



The City of
OKLAHOMA CITY

Staff Only:

Date Stamp

Zoning: HP or HL

District: _____

HPCA-20-00143

Received by: _____

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

NOTE: any relevant permits must be applied for and paid for separately in the Development Services Dept.

NOTE: Contact Historic Preservation Staff for final design inspection when work is complete.

Please select: ☒ New Project ☐ Revision ☐ Extension ☐ Violation Notice Issued

Location of Proposed Work (Address): 701 NW 16th Street, Oklahoma City, OK, 73103

Legal Description of Property (lot, block, addition): University Addition Block 71 Lots 14 and 15

Year built: 1905 Exterior wall material: Brick Floor area: 1934 sq.ft.

Itemized Work Items (List EACH ITEM proposed. Work not listed here will NOT be reviewed):

☒ New Construction ☐ Addition ☒ Fence ☒ Demolition (specify structure) Garage

☒ Paving (specify) Driveway, steps and walks ☐ Renovation (specify) _____

☒ Work not specified above 1. Remove garage; 2. Remove driveway; 3. Remove concrete and brick walk ways; 4. Remove fence; 5. Remove retaining walls and brick stairs; 6. Construct garage; 7. Construct retaining wall; 8. Construct driveways and entry stoops; and 9. Install fence.

Owner's Authorization

I hereby certify that all above statements and statements contained in all attached and transmitted exhibits are true to the best of my knowledge and belief. In the event this proposal is approved and begun, I agree to complete the changes in accordance with approved plans in a good and workmanlike manner. I authorize the City of Oklahoma City to enter the property for the purpose of observing and photographing the project for presentations and to ensure consistency between the approved proposal and the completed project.

☒ (If applicable): I authorize my representative to speak for me in matters regarding this application. Any agreement made by my representative regarding this proposal will be binding upon me.

Owner's Signature

Name (printed) Ms. Lindsey and Mr. Michael Deatsch

Address 701 NW 16th Street

City, State, Zip Oklahoma City, OK, 73103

I prefer to be: ☐ Mailed or ☒ Emailed.

Representative Signature [Signature]

Name (printed) Mr. Kenneth Aunchman AIA

Address 616 NW 21st Street

City, State, Zip Oklahoma City, OK, 73103

I prefer to be: ☐ Mailed or ☒ Emailed.

Contact: ☐ Owner ☒ Representative

Date 8/28/2020

Organization N/A

Phone (630) 781-8891

Email l30tMikeD@hotmail.com

Date 8/28/2020

Organization Preservation and Design Studio, PLLC

Phone (405) 601-6814

Email ka@panddstudio.com

Is Federal money, a federal license or a federal permit included/required for any part of this project? Yes ☒ No

If yes, what Federal agency? N/A

Is the property owner pursuing the Federal Tax Credits for Rehabilitation of income producing historic properties? Yes ☒ No For questions concerning the federal tax credit program, telephone the State Historic Preservation Office at (405) 522-4479).

NOTE: Specific deadlines apply to submission of additional documentation or requests for appeals. Should your project be continued or denied, you are responsible for compliance with those deadlines.

August 28, 2020

Application for Certificate of Appropriateness, Continuation Sheet (Page 1 of 4)

701 NW 16th Street, Oklahoma City, OK 73103

Owners Ms. Lindsey and Mr. Michael Deatsch, (Prepared by Preservation and Design Studio, PLLC)

Itemized Work

1. Demolish garage

The existing two-story garage was built before 1922 and received an addition between 1922 and 1949 Sanborn maps indicate that the building was one story. The Oklahoma County Assessor's data indicates the garage floor as a basement level, which may explain the description as a one-story structure.

The existing building measures 30'-3" x 22'-6" and has a 680 square feet footprint. The building has two sections – an eastern, two story section with the garage at the lower level (described as a basement by the County Assessor) and a smaller, one-story, western section is a one story space, with an elevated floor (approximately 3'-10" above garage floor). The western section is accessed from the back yard and includes a staircase to the second story of the eastern section (finished floor approximately 7' 3" above the garage floor).

Removal will include all portions of the building structure including, but not limited to, roofs, walls, floors, brick footings, concrete slabs, concrete footings, and concrete stem walls.

- The garage stem walls are cracked in multiple places including the southwest and northwest corners. Another crack in the stem wall is located near the midpoint of the south stem wall. Over 50% surface of the north stem wall has spalled off.
- The floor of the garage is cracked.
- The head height of the garage is only 6'-7" to the bottom of the second-story floor joists and the depth (east to west) of the garage is 16'-5 3/8". The owners mid-sized cars measure 16'-4" and 16'-2" long. The side-hinged, garage doors have been removed to allow parking cars in the garage.
- The north foundation of the addition appears to be unmortared brick placed in a soldier course.
- The foundation of the west addition wall is parged brick. The foundation is missing at and does not extend to the northwest and southwest corners of the building
- The southern wall of the eastern bay has kicked out at the foundation (approximately 5 degrees out of plumb).
- The shed roof of the eastern section has sagged in the center where it meets the two-story garage's hipped roof.

(continued)

August 28, 2020

Application for Certificate of Appropriateness, Continuation Sheet (Page 2 of 4)

701 NW 16th Street, Oklahoma City, OK 73103

Owners Ms. Lindsey and Mr. Michael Deatsch, (Prepared by Preservation and Design Studio, PLLC)

2. Remove driveway

The existing driveway does extend the full width of the garage opening. The southern 3'-6" of the 18'-6" long driveway is not paved. The paved portion of the driveway is cracked and uneven. The curb-cut is narrower than the garage door opening.

3. Remove concrete and brick walkways

Concrete and brick walkways will be removed in the back yard. Walkways in the back yard connect the back of the house to the west section of the garage, north alley gate, and brick stairs at the east property line near the driveway. Walkways are not consistent and change material and elevation in several places.

4. Remove fence

The existing fences along the east and north sides of the property will be removed. The east fence will be salvaged and stored for reuse. The north, wood stockade fence (at the alley) will be discarded. A section of wood stockade fence located about 31' south of the north property line and perpendicular to the west fence will also be removed and discarded.

5. Remove retaining wall and brick stairs

A concrete block retaining wall at the south edge of the driveway will be removed. The existing retaining wall averages approximately 2'-6" tall and has a brick stair. A brick walkway at the top of the stair does not have a guard rail and does not meet current building code.

6. Construct garage

A new two-story garage is proposed. The new garage will be 26'-6" x 26'-6" less a 5'-10" x 4'-4" cut out at the northwest corner (677 square feet). The existing garage and addition has a total footprint of 680 square feet. The height of the new garage will be 23'-7" to the peak and 17'-2" to the soffit of the eaves (measured at the east driveway). The existing garage is 19'-10" tall to the peak with 13'-6" eaves. The new garage will be constructed in approximately the same location as the existing garage.

Important features of the new garage are:

- Concrete footings, floor slab, and foundation walls. A 12" tall (above grade) concrete curb to keep the wood frame off the ground. Due to sloping topography, the garage stem walls will be 4'-0" tall from the floor of the garage and 2'-4" at the east side;
- 2x6 wall framing with exterior sheathing and Smartside lap siding. Product sheet is attached;

(continued)

August 28, 2020

Application for Certificate of Appropriateness, Continuation Sheet (Page 3 of 4)

701 NW 16th Street, Oklahoma City, OK 73103

Owners Ms. Lindsey and Mr. Michael Deatsch, (Prepared by Preservation and Design Studio, PLLC)

- Wood-framed, hip roof with architectural grade shingles of a color to match the house. Eaves will be 1'-6" wide and have a closed, bead board soffit to match the soffits on the house;
- Aluminum clad, wood windows. The windows are scaled for the size of the garage. Product sheets are attached;
- Two (2) painted wood, overhead, paneled garage doors. Product sheet is attached;
- Painted wood pedestrian doors on the west and south sides (backyard). Back yard entry door (south side) will have a glass half light with a panel below. Second-story, entry door at the west side of the garage will be a paneled slab door with no light. Product sheets are attached;
- Exterior wall mounted light fixtures including three (3) on the east (driveway) side of the garage, and one (1) each at the west and south pedestrian doors. See attached product sheets;
- Painted 1 x 4 wood trim at the wall corners, windows and doors;
- Painted wood 1 x 8 band course and 1 x 8 wood frieze boards; and
- Factory painted aluminum gutters and downspouts.

7. Construct retaining wall

A new concrete retaining wall is proposed for the east side of the back yard. The level portion of the existing yard is approximately 3'-6" above the sidewalk. The concrete retaining wall will be constructed 3'-5" west of the sidewalk (half-way between the fence and the sidewalk). The maximum visible part of the retaining wall will be 2'-0" tall. The space between the retaining wall and the sidewalk will be banked to match the slope of the existing bank. The retaining wall will turn west to return to the northeast corner of the house. The wall will also turn west at the driveway and replace the existing concrete block and brick retaining wall. Concrete stairs will be installed in the east retaining. See proposed site plans and wall sections.

8. Construct driveways and entry stoops

New driveways will be constructed at the east facing façade and west side of the garage. The east driveway and curb cut will extend the full width of the garage.

(continued)

August 28, 2020

Application for Certificate of Appropriateness, Continuation Sheet (Page 4 of 4)

701 NW 16th Street, Oklahoma City, OK 73103

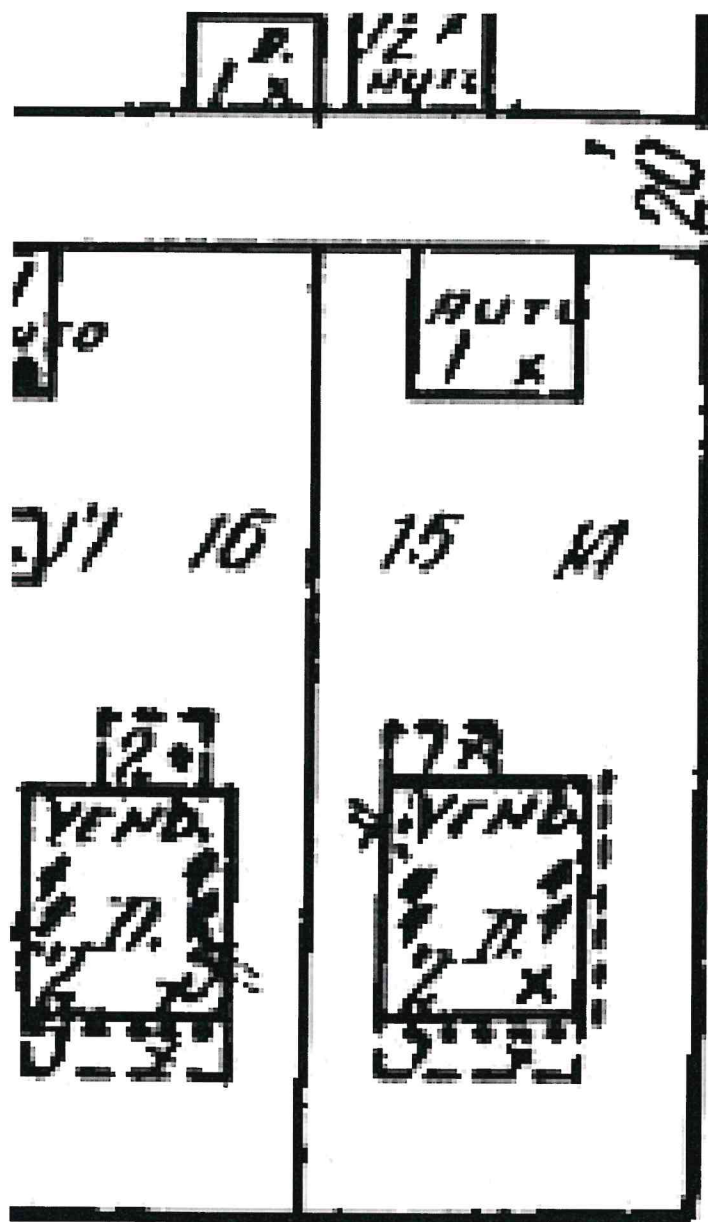
Owners Ms. Lindsey and Mr. Michael Deatsch, (Prepared by Preservation and Design Studio, PLLC)

9. Install fence

Salvaged fence will be reinstalled on the new retaining walls. New wood fence sections will be added to match and fill in the gaps between the existing pickets. Damaged fence pieces will be replaced in kind.

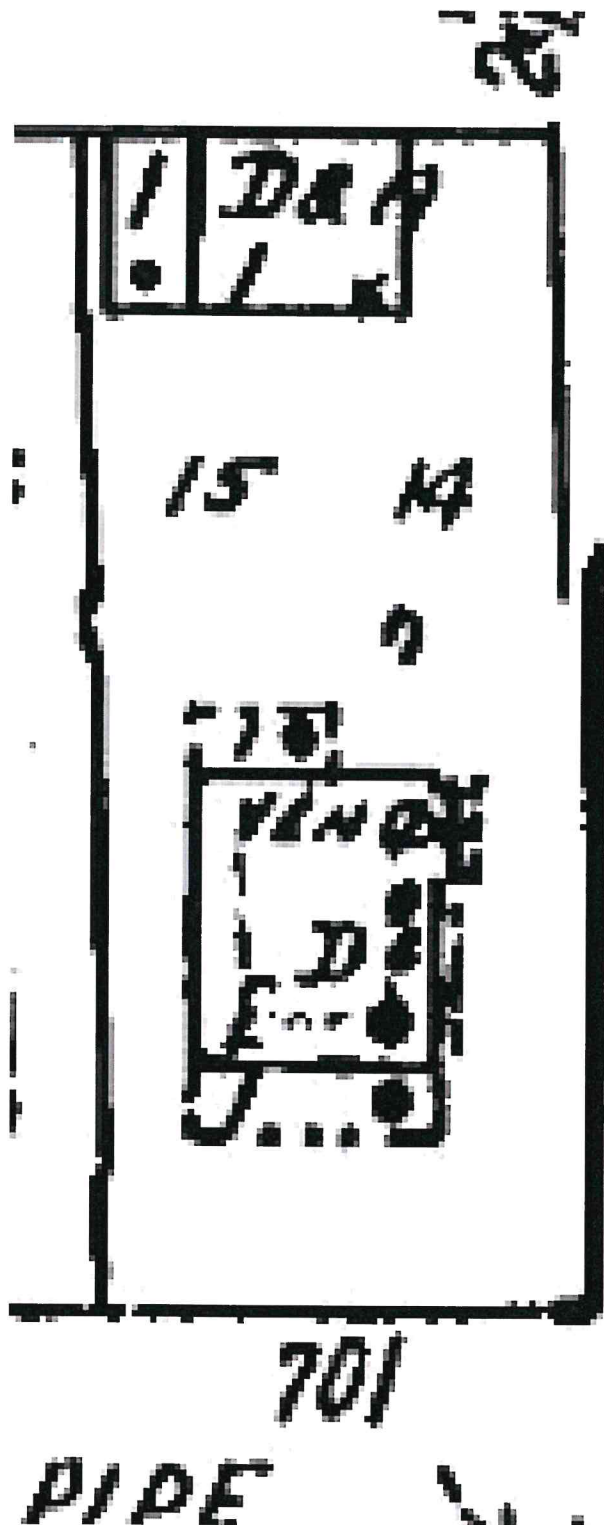
New wood fence and a gate will be installed from the southwest corner of the new garage to the west fence. The new fence will match the east fence. A photograph of the fence is attached.

(end)

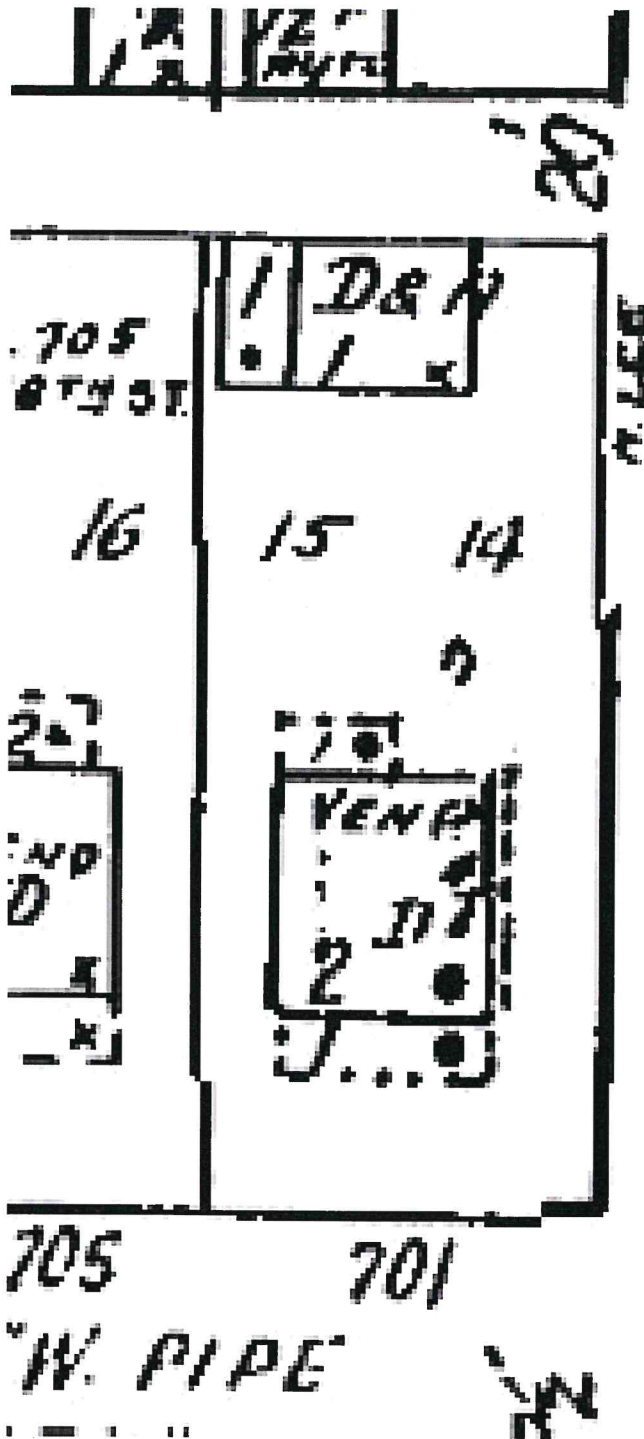


705 701
6" W. PIPE 705

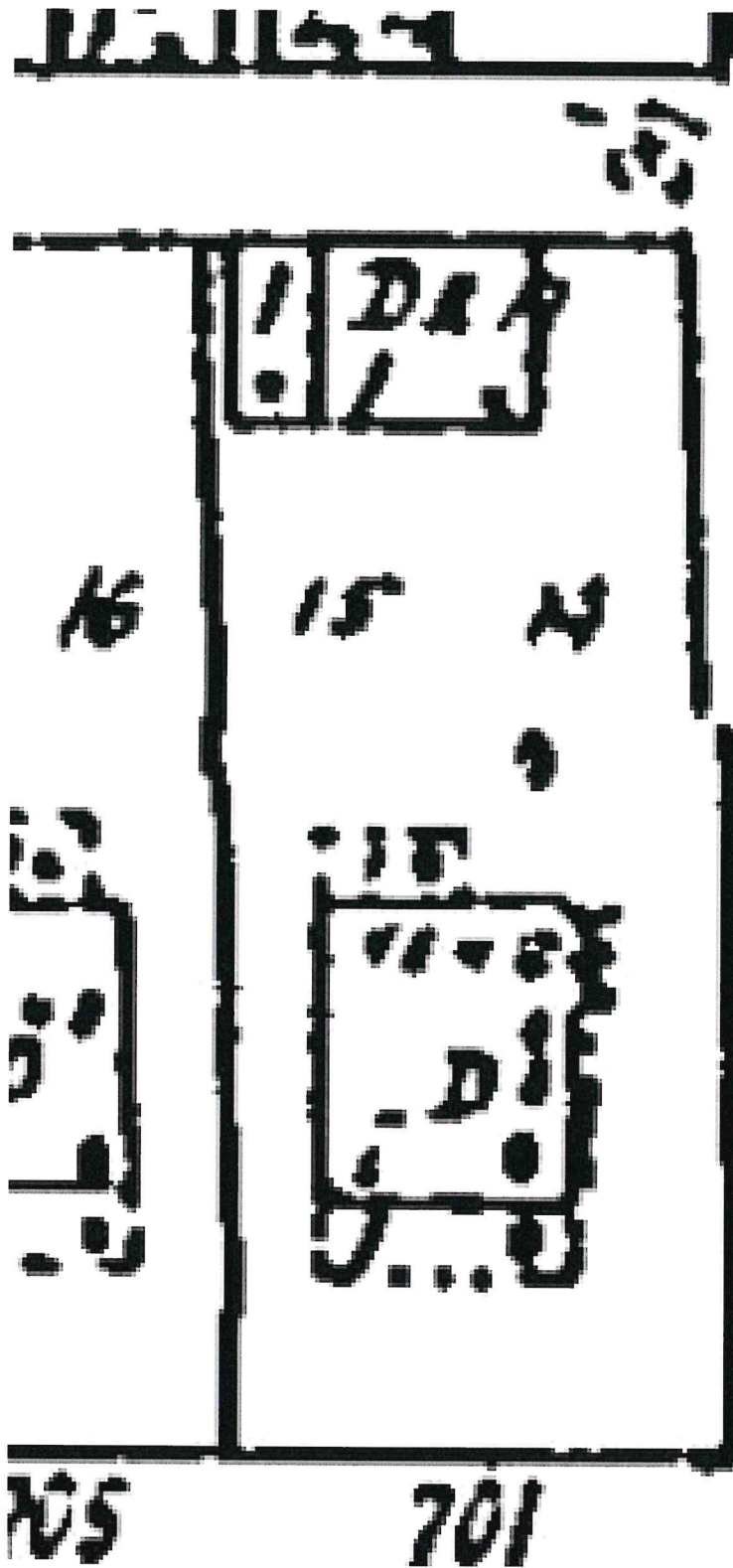
701 nw 16 1922 vol 2 pg 221



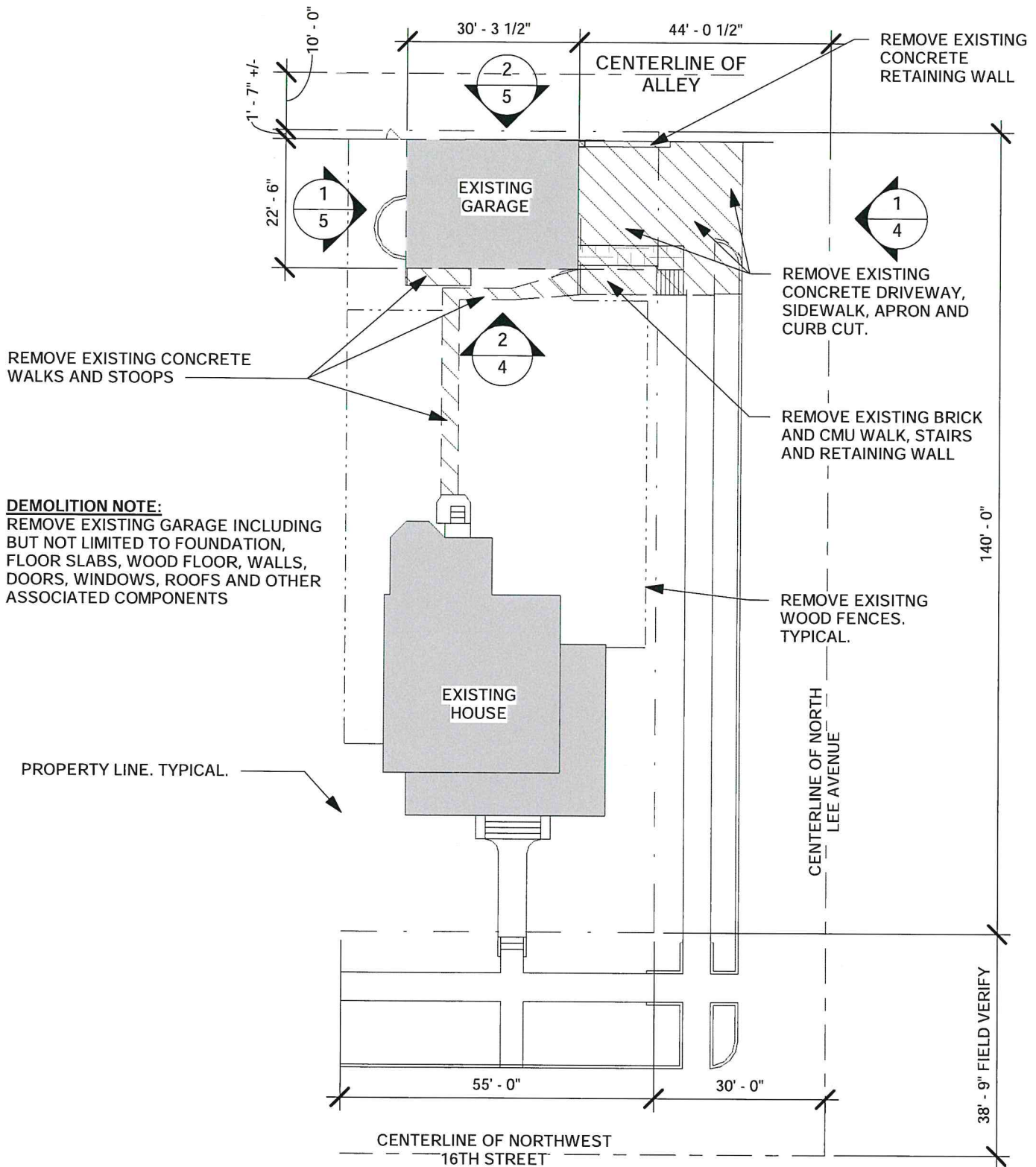
1949 vol 2 pg 221



1950 vol 2 pg 221



1955 vol 2 pg 221



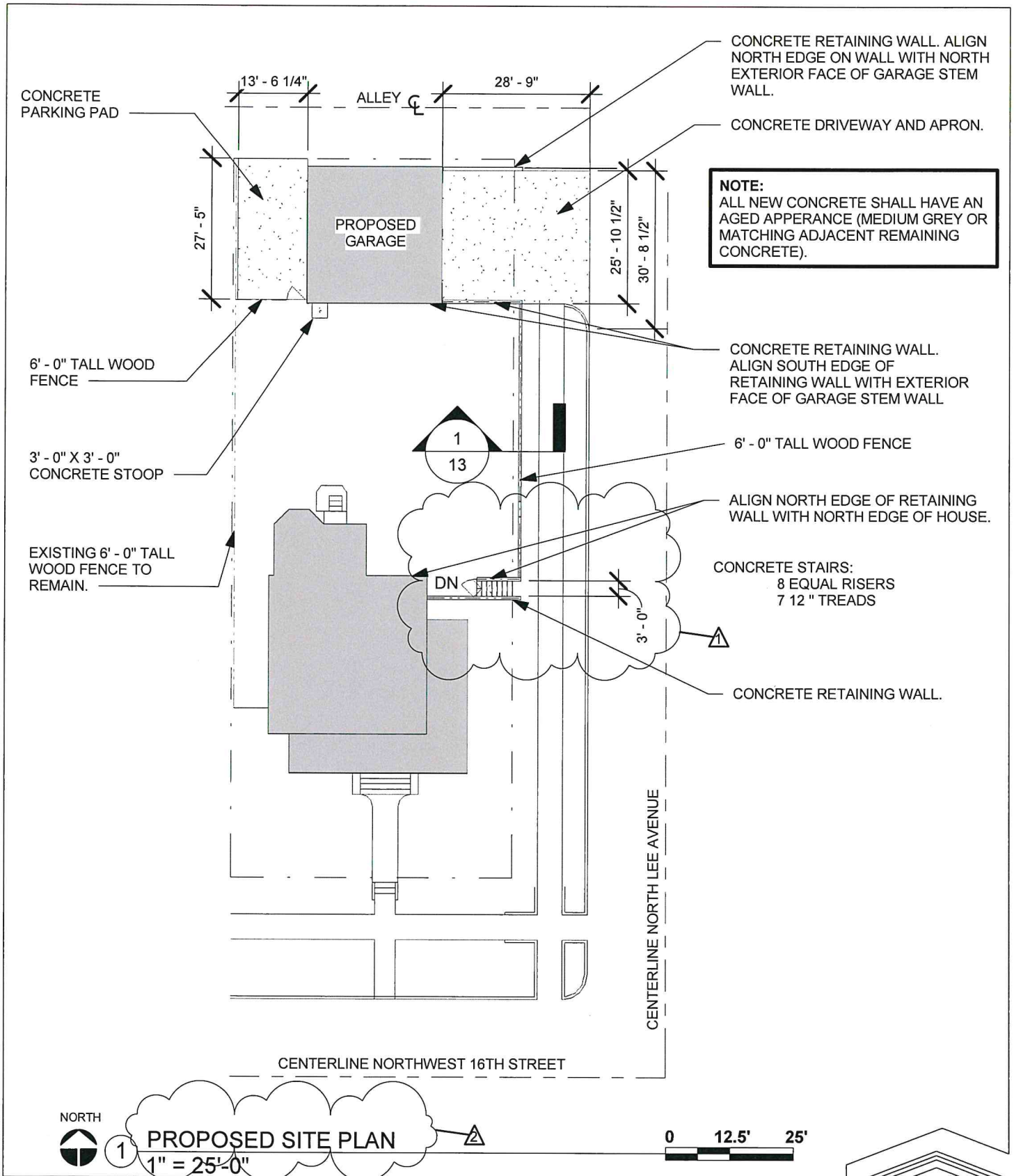
NORTH



1 EXISTING / DEMOLITION SITE PLAN 1" = 25'-0"

0 12.5' 25'

	<p>Preservation and Design Studio 616 Northwest 21st Street, Oklahoma City, OK 73102 (405) 601-6814 www.panddstudio.com</p>	<p>PROJECT: DEATSCH GARAGE 701 NORTHWEST 16TH STREET OKLAHOMA CITY, OK 73103</p>	
<p>DATE: SEPT. 1, 2020</p>	<p>DRAWN BY: KA</p>	<p>JOB NO: 20-021</p>	
<p>REVISION DATE:</p>	<p>CHECKED BY: CM</p>	<p>SHEET NO: 2</p>	
<p>COPYRIGHT © 2020</p>			<p>TITLE: EXISTING / DEMOLITION SITE PLAN</p>



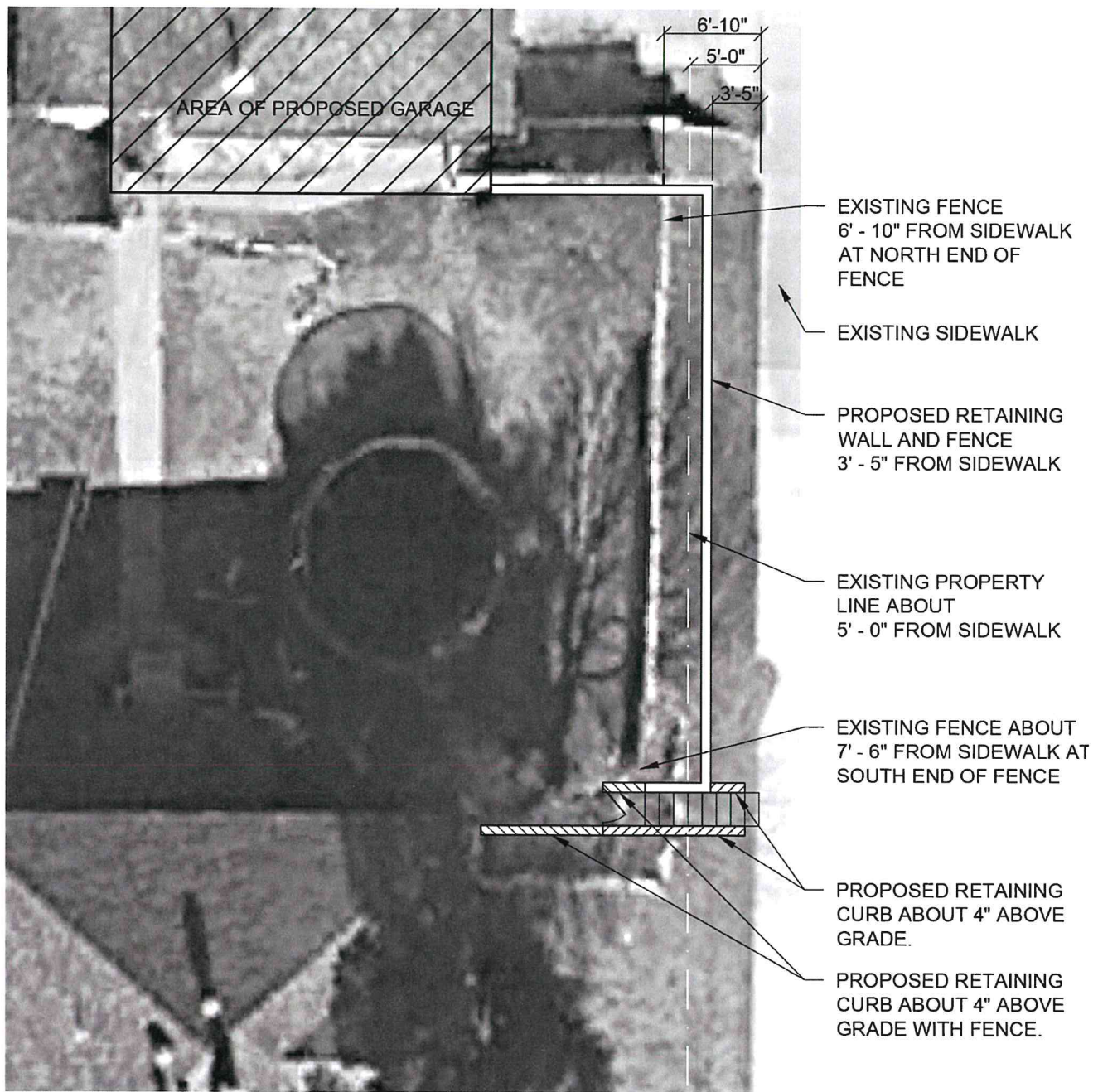
Preservation and Design Studio
616 Northwest 21st Street, Oklahoma City, OK 73102
(405) 601-6814 www.panddstudio.com

PROJECT: DEATSCH GARAGE
701 NORTHWEST 16TH STREET
OKLAHOMA CITY, OK 73103

DATE: SEPT. 1, 2020	DRAWN BY: KA	JOB NO: 20-021
REVISION DATE: SEPT. 8, 2020	CHECKED BY: CM	SHEET NO: 7
COPYRIGHT © 2020		

TITLE: PROPOSED SITE PLAN

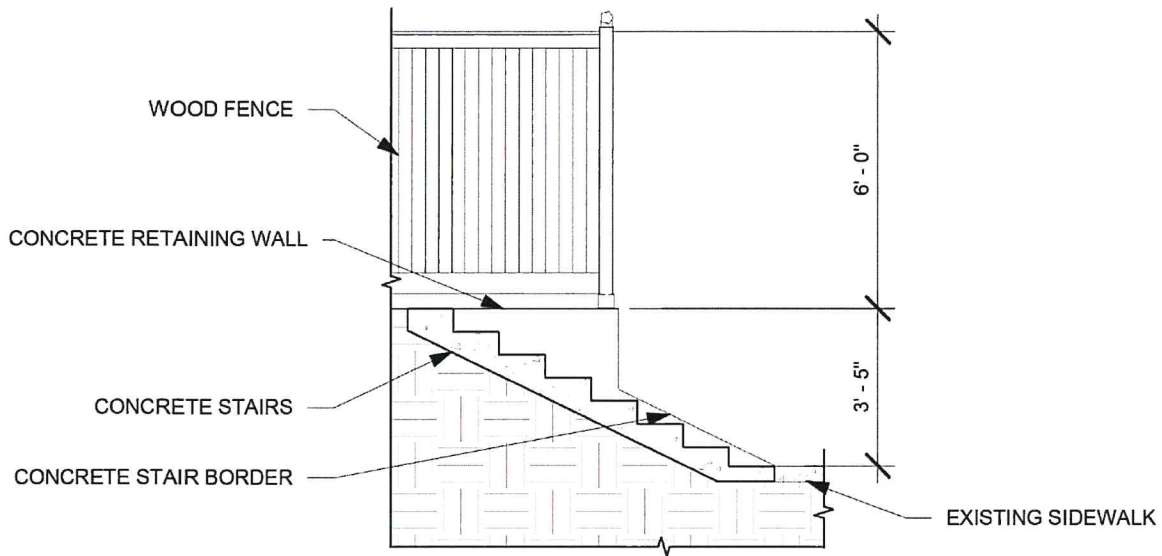




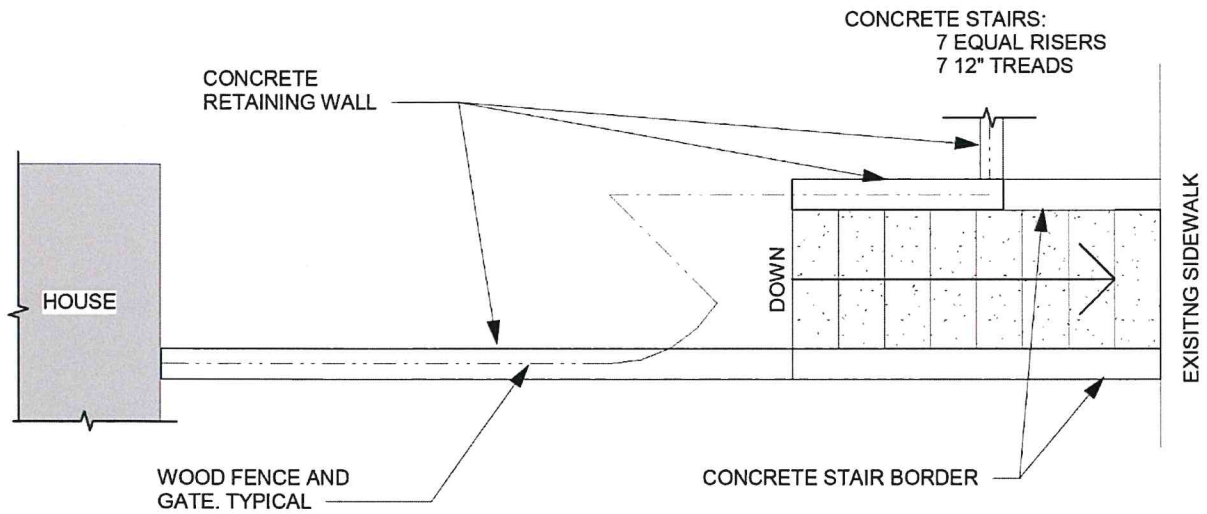
701 Northwest 16th Street
Oklahoma City, OK 73103



Existing/Proposed Overlay
Page 1 of 1 (12/3/2020)



Proposed stair section



Proposed stair and retaining wall

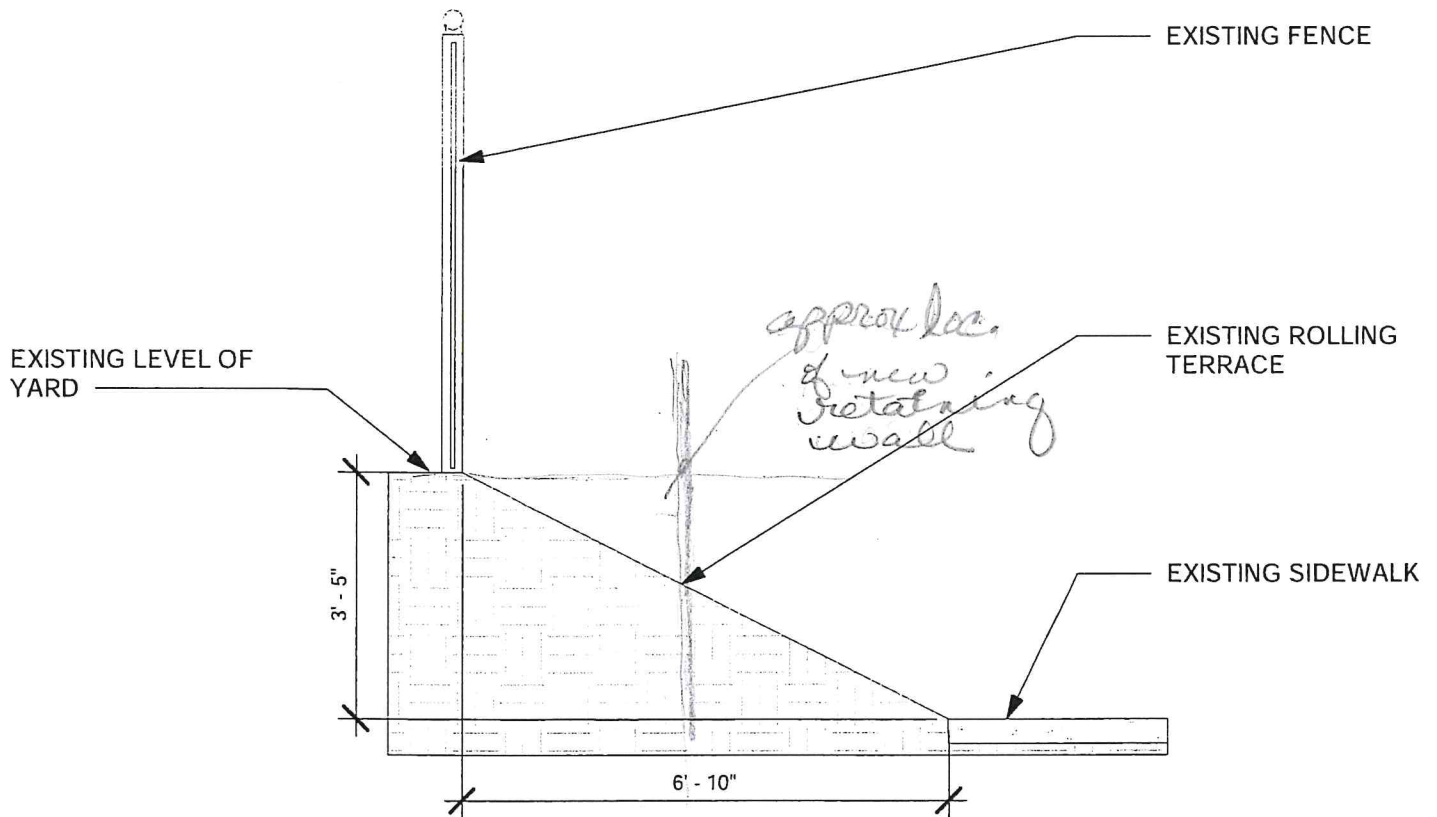
EXISTING WOOD
DOOR WITH
WINDOW
FRAMED
ROOF
18'-0"



3' - 5"

2 EXISTING ROLLING TERRACE ELEVATION

NTS



1 EXISTING ROLLING TERRACE SECTION

$3/8" = 1'-0"$



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(405) 601-6814 www.panddstudio.com

PROJECT: DEATSCH GARAGE
701 NORTHWEST 16TH STREET
OKLAHOMA CITY, OK 73103

DATE: SEPT. 1, 2020	DRAWN BY: KA	JOB NO: 20-021
REVISION DATE:	CHECKED BY: CM	SHEET NO: 6

TITLE: EXISTING ROLLING TERRACE SECTION





Proposed Lee Avenue Elevation

Photo stitch line

Yetter, Angela D

From: Kenneth Aunchman <ka@panddstudio.com>
Sent: Thursday, December 3, 2020 1:48 PM
To: Yetter, Angela D
Cc: Catherine Montgomery; Alexander Montgomery, III; Friddle, Kathryn M
Subject: RE: Additional Information for 701 NW 16th St, HPCA 20-00143
Attachments: 2020 12 03 701 NW 16th St Existing Proposed Overlay KA Final.pdf

WARNING: The sender of this email could not be validated and may not match the person in the "From" field..

Angela,

Here is the requested document. I am also providing a synopsis of our discussion this morning.

On 2020.12.03 09:11, Yetter, Angela D wrote:

Thank you, Catherine. Please use the "Close Up Aerial" to illustrate the proposed location of the retaining wall and steps. That appears to be the document that best illustrates where the current fence line, retaining wall and steps are located for comparison. Please also include dimensions that indicate distance to from proposed retaining wall/fence to the sidewalk, the property line, and the from current fence location. Please provide by Monday morning, 9:00 a.m., December 7, 2020 (or sooner if you have the time).

[See attached Existing/Proposed Overlay](#)

I am not sure I know what a yard wall is as indicated on Attachment B for 4. When I look at the property to which that is indicated on google aerials I see some landscape edging stacked near the house, but that's all other than a fence. I do see the retaining wall at 1 that is indicated as a yard wall further south at another property.

[Yard walls are walls that appear to be at approximately the same level as the sidewalk and do not appear to be supporting a yard at a different level. #4 is on south side of 16th Street and diagonally across the intersection from our site at 701 NW 16th Street.](#)

I am also trying to figure out if the placement of the red, blue and yellow lines on Attachment B are actually indicative of the placement of the retaining walls, and it does not appear that's the case. I cant tell if the proposed location is indicated as continuing a line formed by the retaining wall at the adjacent property to the north. Other than that there are other retaining walls in the area, was I supposed to be getting something more specific from the photos. I may be missing the point. Sorry.

[Red and blue lines show existing walls and their approximate layout that are visible from the street. The yellow box annotates our sites location.](#)

Thank you for the information of the new steps as well. Can you tell me if the slope indicated is the same slope as the steps at the garage location? Just want to ensure that I am not missing any of the points being made.

[The approximate slope will be maintained the entire length of the wall between the sidewalk and the proposed retaining wall as indicated in our Sheet 13 of the original submission.](#)

Thank you,

Be well!

Angela

From: Catherine Montgomery <cm@panddstudio.com>

Sent: Monday, November 23, 2020 1:57 PM

To: Friddle, Kathryn M <kathryn.friddle@okc.gov>

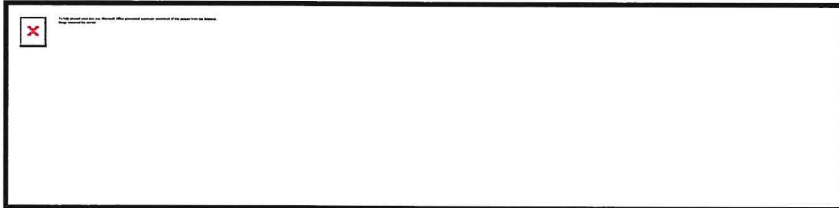
Cc: Yetter, Angela D <angela.yetter@okc.gov>; Ken Aunchman <ka@panddstudio.com>

Subject: Additional Information for 701 NW 16th St, HPCA 20-00143

Katie,

We have attached a file to this email which provides information and photos about the other retaining walls on Lee Avenue. We have also included a more detailed drawing of the length of the proposed wall on the east side yard line and the proposed steps to the backyard. Note the amount of erosion occurring along the current fenceline.

Please let us know if you have any questions or require more information. The next hearing for this item which was continued at the November meeting is January 2021.



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Ken
ka@panddstudio.com

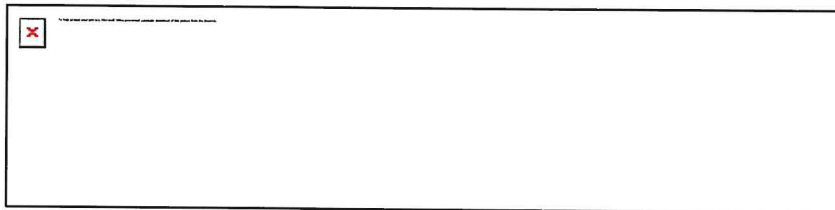
Yetter, Angela D

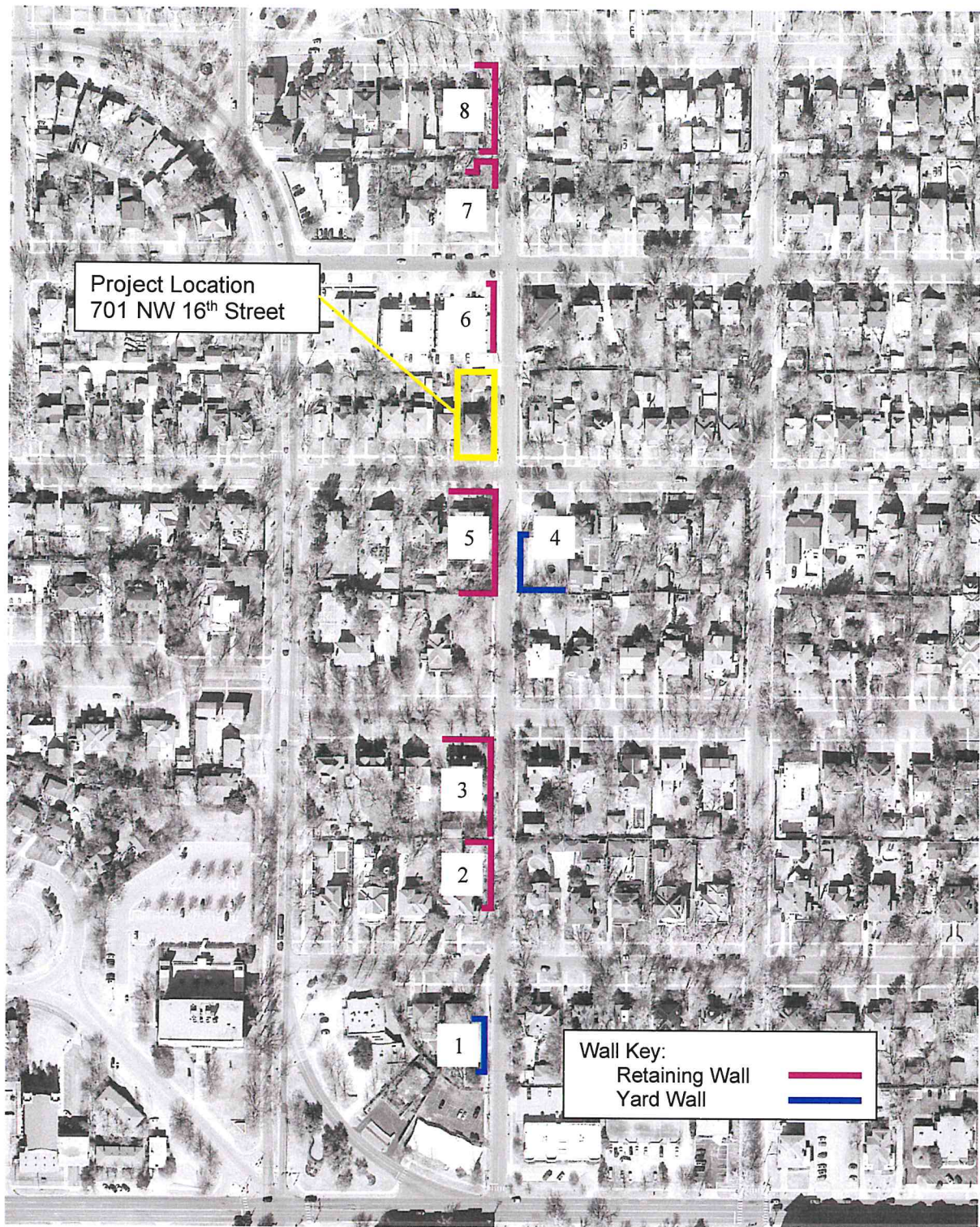
From: Catherine Montgomery <cm@panddstudio.com>
Sent: Monday, November 23, 2020 1:57 PM
To: Friddle, Kathryn M
Cc: Yetter, Angela D; Ken Aunchman
Subject: Additional Information for 701 NW 16th St, HPCA 20-00143
Attachments: 2020 11 20 701 NW 16th St Attachment B.pdf

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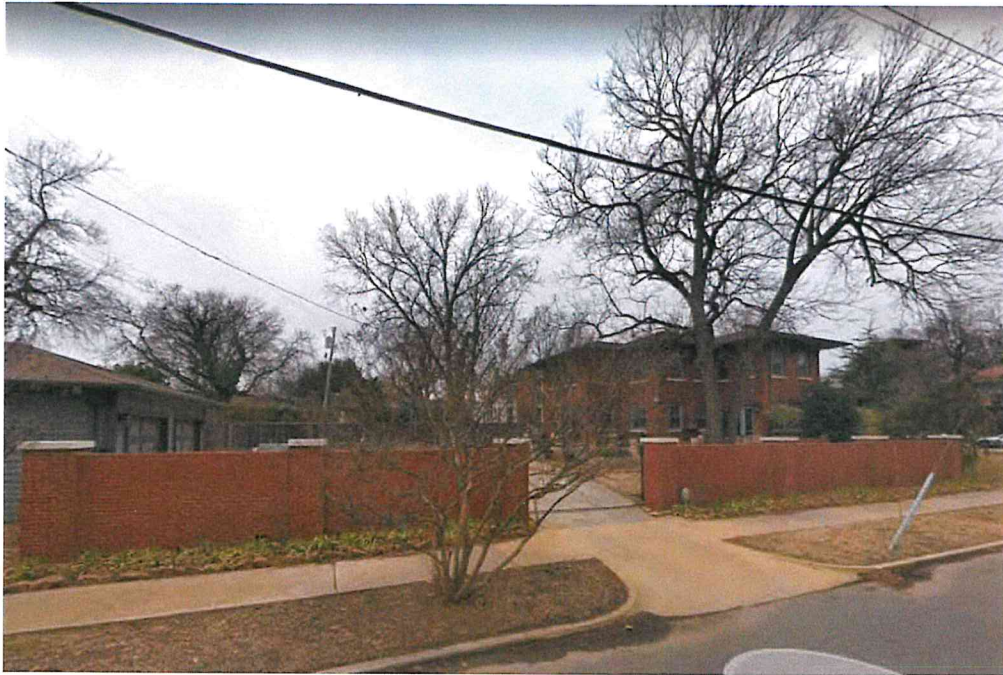


Nine (9) residential properties are located on the west side of North Lee Avenue between NW 13th Street and NW 18th Street. Seven (7) of the properties have a wall or curb at the east property line.

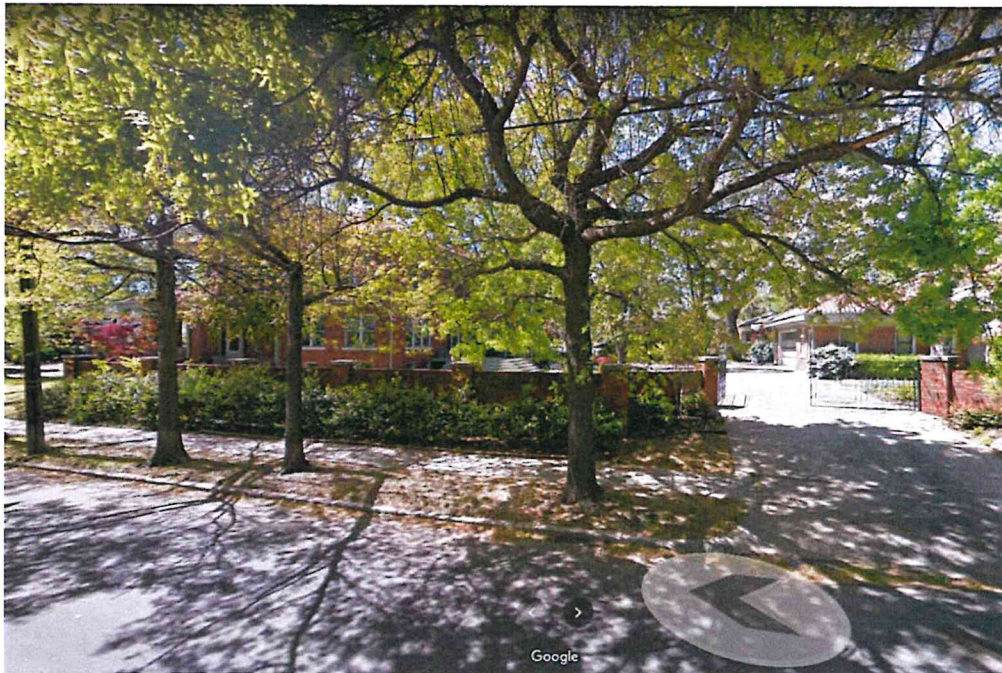
701 Northwest 16th Street
Oklahoma City, OK 73103



Attachment B
Page 1 of 7 (11/20/2020)



1. 700 NW 14th Street – Yard Wall
(February 2019 Google Street View)



2. 701 NW 14th Street – Retaining Wall
(April 2016 Google Street View)



3. 700 NW 15th - Retaining Walls
(April 2016 Google Street View)



4. 632 NW 16th - Yard Walls
(March 2019 Google Street View)

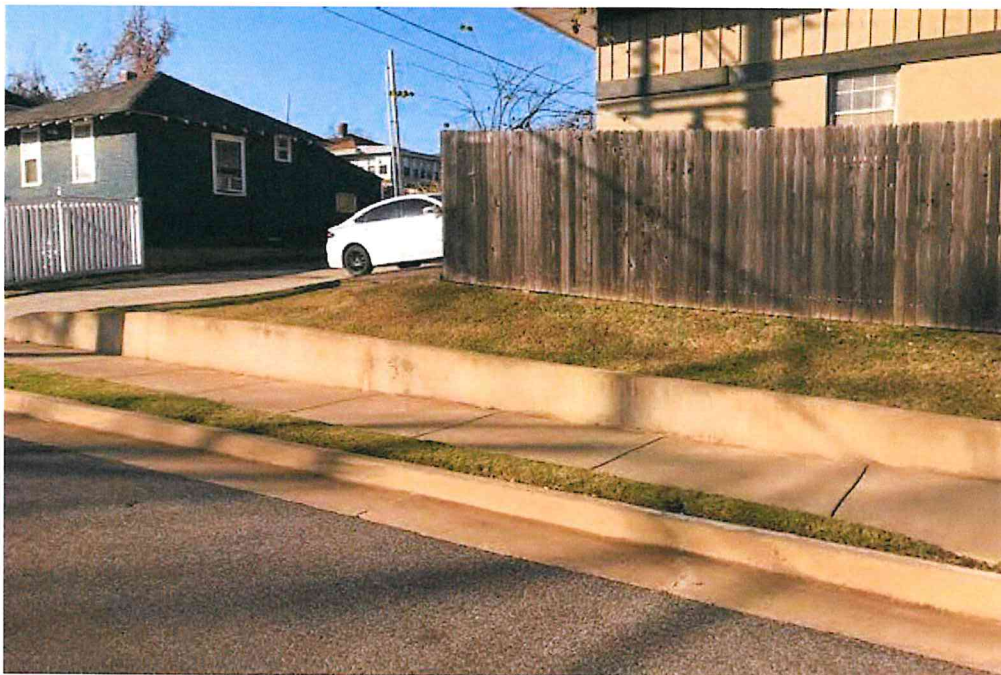
701 Northwest 16th Street
Oklahoma City, OK 73103



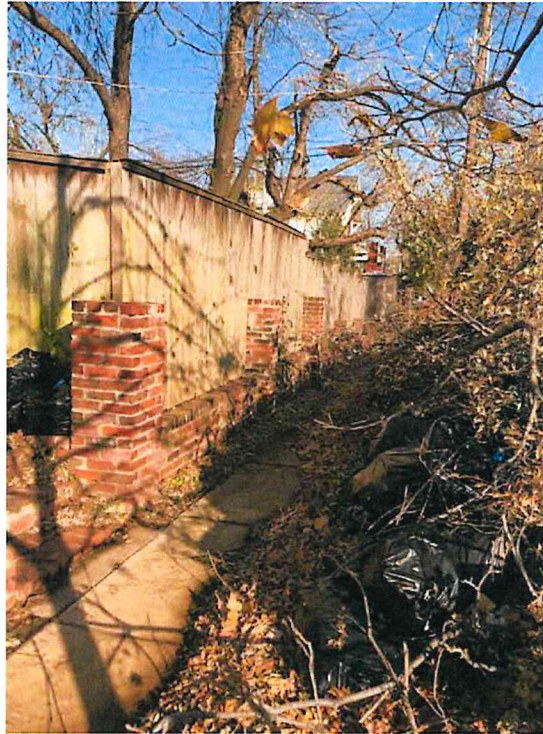
Attachment B
Page 3 of 7 (11/20/2020)



5. 700 NW 16th - Retaining Wall and Fencing
(November 2020 M. Deatsch)



6. 631 NW 15th - Retaining Wall and Fencing
(November 2020 M. Deatsch)



8. 701 NW 17th - Retaining Wall and Fencing
(November 2020 M. Deatsch)



10. 700 NW 18th - Retaining Wall and Fencing
(November 2020 M. Deatsch)



1 LEE AVENUE STREETSCAPE HEIGHTS
NTS



Preservation and Design Studio
616 NW 21st Street, Oklahoma City, OK 73103
(405) 601-6814 www.panddstudio.com

PROJECT: 701 NW 16TH STREET
OKLAHOMA CITY, OK, 73103

DATE: **SEPTEMBER 24, 2020**

DRAWN BY: **KA**

JOB NO: **20-021**

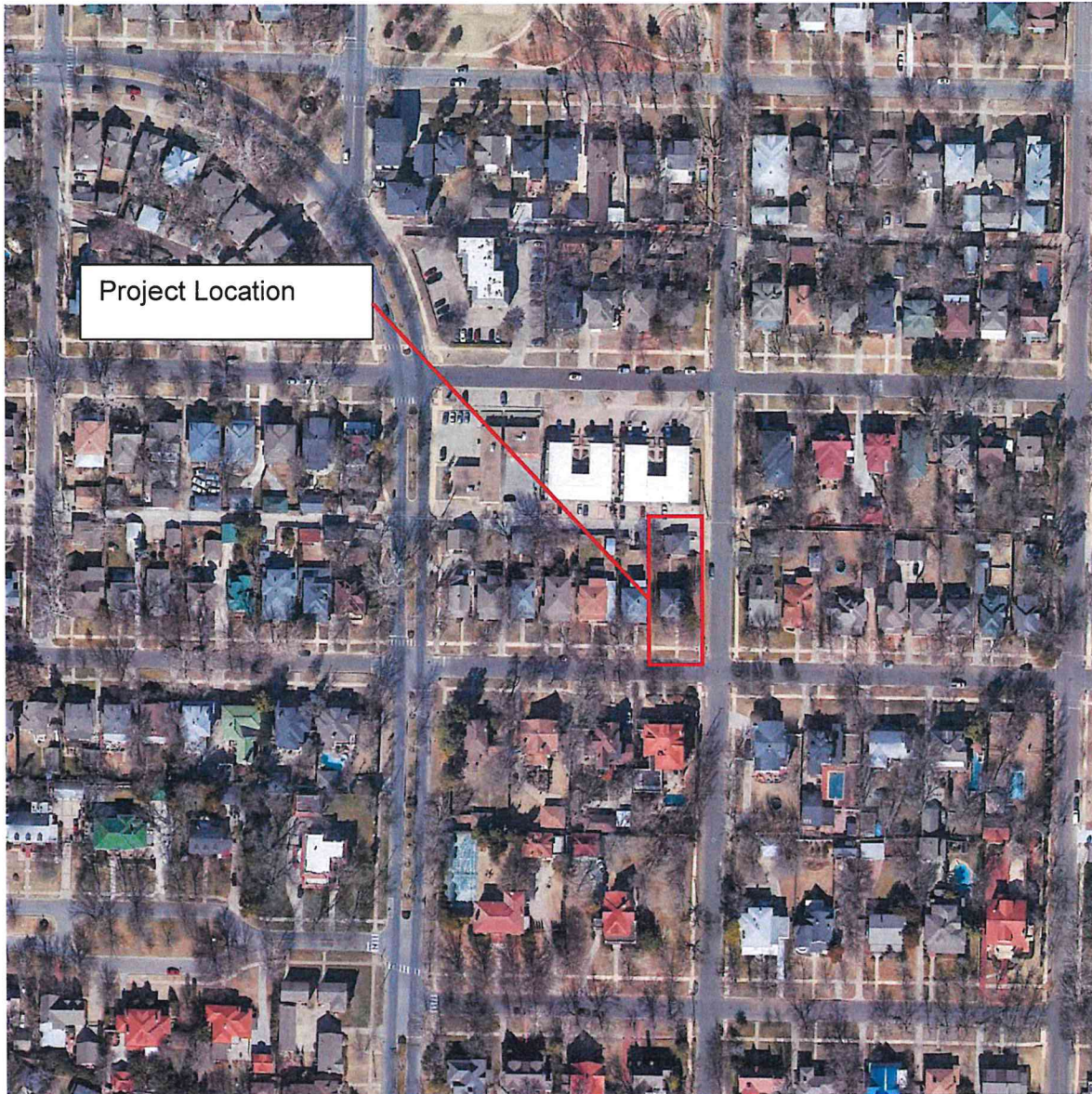
REVISION DATE:

CHECKED BY: **CM**

SHEET NO:

TITLE: **LEE AVENUE STREETSCAPE
HEIGHTS**

**PRELIMINARY
NOT FOR
CONSTRUCTION**



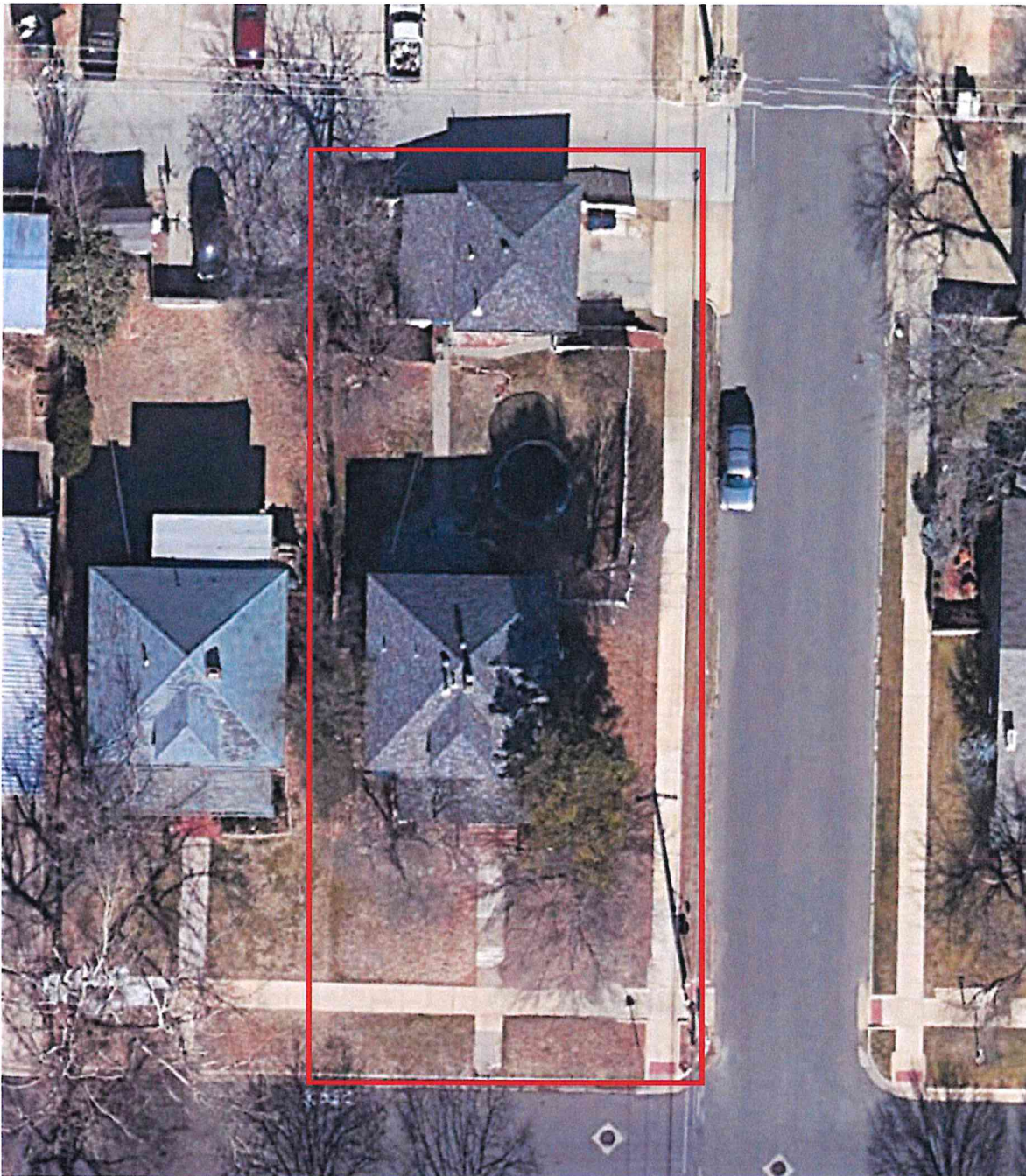
The Big Picture: Aerial (Google Earth 2020)

This aerial photograph shows the property is located in a residential area in the Mesta Park Historic District. The lot is on the north side of Northwest 16th Street at the corner of North Lee Avenue. The dwelling was built in 1905.

701 Northwest 16th Street
Oklahoma City, OK 73103



Attachment A
Page 1 of 25 (8/28/2020)



Close Up: Aerial
(Google Earth 2020)

This aerial photograph shows the location of the property on the north side of Northwest 17th Street. A two-story garage with an apartment is located near the north property line, at the alley.



2004

(Courtesy Oklahoma County Assessor's Website)



2012

(Courtesy Oklahoma County Assessor's Website)



2016
(Courtesy Oklahoma County Assessor's Website)



2020
(Courtesy Oklahoma County Assessor's Website)



South facing façade (left) and east elevation. Backyard and detached garage appears to the right. (August 2020 PandDS)



East elevation and partial backyard (right)



North facing (back) elevation. (August 2020, PandDS)



East facing façade of two story, detached garage. Concrete block stair and retaining wall (left). (August 2020, PandDS) Contrary to the Sanborn maps, the building has likely been two-story from initial construction.



East facing façade (left) and north elevation. Two-story east section with hipped roof (left) and one-story, west section, addition with shed roof. (August 2020, PandDS)



North elevation. Two-story east section with hipped roof (left) and one-story west section addition with shed roof. Wood lapped siding on the second floor of the east section has 3" exposure and drop siding along the rest of the elevation with 5" exposure. (August 2020, PandDS)