our products are tested beyond requirements to help ensure they have long-lasting performance and reduce call-backs for you.

• Best limited lifetime warranty²

Pella Reserve products are covered by the best limited lifetime warranty in the business for wood windows and patio doors.³

Available in these window and patio door styles:



Special shape windows also available.

¹ See back & cover for disclosure.



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DATE:

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PROJECT: 705 NW 20th STREET
OKLAHOMA CITY, OK 73103

SHEET NO:

20

TITLE:

PROPOSED WINDOWS



Product Specifications

Window & Patio Door Styles	Min. Width	Min. Height	Max. Width	Max. Height	Performance Class & Grade	Performance Values			Frame / Install
						U-Factor	SHGC	STC	
Awning	13-3/4"	13-3/4"	53"	29"	LC40-CW50	0.25-0.29	0.18-0.47	27-33	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Precision Fit Awning	17"	17"	53"	29"	R50-CW50	0.28-0.32	0.18-0.47	27-33	Packet Replacement
Casement	13-3/4"	13-3/4"	41"	96"	R35-CW50	0.25-0.29	0.18-0.47	27-35	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Precision Fit Casement	17"	17"	35"	73"	R45-CW50	0.28-0.33	0.18-0.47	27-30	Packet Replacement
Fixed Casement	10"	10"	144"	144"	R35-CW50	0.25-0.29	0.18-0.47	27-35	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Precision Fit Fixed Casement	17"	17"	59"	73"	R45-CW50	0.28-0.33	0.18-0.47	27-30	Packet Replacement
Double-Hung	14"	24-3/4"	48"	96"	CW40-CW50	0.25-0.30	0.19-0.53	26-34	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Precision Fit Double-Hung	13-1/2"	23-3/4"	48"	84"	CW40-CW50	0.25-0.31	0.19-0.53	26-30	Packet Replacement
Montimental Hung	13-3/4"	24"	72"	144"	LC25-CW50	0.25-0.30	0.17-0.47	29-34	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
In-Swing Hinged Patio Door (Single)	18"	36"	48"	199-1/2"	LC40-LC55	0.25-0.29	0.14-0.40	31-32	
In-Swing Hinged Patio Door (Double)	36"	36"	96"	119-1/2"	LC40-LC55	0.25-0.29	0.14-0.40	31-32	
Out-Swing Hinged Patio Door (Single)	18"	36"	48"	119-1/2"	R50-LC70	0.25-0.30	0.14-0.39	30-32	
Out-Swing Hinged Patio Door (Double)	36"	36"	96"	119-1/2"	R50-LC70	0.25-0.30	0.14-0.39	30-32	
Sliding Patio Door (O)	30-3/4"	74"	60-3/4"	119-1/2"	LC25-LC70	0.29-0.32	0.15-0.42	-	
Sliding Patio Door (OX, XO)	59-1/4"	74"	119-1/2"	119-1/2"	LC25-LC70	0.29-0.32	0.15-0.42	29-35	
Sliding Patio Door (OXO)	90"	74"	180"	119-1/2"	LC25-LC70	0.29-0.32	0.15-0.42	-	
Sliding Patio Door (OXXO)	116-1/4"	74"	236-1/4"	119-1/2"	LC25-LC70	0.29-0.32	0.15-0.42	-	
Multi-Slide Patio Door	40-3/4"	50-1/2"	701-3/4"	119-1/2"	R15-LC25 ¹	0.30 - 0.36	0.15 - 0.46	-	For more info visit FellaADM.com
Bifold Patio Door	31-3/4"	55-1/2"	312"	119-1/2"	R15-R25 ¹	0.26-0.44	0.13-0.45	-	

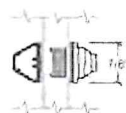
Window sizes available in 1/8" increments

Special sizes available. For more information regarding performance, visit installpolla.com/performance. For more information regarding frame and installation types, visit FellaADM.com.

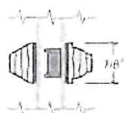
Grilles

Integral Light Technology¹

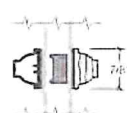
Choose the look of true divided light featuring the industry's only foam spacer.



Putty Glaze Exterior with Ogee Interior¹
5/8", 7/8", 1-1/4" or 2"



Putty Glaze Exterior with Ogee Interior¹
5/8", 7/8", 1-1/4" or 2"

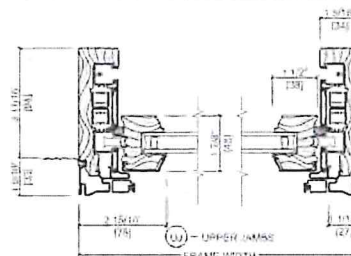


Ogee Exterior with Ogee Interior¹
5/8", 7/8", 1-1/4" or 2"

Cross Sections

Cross Sections

The double-hung cross sections provide visual reference to the historic putty exterior profile and traditional, beveled Ogee interior that add architectural interest to your project.



Optional Fold-out Installation Fin

¹ See back cover for disclosures



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REVISION DATE:

JOB NO:

21-010

DRAWN BY:

KA

CHECKED BY:

CM

DATE:

MAY 4, 2021

PROJECT:

705 NW 20th STREET
OKLAHOMA CITY, OK 73103

SHEET NO:

21

TITLE:

PROPOSED WINDOWS



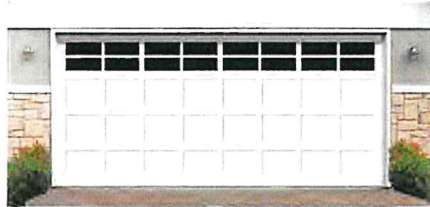


Select Language ▼

Home • Garage Doors • Wood • Garage Door 100 Series

Wood Garage Doors

100 Series

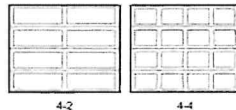


Wood garage doors provide a first impression that lasts, and a Colonial wood panel door gives your home a quality appearance that endures year after year. Designed for easy operation and strongly built, colonial doors make beauty and convenience surprisingly affordable. These wood garage doors provide the authentic styling and rich appearance that have made quality wood doors so popular for years. Beautifully designed for strength and durability, these models will give your home a quality appearance that lasts year after year.

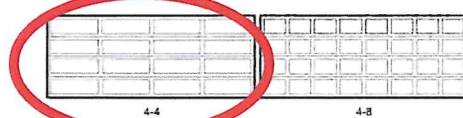
105 & 106: Standard-duty Hemlock rails and stiles
110 & 116: Heavy-duty Hemlock rails and stiles

Choose a Panel Design

Single Car Garage Door Panels

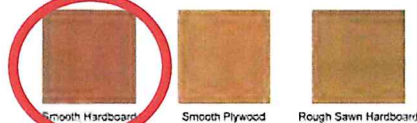


Double Car Garage Door Panels



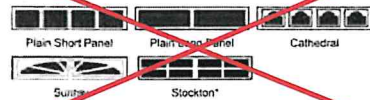
Choose a Material

Available in your choice of smooth hardboard, smooth plywood and rough sawn hardboard and ready to prime and paint or stain.



Choose a Window

Molded designs with plastic inserts may not fit all panel sizes. Consult your Wayne Dalton dealer for availability.



NO WINDOWS

Warranty



Wayne Dalton offers a Limited Warranty on this garage door. Please reference the warranty document for details.

Garage Door Design Center



Before



After

Use this tool to see how we can transform your home.

Garage Door Brochures

[Wood Garage Doors 105-110](#)

[Wood Garage Doors 106-116](#)

Garage Door Warranty

[Warranty 100 & 300 Series](#)

[Warranty 7100 Series](#)

Windload Options

[Windload - All Wood Doors](#)



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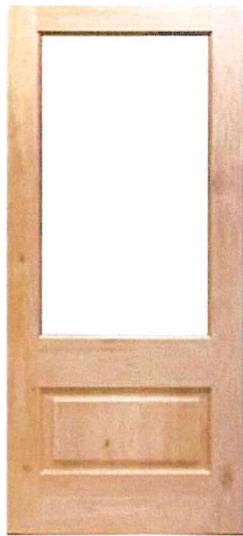
DATE: MAY 4, 2021

PROJECT: 705 NW 20th STREET
OKLAHOMA CITY, OK 73103

SHEET NO: 22

TITLE: PROPOSED GARAGE DOOR





Home / Krosswood Knotty Alder 3/4 Lite Clear Glass Exterior Door

Krosswood Knotty Alder 3/4 Lite Clear Glass Exterior Door

\$624.37

Click on options below to build your perfect door

Door Size (WxH)

• 36" Wide x 80" Tall x 1-3/4" Thick (3'-0" W x 6'-8" H) •
[-\$624.37]

ADD TO CART


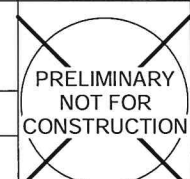
\$624.37

♥ Add to wishlist ✕ Add to compare

SKU: KA434LowE 3060134

*Prehung doors are disassembled for shipping.

1/2 LITE PEDESTRIAN DOOR SIMILAR

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	REVISION DATE:	JOB NO: 21-010	SHEET NO: 23		
		DATE: MAY 4, 2021	TITLE: PEDESTRIAN DOOR		
	DRAWN BY: KA				
CHECKED BY: CM					

Internet #009755042 Model #0489256 Store SKU #100007099



Hover Image to Zoom

Timberline HDZ Driftwood Algae Resistant Laminated High Definition Shingles (33.33 sq. ft. per Bundle) (21-Pieces)

by GAF > [Shop the Collection](#) >

★★★★★ (8) Write a Review Questions & Answers (2)

- Industry leading nailing zone with 99.9% nail placement accuracy
- Enhanced shadow effect for a genuine wood shake look
- Class A fire rating & 130 mph wind warranty gives peace of mind
- [See More Details](#)

Save up to \$100 on your qualifying purchase.
Apply for a Home Depot Consumer Card

Color/Finish: **Driftwood**



Store Pickup
Not available for this item
 Ship to Home
Not available for this item
 Scheduled Delivery
Not available for this item

♥ 10



PRESERVATION³⁶⁰
DESIGN STUDIO

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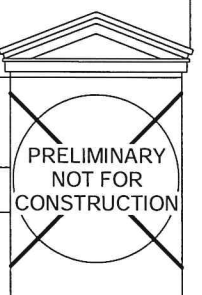
JOB NO: 21-010

DATE: MAY 4, 2021

PROJECT: 705 NW 20th STREET
OKLAHOMA CITY, OK 73103

SHEET NO: 24

TITLE: PROPOSED SHINGLE



VINTAGE

Product ID B2972

TROY LIGHTING
EST. 1962



Dimensional Information

Height	20.00"
ADA Compliant	No
Hanging Type	-
Width	9.00"
Extension	5.00"
Top to Center	10.00"
Weight	12.10lb.

Shipping Information

Carton 1	12.00" x 10.00" x 23.00"
Carton 1 Weight	14.00lb.
Shipping Method	UPS

Lamping Information


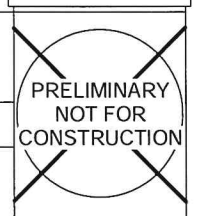
Bulb 1

(2) 60 Watt Max 120

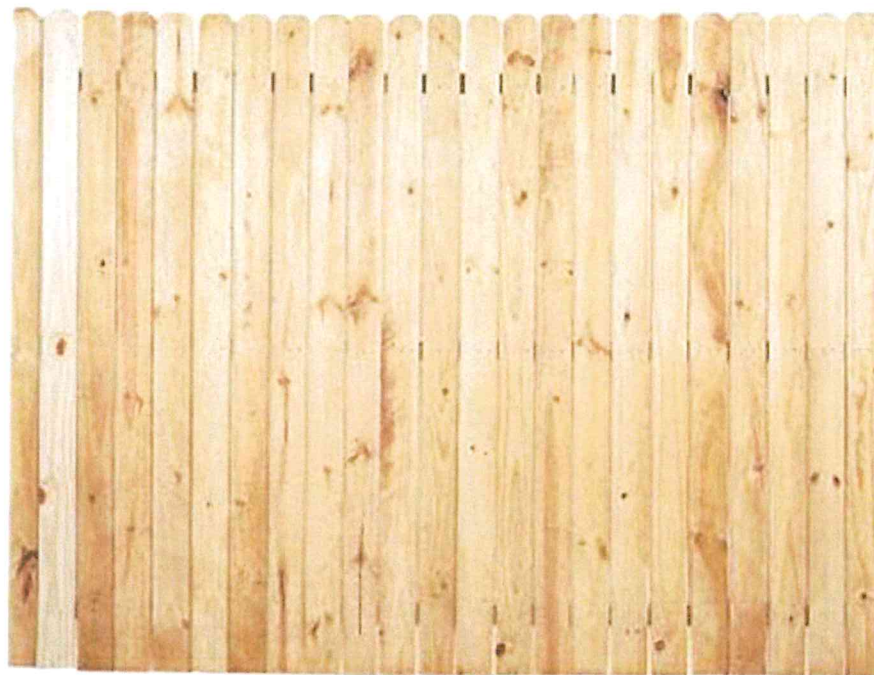
Bulb Included	No
Socket Type	e12 candelabra base
UL Rating	WET
Plug In	No

Available Finishes

VINTAGE BRONZE (VINTAGE BRONZE)

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	REVISION DATE:	JOB NO: 21-010	SHEET NO: 25	
		DATE: MAY 4, 2021	TITLE: PROPOSED WALL LIGHT	

Model # 0300250 Store SKU #710520

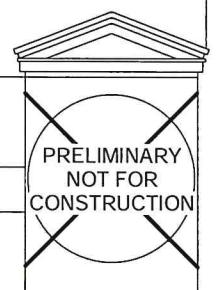


P
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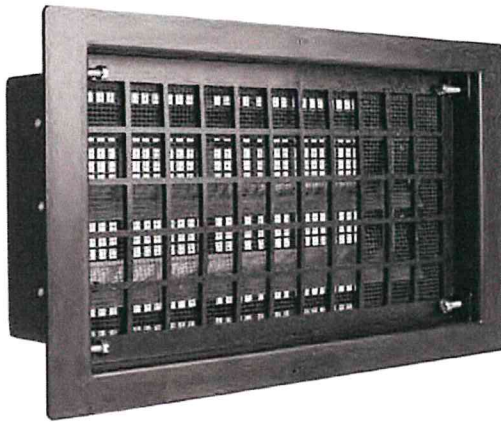
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JOB NO: 21-010
 DATE: MAY 4, 2021

PROJECT: 705 NW 20th STREET
 OKLAHOMA CITY, OK 73103
 SHEET NO: 26
 TITLE: PROPOSED WOOD FENCE



Model # FVRABL Internet #202067579 Store SKU #456735




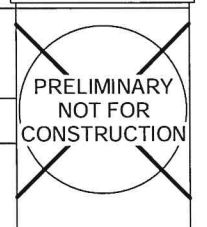
Master Flow

16 in. x 8 in. Automatic Open/Close Foundation Vent in Black

★★★★ (19) Write a Review Questions & Answers (14)

- Automatic Foundation Vent
- Temperature controls dampers
- Replaces manual vent

\$16²⁰ /each

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	REVISION DATE:	JOB NO: 21-010	SHEET NO: 27		
		DATE: MAY 4, 2021	TITLE: PROPOSED CRAWL SPACE VENT COVER		