

FILE LOCATION: F:\CAD\DWG\Sheet Sales\30604401-FINAL PLAT.dwg PLOTTED: 3/1/2017 4:10:38 PM - COWAN, SUSAN

OWNER'S CERTIFICATE AND DEDICATION  
KNOW ALL MEN BY THESE PRESENTS:

That WMS HOLDINGS, L.L.C., an Oklahoma Limited Liability Company, hereby certifies that it is the owner of and the only persons, firm or company having any right, title, or interest in and to the land shown on the annexed plat of WHISTLE CREEK PHASE I, an addition to the City of Oklahoma City, Oklahoma. That it has caused the same to be surveyed and platted into lots, blocks, public streets and public easements as shown on said annexed plat, which said annexed plat represents a correct survey of all property contained and included therein under the name of WHISTLE CREEK PHASE I, an addition to the City of Oklahoma City, Oklahoma County, Oklahoma.

The undersigned does hereby further certify that it is the owner of the land and the only company, corporation, partnership, person or entity having any right, title or interest in and to the land included in said annexed plat, except as set forth in the Bonded Abstractor's Certificate, and does hereby dedicate all streets and easements as shown on said annexed plat to the public for use as public streets and drainage and utility easements for their heirs, executors, administrators, successors, and assigns forever and shall cause the same to be released from all encumbrances so that title is clear.

The Owner's Restrictive Covenants and Limitations for the development of this addition are set out on typewritten sheets of paper and will be subsequently filed separately.

IN WITNESS WHEREOF the undersigned has executed this instrument at the City of Oklahoma City, Oklahoma County, on this \_\_\_\_\_ day of \_\_\_\_\_, 2017.

Attest: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: MANAGER

STATE OF OKLAHOMA ) ) SS  
COUNTY OF OKLAHOMA ) )

Before me, the undersigned, a Notary Public in and for said County and State, on this \_\_\_\_\_ day of \_\_\_\_\_, 2017, personally appeared \_\_\_\_\_ to me known to be the identical person who subscribed, as MANAGER of WMS HOLDINGS, L.L.C., an Oklahoma Limited Liability Company, and duly acknowledged to me that he executed the same as the free and voluntary act and deed of himself and as the free and voluntary act and deed of said Limited Liability Company, for the uses and purposes therein set forth.

My Commission Expires: \_\_\_\_\_  
Notary Public

BONDED ABSTRACTOR'S CERTIFICATE

The undersigned, a duly qualified and lawfully bonded abstractor of titles in and for Oklahoma County and the State of Oklahoma, hereby certifies that the records of said county show that the title to the land shown on the annexed plat of WHISTLE CREEK PHASE I, an addition to the City of Oklahoma City, Oklahoma, is vested in WMS HOLDINGS, L.L.C., an Oklahoma Limited Liability Company, and on the \_\_\_\_\_ day of \_\_\_\_\_, 2017, there are no actions pending or judgments of any nature in any court or on file with the clerk of any court in said county and state against said land or owners thereof, that the taxes are paid for the year of 2016 and prior years, that there are no outstanding tax sales certificates against said land and no tax deeds are issued to any person, that there are no liens, mortgages or other encumbrances of any kind against the land included in the annexed plat, except mortgages of record.

ATTEST  
In witness whereof, said Bonded Abstractor has caused this instrument to be executed this \_\_\_\_\_ day of \_\_\_\_\_, 2017.  
THE OKLAHOMA CITY ABSTRACT AND TITLE COMPANY

By: \_\_\_\_\_ Assistant Secretary  
By: \_\_\_\_\_ Vice President

STATE OF OKLAHOMA ) ) SS  
COUNTY OF OKLAHOMA ) )

Before me, the undersigned, a Notary Public in and for said County and State, on this \_\_\_\_\_ day of \_\_\_\_\_, 2017, personally appeared \_\_\_\_\_ to me known to be the identical Vice President who acknowledged to me that he executed the same as his free and voluntary act and deed, and as the free and voluntary act and deed of said company, for the uses and purposes therein set forth.

My Commission Expires: \_\_\_\_\_  
Notary Public

LEGAL DESCRIPTION

A tract of land located in the Northwest Quarter (NW/4) of Section Four (4), Township Thirteen (13) North, Range Three (3) West of the Indian Meridian, Oklahoma County, Oklahoma, being more particularly described as follows:

COMMENCING at the Northwest Corner of said Northwest Quarter (NW/4); Thence North 89°53'48" East along the North line of said NW/4 a distance of 2,036.15 feet to the POINT OF BEGINNING; Thence, continuing along said North line, North 89°53'48" East a distance of 399.80 feet; thence South 00°15'45" East a distance of 365.00 feet; thence North 89°53'42" East a distance of 188.72 feet; thence South 00°15'45" East a distance of 573.07 feet; thence North 89°43'54" West a distance of 121.79 feet to a point on a curve to the left, said curve having a radius of 50.00 feet, a central angle of 07°43'49", a chord bearing of South 04°08'00" West, and a chord distance of 6.74 feet; thence along the arc of said curve a distance of 6.75 feet; thence North 89°43'54" West a distance of 50.00 feet; thence North 00°16'06" East a distance of 12.68 feet; thence North 44°43'54" West a distance of 35.36 feet; thence North 89°43'54" West a distance of 200.00 feet; thence South 45°18'06" West a distance of 35.36 feet; thence South 00°16'06" West a distance of 18.00 feet; thence North 89°43'54" West a distance of 50.00 feet; thence North 00°16'06" East a distance of 20.80 feet; thence North 89°43'54" West a distance of 124.97 feet; thence North 00°16'06" East a distance of 925.45 feet to the Point of Beginning, said tract containing 478,846 square feet or 10.9328 acres more or less.

APPROVED

BY THE OKC PLANNING COMMISSION ON  
May 11, 2017, SUBJECT TO ALL  
OF THE SUMMARY OF TECHNICAL EVALUATIONS  
IN THE ATTACHED REPORT DATED

All JES approved.  
Varian to JE #3 approved  
Add TE to apply for traffic commission  
to add stop sign @ 162nd St

Center Line Curve Table				
#	Length	Radius	Delta	Chord Direction
LC1	107.58'	100.00'	61°38'25"	N31°05'31"E
LC2	107.59'	100.00'	61°38'37"	N31°05'24"E

Lot Curve Table				
#	Length	Radius	Delta	Chord Direction
LC1	27.74'	50.00'	31°47'18"	N74°22'27"E
LC2	134.02'	50.00'	153°34'36"	N44°43'54"W
LC3	27.74'	50.00'	31°47'18"	S16°09'45"W

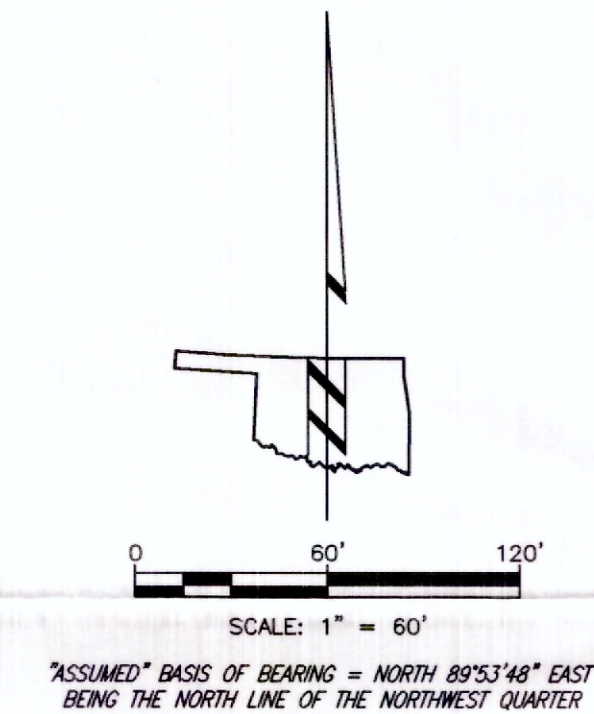
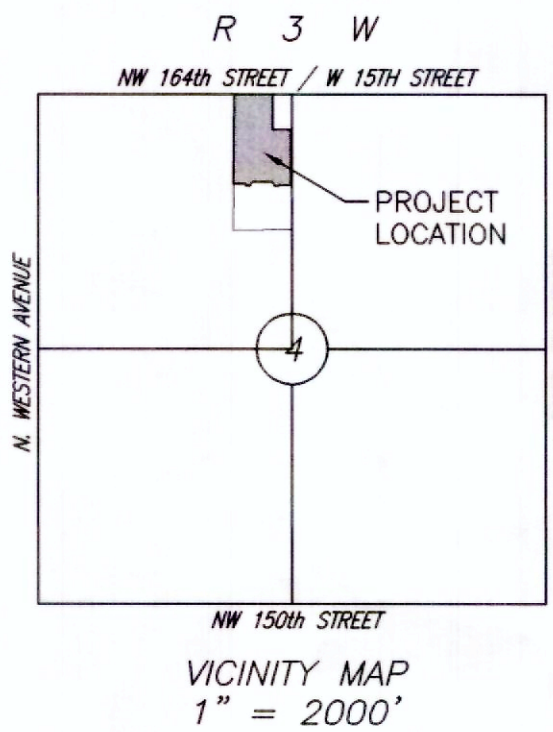
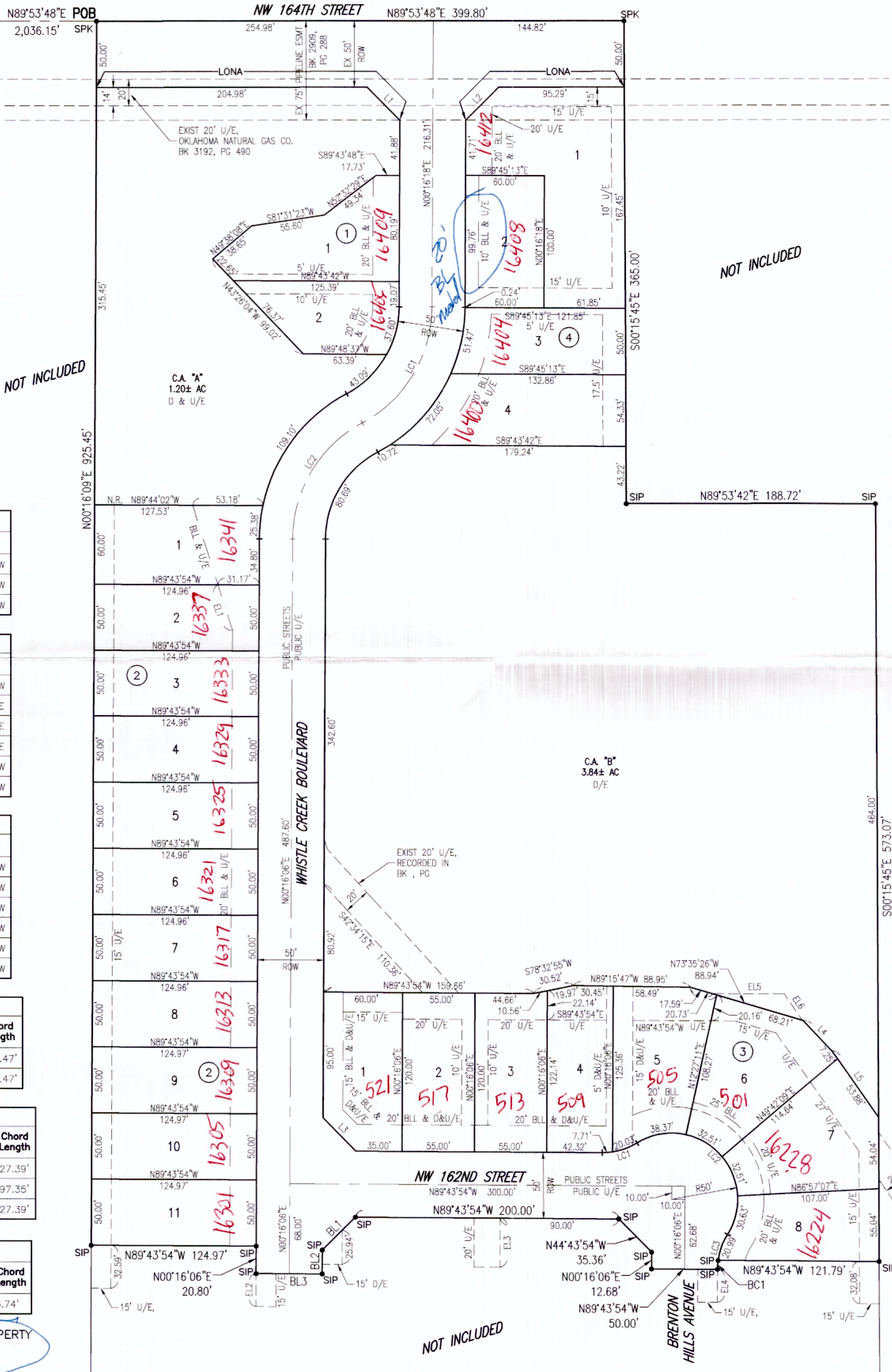
Boundary Curve Table				
#	Length	Radius	Delta	Chord Direction
BC1	6.75'	50.00'	007°43'49"	S04°08'00"W

\* ALL (6) EASEMENTS SOUTH OF THE PROPERTY LINE ARE MADE A PART OF THIS PLAT.

Boundary Line Table		
Line #	Length	Direction
BL1	35.36'	S45°16'06"W
BL2	18.00'	S00°16'06"W
BL3	50.00'	N89°43'54"W

Lot Line Table		
Line #	Length	Direction
BL1	35.36'	S45°16'06"W
L1	35.24'	S44°54'57"E
L2	35.47'	N45°05'03"E
L3	35.36'	S44°43'54"E
L4	31.62'	N43°41'18"W
L5	61.13'	N35°04'15"W

Easement Line Table		
Line #	Length	Direction
EL1	36.25'	N17°41'07"W
* EL2	25.00'	S00°16'06"W
* EL3	37.10'	S00°16'06"W
* EL4	25.00'	S00°16'06"W
EL5	54.23'	N89°53'55"W
EL6	24.05'	N34°18'06"W



LEGEND  
LONA = LIMITS OF NO ACCESS  
SPK = SET PK NAIL  
FIP = FOUND IRON PIN  
SIP = SET IRON PIN  
BL = BUILDING LIMIT LINE  
U/E = UTILITY EASEMENT  
D/E = DRAINAGE EASEMENT  
N.R. = NON-RADIAL  
(8) = BLOCK NUMBER  
D&U/E = DRAINAGE & UTILITY EASEMENT

CERTIFICATE OF CITY CLERK

I, \_\_\_\_\_, City Clerk of Oklahoma City, Oklahoma, hereby certify that I have examined the records of said City and find that all deferred payments or unmatured installments upon special assessments have been paid in full and that there are no special assessment procedures now pending against the land shown on the annexed plat of WHISTLE CREEK PHASE I, an addition to the City of Oklahoma City, Oklahoma.

Signed by the City Clerk on this \_\_\_\_\_ day of \_\_\_\_\_, 2017.

City Clerk

REGISTERED SURVEYOR'S CERTIFICATE

I, Bryan E. Coon, do hereby certify that I am by Profession a Land Surveyor, and the annexed plat of WHISTLE CREEK PHASE I, an addition to the City of Oklahoma City, Oklahoma, consisting of one (1) sheet, represents a survey made under my supervision on the \_\_\_\_\_ day of \_\_\_\_\_, 2017.

This plat of survey meets the Oklahoma Minimum Standards for the Practice of Land Surveyors as adopted by the Oklahoma State Board of Registration for Professional Engineers and Land Surveyors. Said Final Plat complies with the requirements of Title 11 (Eleven) Section 41-108 of the Oklahoma State Statutes.

Bryan E. Coon  
Professional Land Surveyor #1276

STATE OF OKLAHOMA ) ) SS  
COUNTY OF OKLAHOMA ) )

Before me, the undersigned, a Notary Public in and for said County and State, on this \_\_\_\_\_ day of \_\_\_\_\_, 2017, personally appeared Bryan E. Coon, to me known to be the identical person who executed the within and foregoing instrument and acknowledged to me that he executed the same as his free and voluntary act and deed for the uses and purposes therein set forth. Given under my hand and seal the day and year last above written.

My Commission Expires: \_\_\_\_\_  
Notary Public

COUNTY TREASURER'S CERTIFICATE

I, \_\_\_\_\_, do hereby certify that I am the duly elected, qualified and sworn County Treasurer of Oklahoma County, Oklahoma, that the tax records of said county show that all taxes for the year 2016 and prior years are paid on the annexed plat of WHISTLE CREEK PHASE I, an addition to the City of Oklahoma City, Oklahoma, and that the required statutory security has been deposited in the offices of the County Treasurer guaranteeing payment for the current year's taxes. In witness whereof said County Treasurer has caused this instrument to be executed this \_\_\_\_\_ day of \_\_\_\_\_, 2017.

County Treasurer

CERTIFICATE OF PLANNING COMMISSION

I, \_\_\_\_\_, Chairman of the Planning Commission of the City of Oklahoma City, Oklahoma, hereby certify that the said Planning Commission duly approved the final plat of WHISTLE CREEK PHASE I, an addition to the City of Oklahoma City, Oklahoma at a meeting on the \_\_\_\_\_ day of \_\_\_\_\_, 2017.

Chairman

ACCEPTANCE OF DEDICATION BY CITY COUNCIL

BE IT HEREBY RESOLVED by the Council of the City of Oklahoma City that the annexed plat of WHISTLE CREEK PHASE I, an addition to the City of Oklahoma City, Oklahoma County, Oklahoma, is hereby approved and the dedications shown hereon are hereby approved and accepted.

ADOPTED by the Council of the City of Oklahoma City this \_\_\_\_\_ day of \_\_\_\_\_, 2017.

APPROVED by the Mayor of the City of Oklahoma City this \_\_\_\_\_ day of \_\_\_\_\_, 2017.

ATTEST

City Clerk \_\_\_\_\_ Mayor \_\_\_\_\_

PLAT NOTES

- Maintenance of common areas, islands, medians and/or private drainage easements is the responsibility of the property owners and/or property owners association within this plat. No structures, storage of material, grading, fill or other obstructions, including fences, either temporary or permanent, shall be placed within drainage related common areas or drainage easements.
- An ADA compliant sidewalk shall be constructed by the builder on each lot where it abuts a local and/or a collector street. The sidewalk is required at the building permit stage and must be installed prior to the issuance of a certificate of occupancy from the City of Oklahoma City.
- Set 3/8 in. iron pin survey monuments at lot and block corners.
- All lots will require the planting of two 1-1/2" caliper trees, or one 3" caliper tree, in the front yard of all lots where the garage extends beyond the front wall of a residence, towards the street right-of-way.

PLAT BY: HUITT-ZOLLARS, INC.  
CA 1489 EXP. 06-30-2017  
2832 W. WILSHIRE BLVD.  
OKLAHOMA CITY, OKLAHOMA  
405-842-0363  
R306044.01  
SHEET 1 OF 1

WHISTLE CREEK PHASE I

OWNER/DEVELOPER  
WMS HOLDINGS, L.L.C.  
317 LILAC DRIVE  
EDMOND, OKLAHOMA 73034  
(405) 509-6795

Seal closes within tolerance  
MJC 3-8-2017

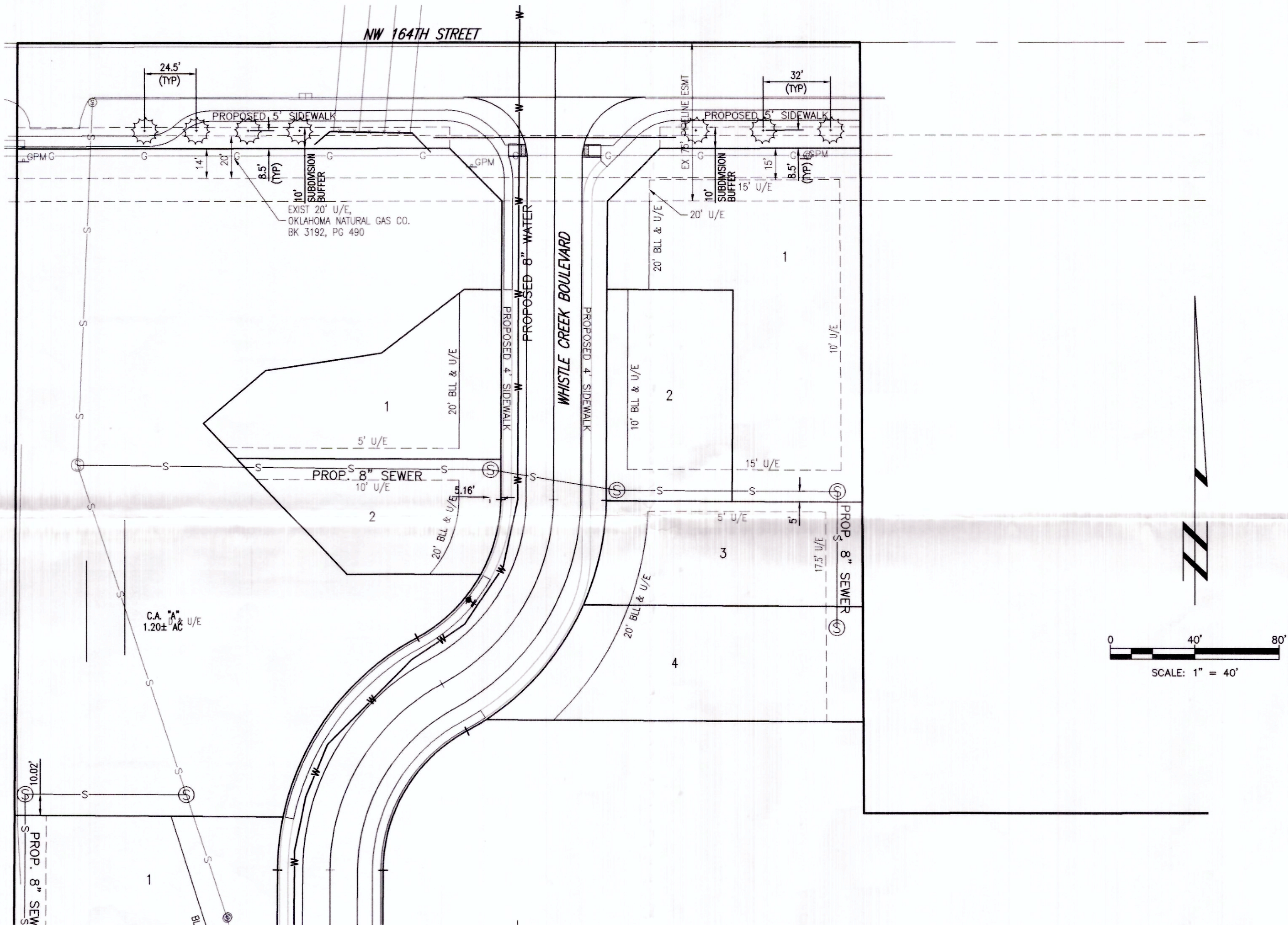
RECEIVED  
MAR 8 2017  
PUBLIC WORKS  
ENGINEERING



LEGEND			
	ELECTRIC BOX		SPRINKLER CONTROL VALVE
	GROUND LAMP		STORM SEWER MANHOLE
	SIGN		TELEPHONE RISER
	DRAINAGE INLET		TELEPHONE MANHOLE
	FIRE HYDRANT		WATER METER
	GAS METER		WATER VALVE
	GAS VALVE		GAS LINE
	GUY WIRE		WATER LINE
	LIGHT POLE		SANITARY SEWER LINE
	POWER POLE		STORM SEWER LINE
	SANITARY SEWER CLEANOUT		TELEPHONE LINE
	SANITARY SEWER MANHOLE		OVERHEAD POWERLINE
	GUARD POST		FLAG POLE
	ELECTRIC METER		SIGNAL POLE
	ELECTRIC TRANSFORMER		TRAFFIC CONTROL BOX
	TELEPHONE LINE MARKER		GAS PIPELINE MARKER
	S.I.P.=SET IRON PIN		F.I.P.=FOUND IRON PIN

OKC LANDSCAPE REQUIREMENTS

ARTERIAL STREET FRONTAGE: 400 LF  
TOTAL REQ'D POINTS: 400/20 x 4 = 80

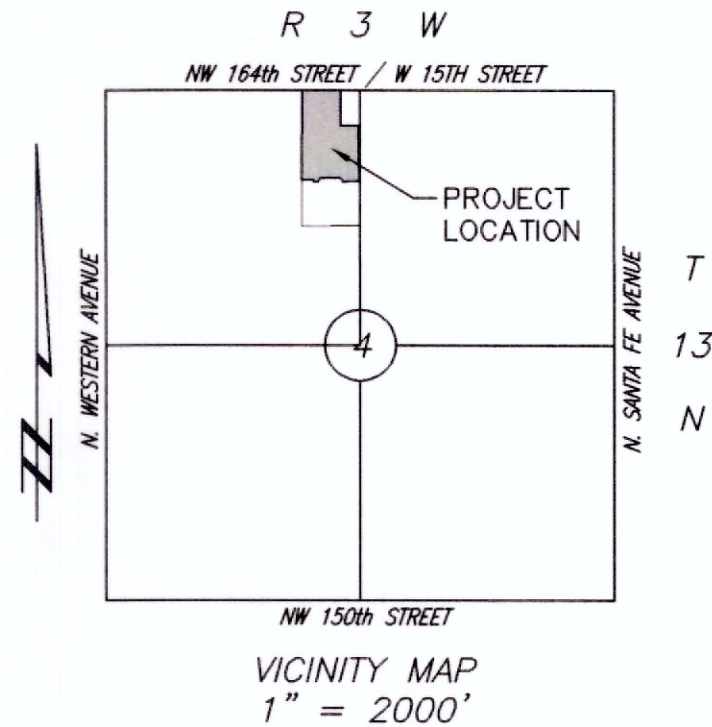


**APPROVED**  
BY: *Jim* DATE: *5-11-17*  
CERTIFICATES OF OCCUPANCY  
WILL NOT BE ISSUED UNTIL LANDSCAPING  
AND OTHER SECTION LINE ROAD  
IMPROVEMENTS (WHERE APPLICABLE)  
ARE INSTALLED, INSPECTED AND APPROVED



**UTILITY STATEMENT:**  
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

PLANT LEGEND							
SYMBOL	POINT VALUE	TYPE	EV	QTY.	PNTS. FOR EACH	MIN. SIZE	NAME
	Medium Tree		EV	7	12	7-8' ht., 2" cal.	Nellie Stevens Holly, Ilex x 'Nellie R. Stevens' matched, full
Points provided = 84				Sod all disturbed areas with U-3 Bermuda. Refer to Sediment/Erosion Control Notes.			



LANDSCAPE + IRRIGATION NOTES

- GENERAL
- Contractor shall obtain all permits and pay all required fees to any agency having jurisdiction over the work.
  - Contractor is responsible for locating and avoiding all site utilities.
  - Adhere to American Standard for Nursery Stock.
  - Remove from site all debris resulting from work. Job site shall be kept in an orderly manner on a daily basis.
- LANDSCAPE
- Fine grading will be provided by landscape contractor.
  - Remove any stones and concrete over 1 1/2" size, plants, and rubbish from shrub beds, including roots and materials found while tilling and planting. Prepare beds with compost tilled to 8" minimum depth. Quantity of compost shall meet manufacturer's recommendations. Compost shall be Back to Earth or name brand of same quality.
  - Recess soil levels of planting beds 3" where adjacent to paved areas (to allow for mulch.)
  - All beds shall be bordered by noted edging.
  - All plant materials shall be full, healthy specimens with appearance typical to their listed cultivar (or variety or species if no cultivar listed.) Trees and shrubs shall be matched in size and form.
  - Tops of root balls shall be at grade after setting. Set potted plants at same grade as grown in nursery.
  - Trees shall be staked according to current, local practices, so that they are allowed growing room and some movement without topping. Refer to O.S.U. Extension recommendations if there is any question.
  - Place trees in straight rows where shown as such on plan, with trunks in a straight vertical position.
  - Apply pre-emergent herbicide (Treflan or equal) to bed areas after planting and before mulching.
  - Before working beds, all beds shall be amended with topsoil, tilled to a depth of 8" prior to installations.
  - Fertilize based upon soil test results.
  - Shrub and groundcover beds shall be mulched with a minimum of 2" deep shredded cypress at completion of installation.
  - Prune any dead or damaged wood and branches from all plants.
  - Sod all areas shown with U-3 Bermuda. Any weedy, damaged, or dying sod shall be rejected. All edges shall be neatly trimmed, and rows shall meet evenly. Refer also to Sediment/Erosion Control Notes for sod requirements.
  - Contractor shall water all plant materials as needed during project installation.
- IRRIGATION
- Automatic irrigation shall be installed. Irrigation plans shall be submitted by irrigation contractor for approval by the City of Oklahoma City.

NUMBER	CHANGE ORDER	DATE	LEVEL	REVISION	DATE	LANDSCAPE PLAN	WHISTLE CREEK & N WESTERN AVENUE & NW 164TH STREET	APPROVED BY: AKA	DRAWN BY: SOC	CHECKED BY: AKA	JOB NUMBER: R308044.01	SCALE: AS NOTED	DATE: 2/23/17	SHEET L101
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