



The City of OKLAHOMA CITY

Staff Only:	Date Stamp
Zoning: <u>HP or HL</u>	
District: _____	
HPCA- _____ - _____	
Received by: _____	

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

NOTE: any relevant permits must be applied for and paid for separately in the Development Services Dept.
NOTE: Contact Historic Preservation Staff for final design inspection when work is complete.

Please select: **New Project** **Revision** **Extension** **Violation Notice Issued**

Location of Proposed Work (Address): 1703 N. Hudson, Oklahoma City, OK 73103

Legal Description of Property (lot, block, addition): Winans Highland Terr Blk 006 000 E 20ft Lot 13 & All of Lot 14

Year built: 1915 Exterior wall material: Brick Floor area: 4572 sq.ft.

Itemized Work Items (List EACH ITEM proposed. Work not listed here will NOT be reviewed):

New Construction **Addition** **Fence** **Demolition** (specify structure) portion of existing driveway

Paving (specify) Sidewalks & Pool decks **Renovation** (specify) _____

Work not specified above Construct new swimming pool & deck with adjacent raised deck & steps, iron & wood fencing and gates, low brick site walls and sidewalks

Owner's Authorization

I hereby certify that all above statements and statements contained in all attached and transmitted exhibits are true to the best of my knowledge and belief. In the event this proposal is approved and begun, I agree to complete the changes in accordance with approved plans in a good and workmanlike manner. I authorize the City of Oklahoma City to enter the property for the purpose of observing and photographing the project for presentations and to ensure consistency between the approved proposal and the completed project.

(If applicable): I authorize my representative to speak for me in matters regarding this application. Any agreement made by my representative regarding this proposal will be binding upon me.

Owner's Signature Date 1/4/21

Name (printed) Fred & Carter Fellers Organization _____

Address 1703 N. Hudson Phone 405-312-3231

City, State, Zip Oklahoma City, OK 73103 Email fred.fellers@gmail.com

I prefer to be: Mailed or Emailed.

Representative Signature Date 1/4/21

Name (printed) Jeff Blake Organization Gumerson Blake

Address 1020 NW 81st Street Phone 405-206-1779

City, State, Zip Oklahoma City, OK 73114 Email jblake@gbuilds.com

I prefer to be: Mailed or Emailed.

Contact: Owner Representative

Is Federal money, a federal license or a federal permit included/required for any part of this project? Yes / No

If yes, what Federal agency? _____

Is the property owner pursuing the Federal Tax Credits for Rehabilitation of income producing historic properties? Yes / No (For questions concerning the federal tax credit program, telephone the State Historic Preservation Office at (405) 522-4479).

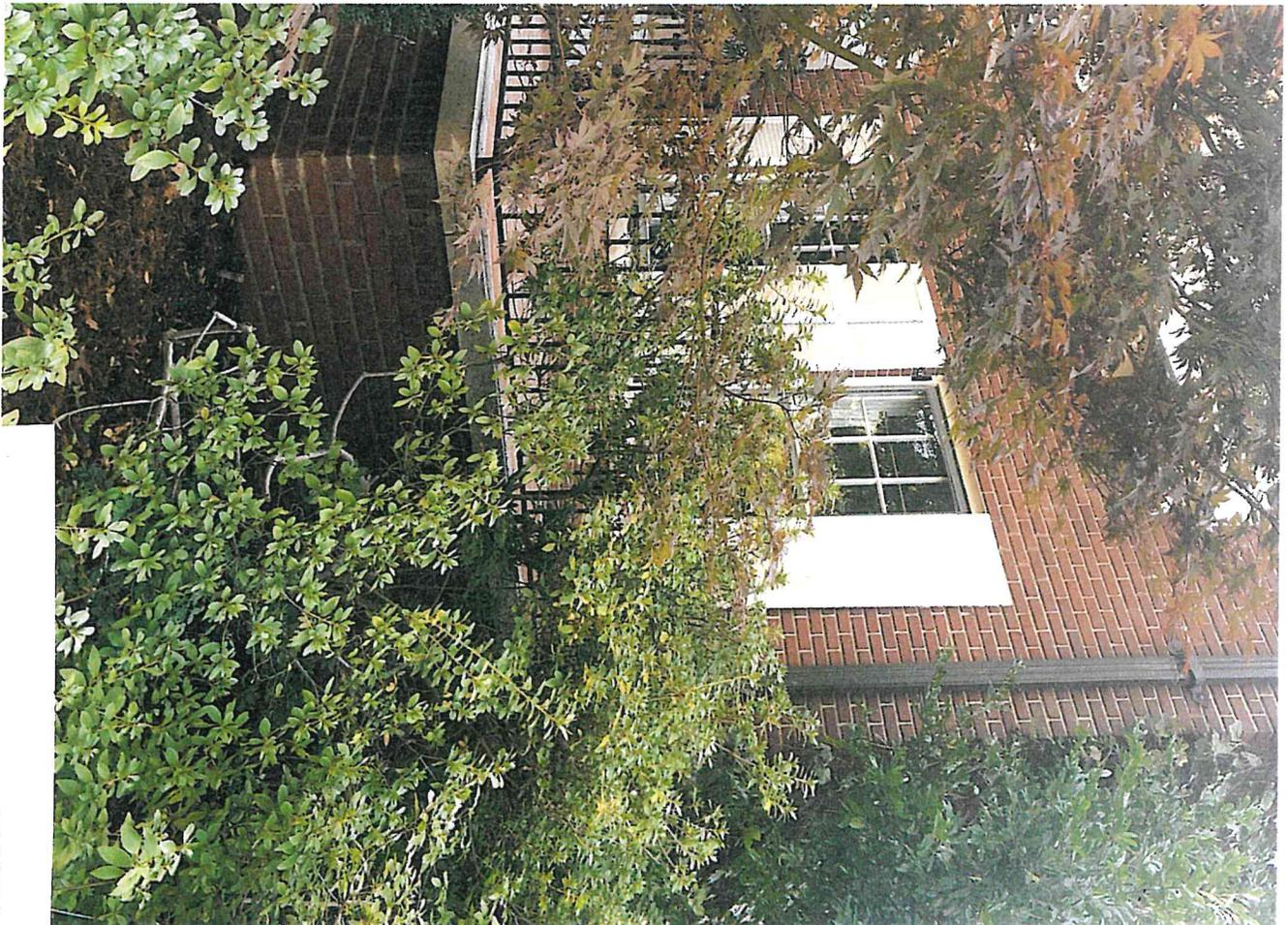
NOTE: Specific deadlines apply to submission of additional documentation or requests for appeals. Should your project be continued or denied, you are responsible for compliance with those deadlines.

Materials List

1. Standard red facebrick to match existing.
2. Black iron fencing and gates.
3. Cedar fencing and gate.
4. Standard red brick pavers at upper deck area.
5. Cast stone swimming pool coping.



DRIVEWAY AREA WEST SIDE OF HOUSE



NORTH EAST CORNER FRONT PORCH



NORTH WALL MAIN HOUSE



EXISTING RAILING DETAIL



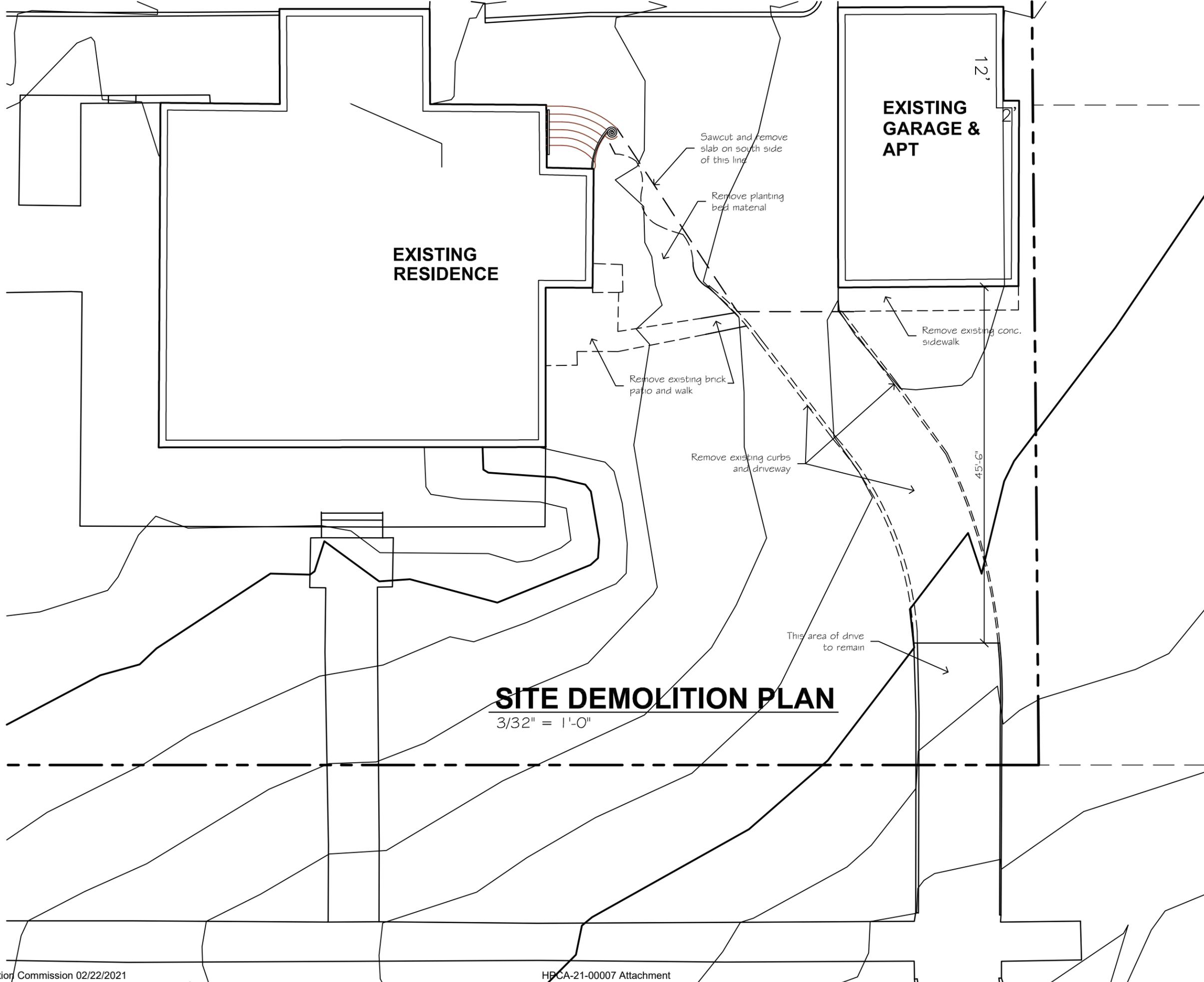
EAST WALL EXISTING GARAGE



EAST WALL MAIN HOUSE



EXISTING RAILING DETAIL

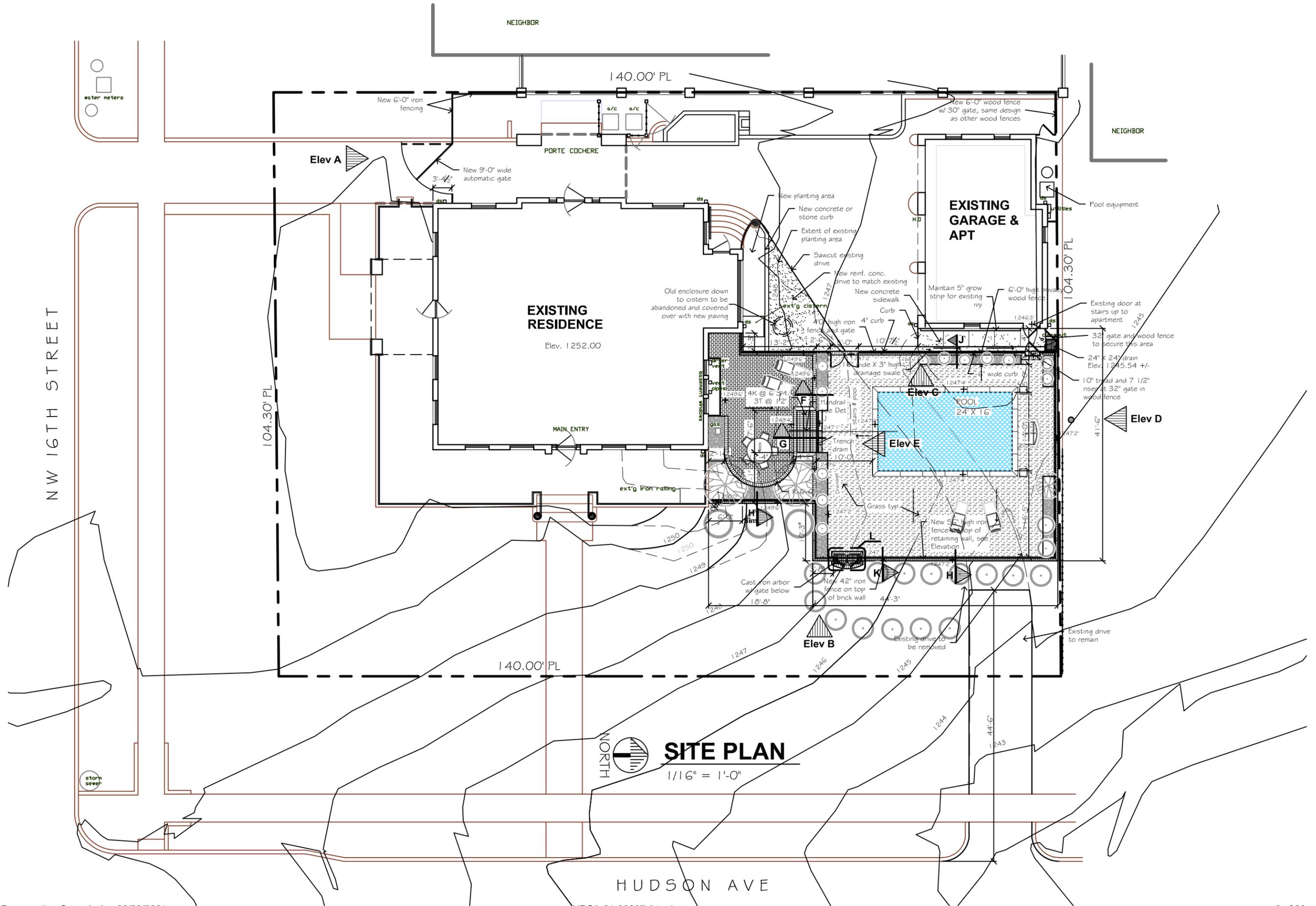


EXISTING RESIDENCE

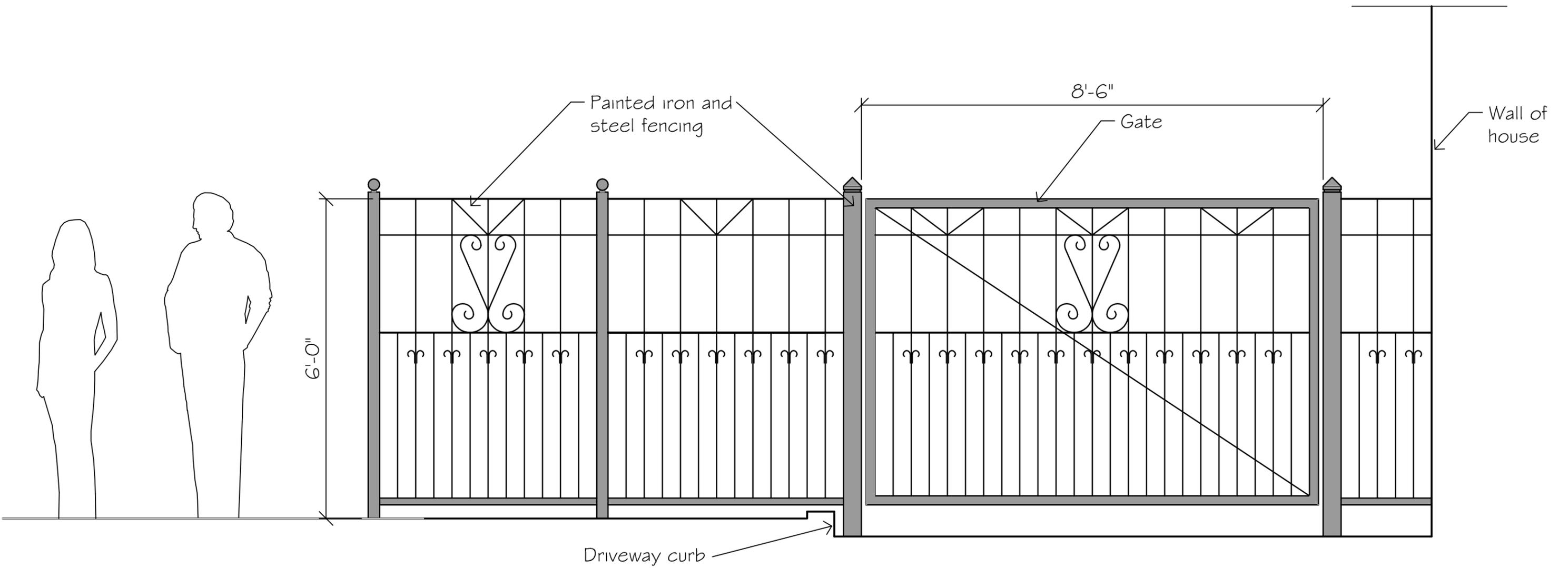
EXISTING GARAGE & APT

SITE DEMOLITION PLAN

3/32" = 1'-0"

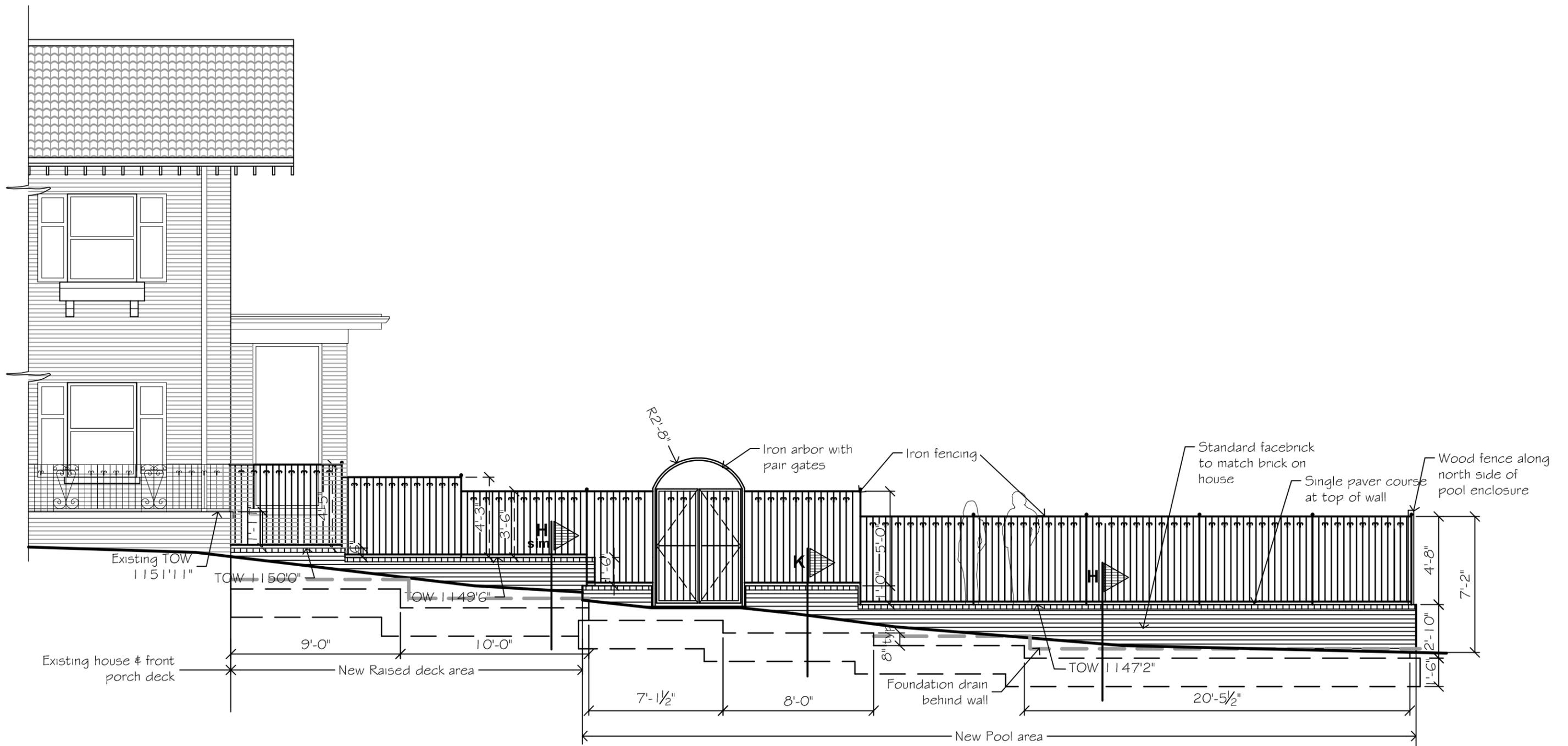


SITE PLAN
 1/16" = 1'-0"
 NORTH



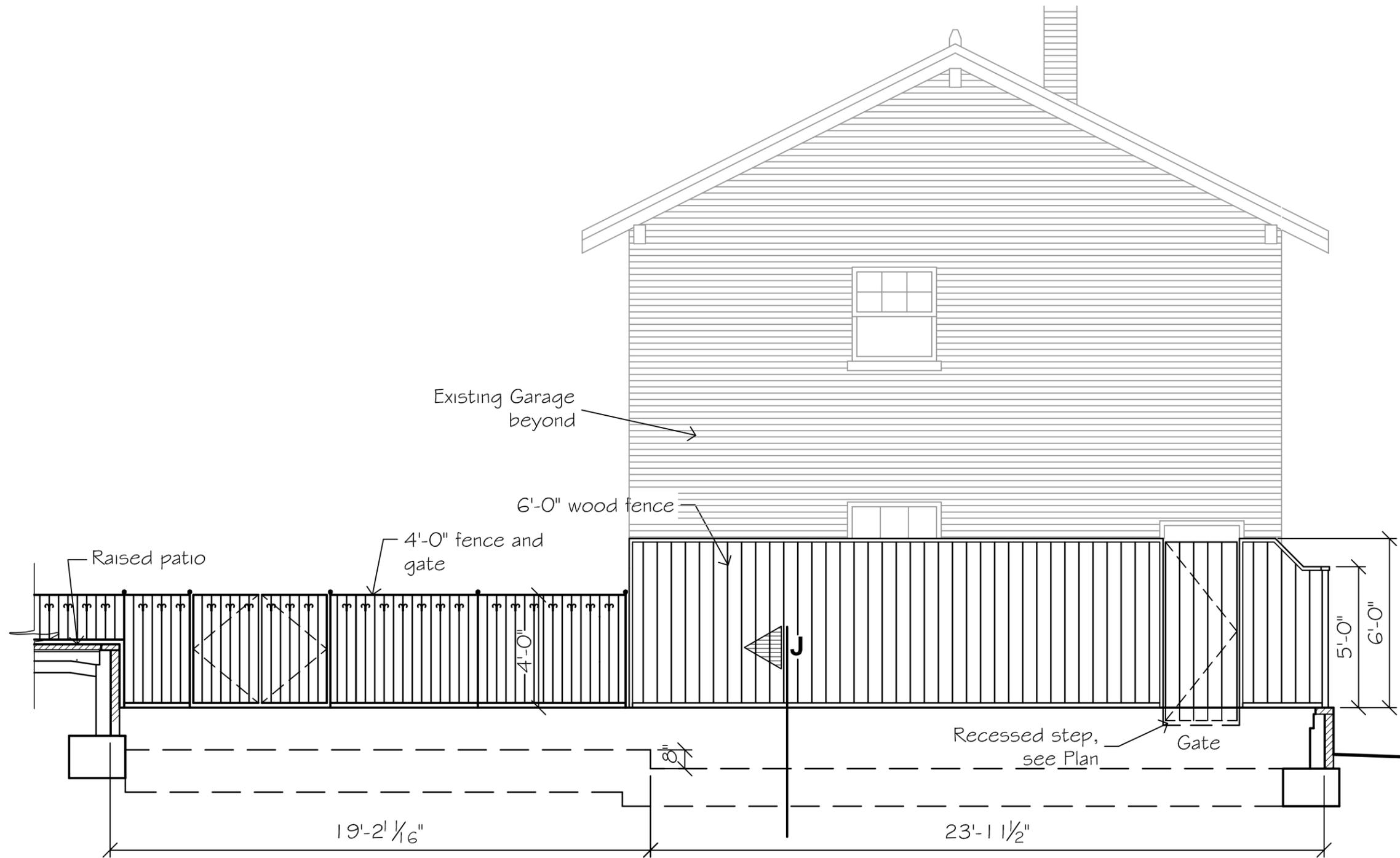
A IRON FENCING & GATE ELEVATION AT DRIVEWAY

1/2" = 1'-0"



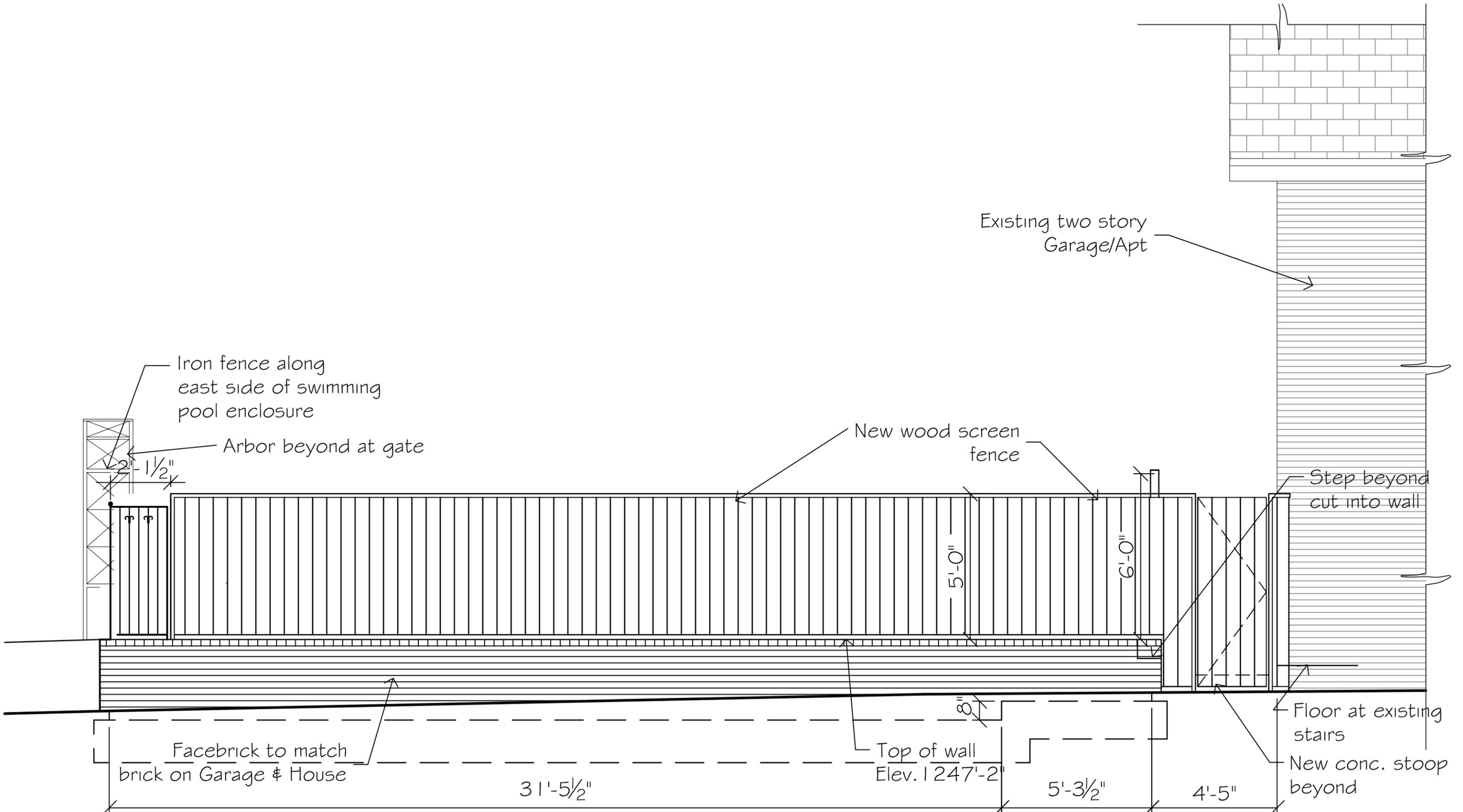
B EAST POOL AREA FENCE & WALL

3/16" = 1'-0"

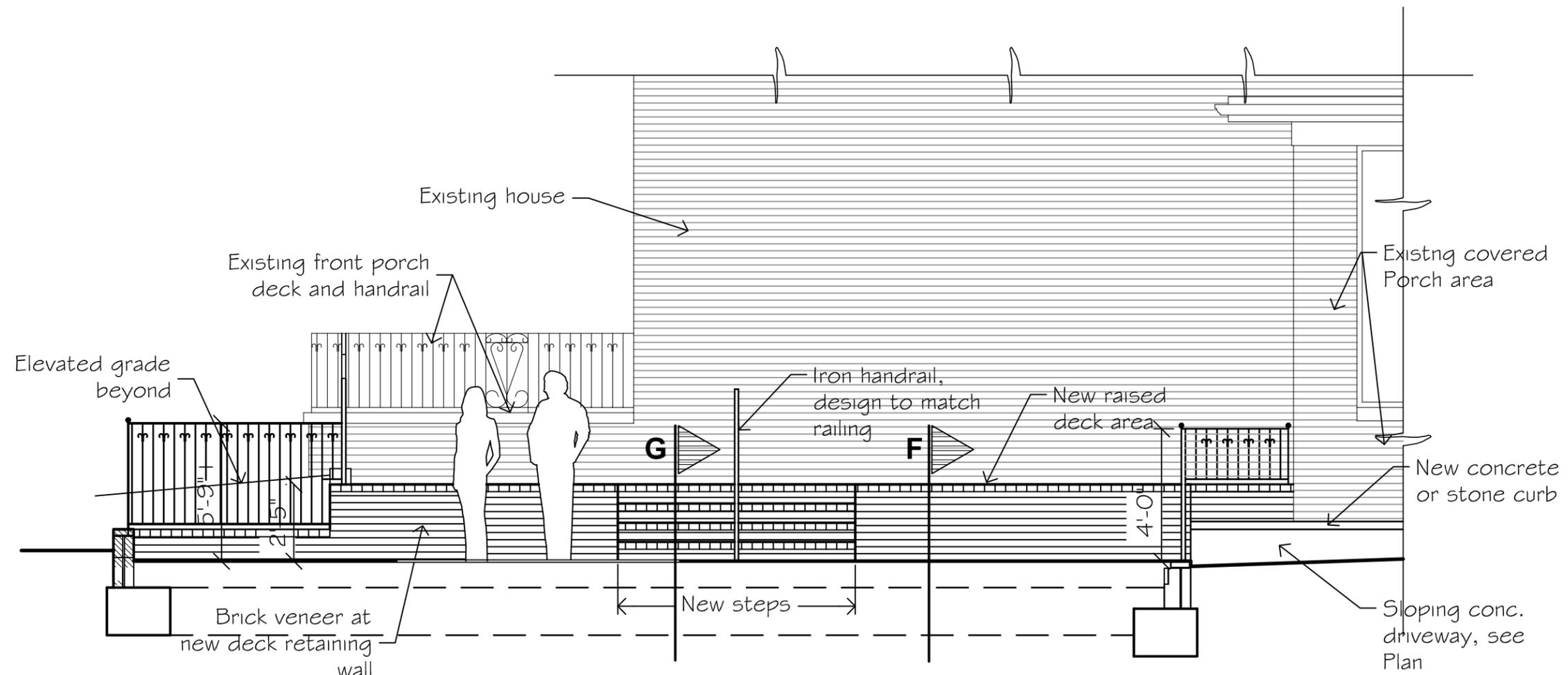


C WEST POOL AREA FENCES

1/4" = 1'-0"

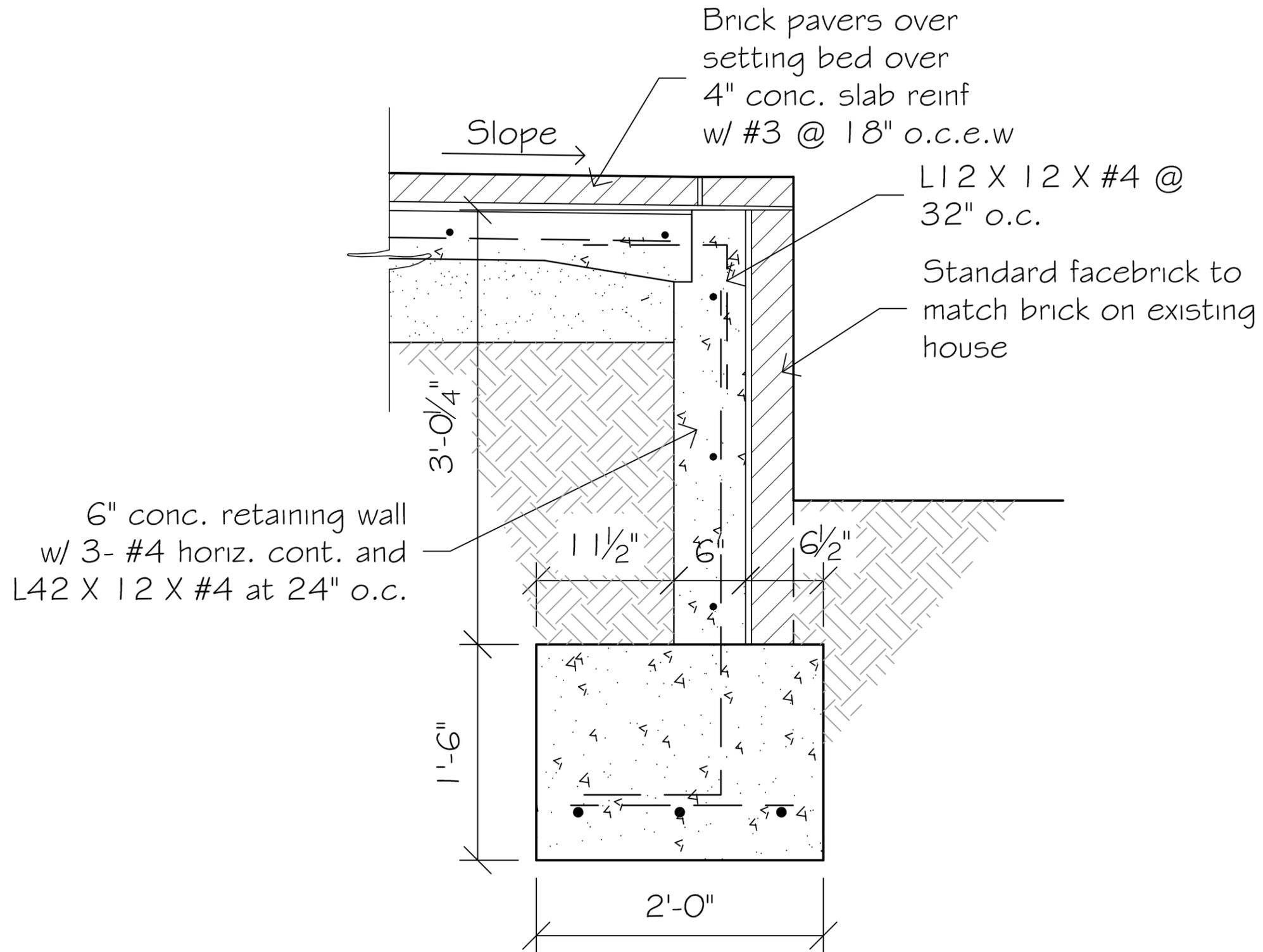


D NORTH POOL AREA FENCES
 1/4" = 1'-0"



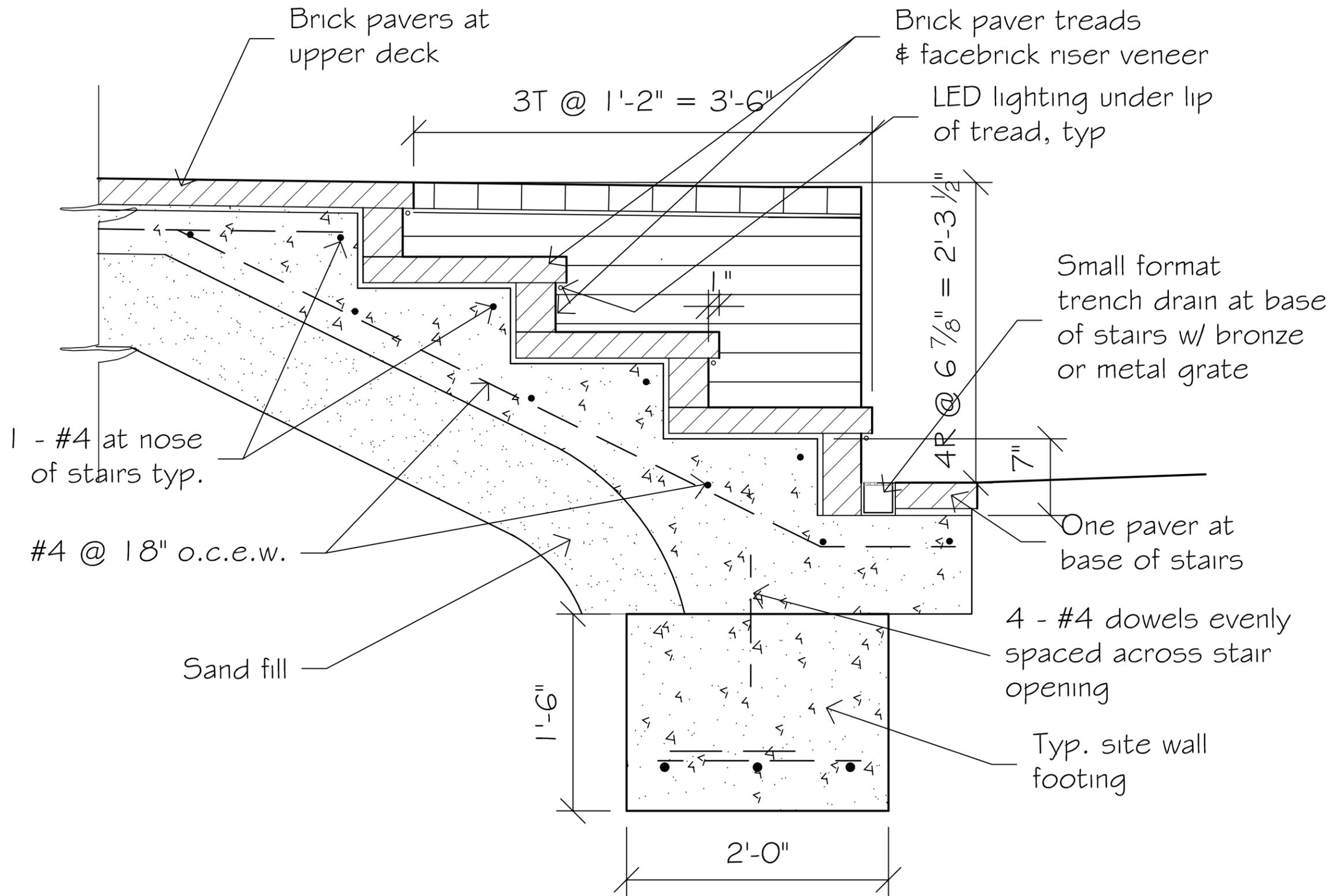
E RAISED DECK AREA AT POOL

1/4" = 1'-0"



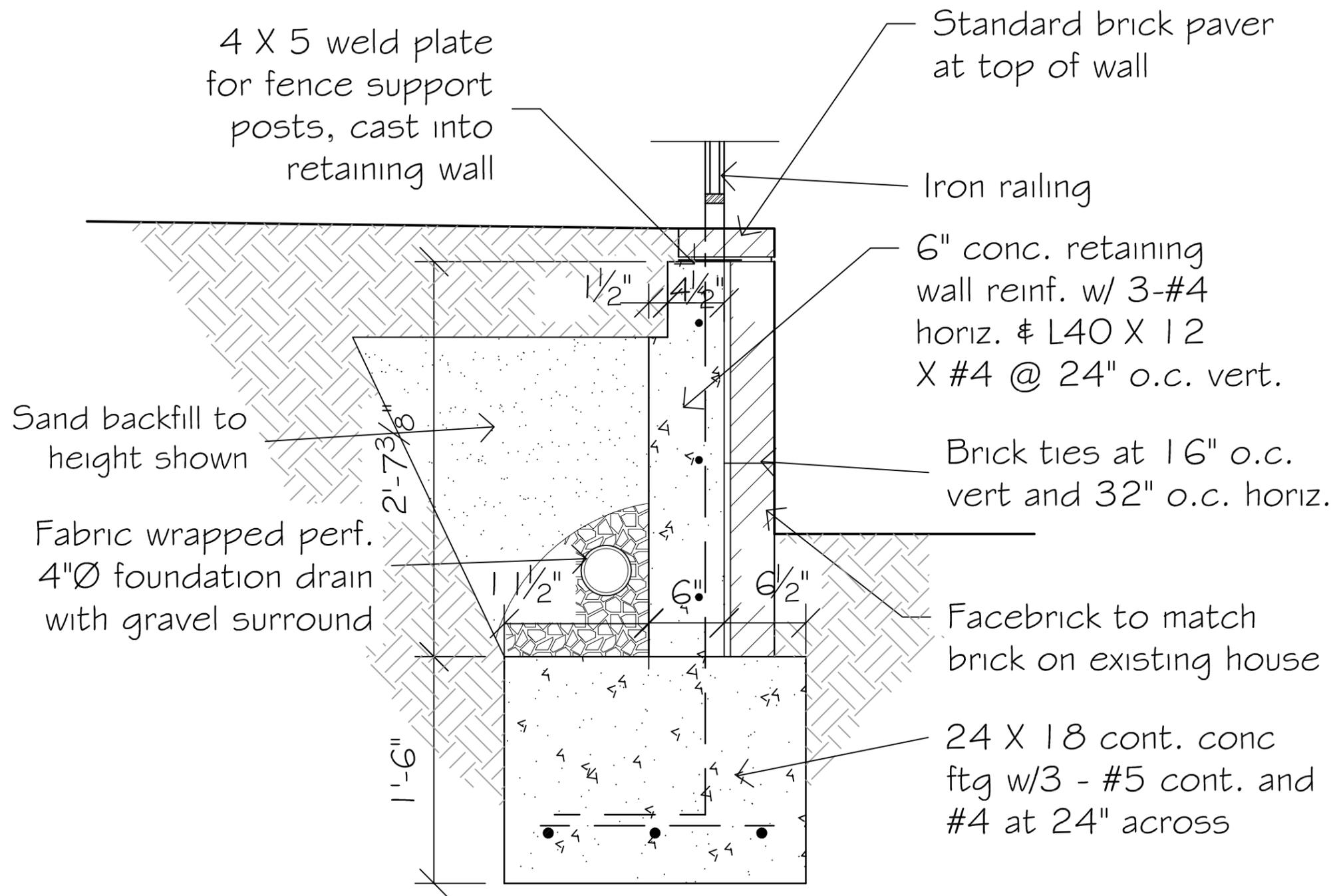
F SITE WALL DETAIL

3/4" = 1'-0"



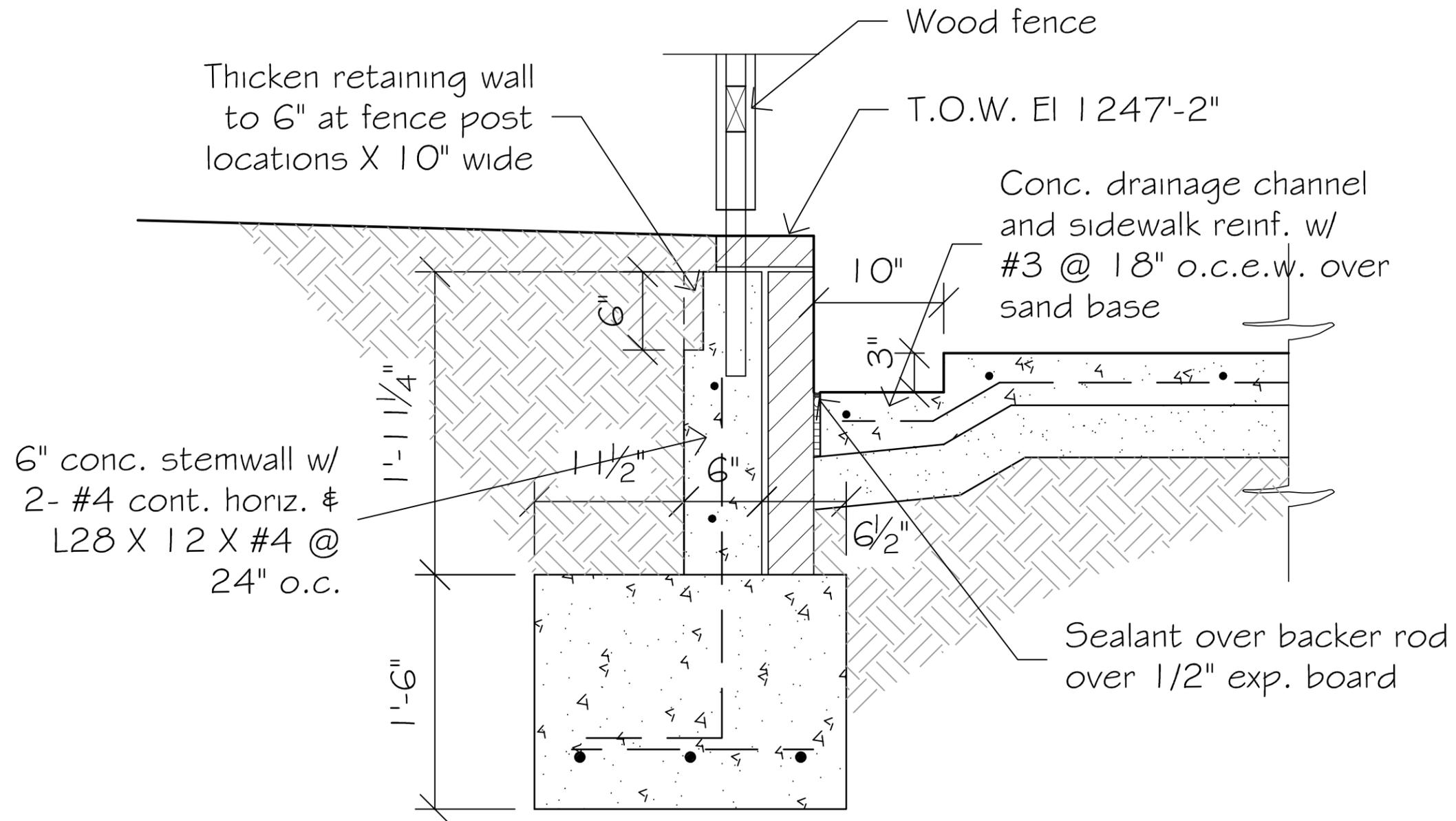
G SITE STAIRS DETAIL

3/4" = 1'-0"



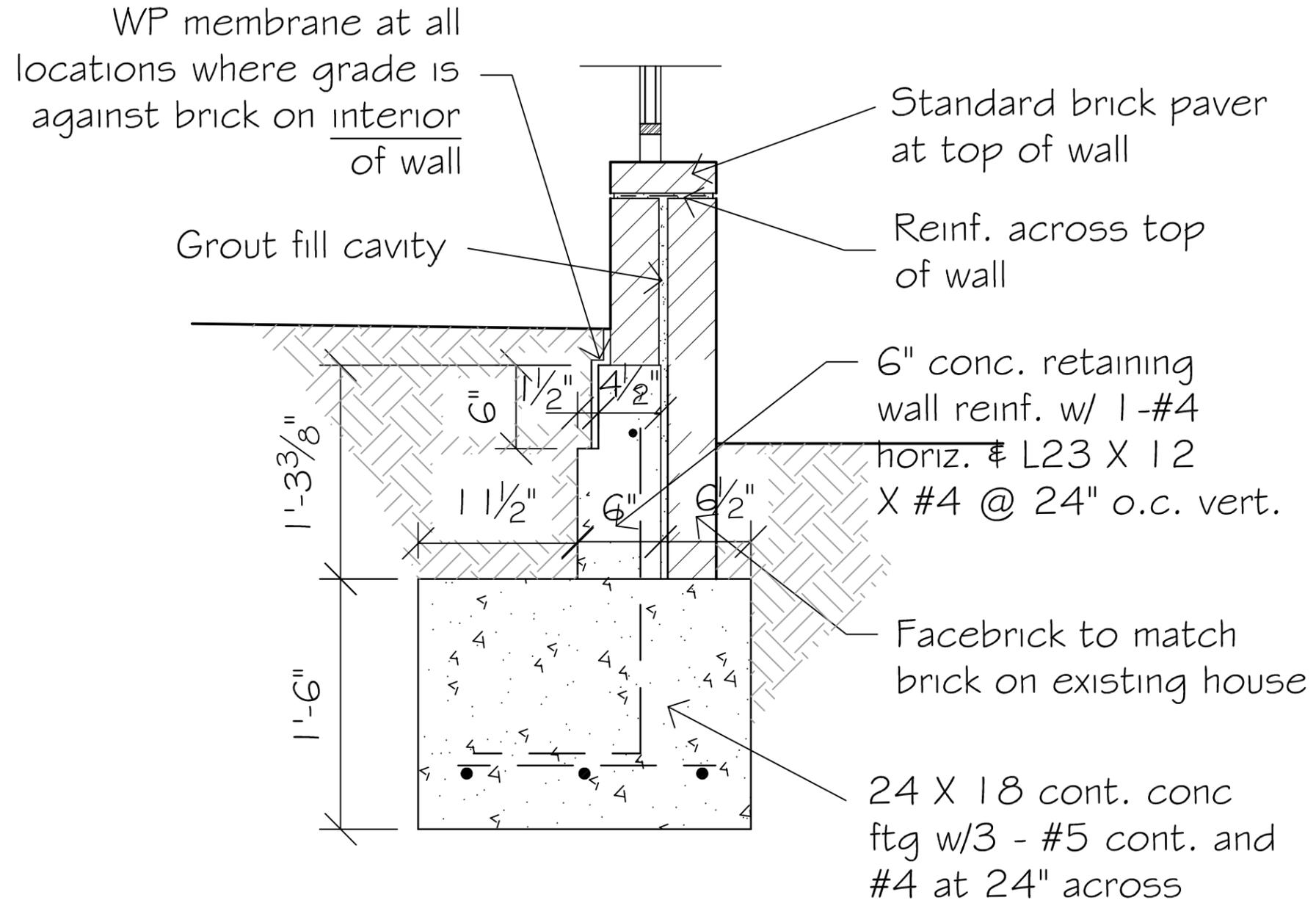
H SITE WALL DETAIL

3/4" = 1'-0"



J SITE WALL DETAIL

3/4" = 1'-0"



K SITE WALL DETAIL

3/4" = 1'-0"

