



The City of  
**OKLAHOMA CITY**

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

NOTE: any relevant permits must be applied for and paid for separately in the Development Services Dept.

NOTE: Contact Historic Preservation Staff for final design inspection when work is complete.

Please select: ☒ **New Project** ☐ **Revision** ☐ **Extension** ☐ **Violation Notice Issued**

**Location of Proposed Work (Address):** 1703 N. Hudson, Oklahoma City, OK 73103

**Legal Description of Property** (lot, block, addition): Winans Highland Terr Blk 006 000 E 20ft Lot 13 & All of Lot 14

**Year built:** 1915 **Exterior wall material:** Brick **Floor area:** 4572 sq.ft.

**Itemized Work Items** (List EACH ITEM proposed. Work not listed here will NOT be reviewed):

☒ **New Construction** ☐ **Addition** ☒ **Fence** ☒ **Demolition** (specify structure) portion of existing driveway  
☒ **Paving** (specify) Sidewalks & Pool decks ☐ **Renovation** (specify) grass  
☐ **Work not specified above** Construct new swimming pool & deck with adjacent raised deck & steps, iron & wood fencing and gates, low brick site walls and sidewalks

**Owner's Authorization**

I hereby certify that all above statements and statements contained in all attached and transmitted exhibits are true to the best of my knowledge and belief. In the event this proposal is approved and begun, I agree to complete the changes in accordance with approved plans in a good and workmanlike manner. I authorize the City of Oklahoma City to enter the property for the purpose of observing and photographing the project for presentations and to ensure consistency between the approved proposal and the completed project.

☐ (If applicable): I authorize my representative to speak for me in matters regarding this application. Any agreement made by my representative regarding this proposal will be binding upon me.

**Owner's Signature** F. Fellers **Date** 1/4/21  
**Name (printed)** Fred & Carter Fellers **Organization** \_\_\_\_\_  
**Address** 1703 N. Hudson **Phone** 405-312-3231  
**City, State, Zip** Oklahoma City, OK 73103 **Email** fred.fellers@gmail.com

I prefer to be: ☐ Mailed or ☐ Emailed.  
**Representative Signature** Jeff Blake **Date** 1/4/21  
**Name (printed)** Jeff Blake **Organization** Gumerson Blake  
**Address** 1020 NW 81st Street **Phone** 405-206-1779  
**City, State, Zip** Oklahoma City, OK 73114 **Email** jblake@gbbuilds.com

I prefer to be: ☐ Mailed or ☒ Emailed.

**Contact:** ☐ Owner ☒ Representative

**Is Federal money, a federal license or a federal permit included/required for any part of this project?** Yes / No

**If yes, what Federal agency?** \_\_\_\_\_

**Is the property owner pursuing the Federal Tax Credits for Rehabilitation of income producing historic properties?** Yes / No (For questions concerning the federal tax credit program, telephone the State Historic Preservation Office at (405) 522-4479).

NOTE: Specific deadlines apply to submission of additional documentation or requests for appeals. Should your project be continued or denied, you are responsible for compliance with those deadlines.

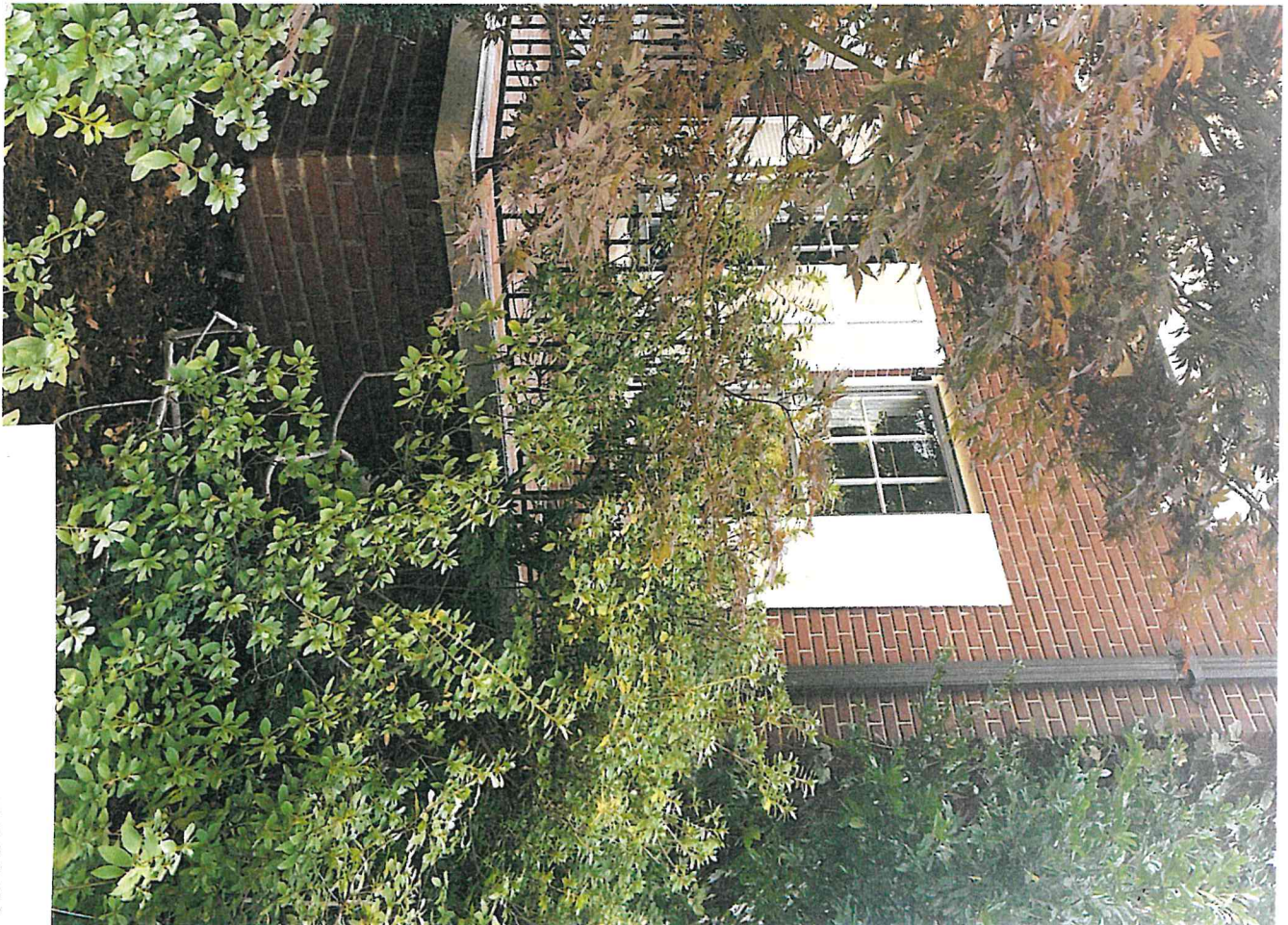
## **Materials List**

1. Standard red facebrick to match existing.
2. Black iron fencing and gates.
3. Cedar fencing and gate.
4. Standard red brick pavers at upper deck area.
5. Cast stone swimming pool coping.





DRIVEWAY AREA WEST SIDE OF HOUSE



NORTH EAST CORNER FRONT PORCH





**NORTH WALL MAIN HOUSE**



**EXISTING RAILING DETAIL**





**EAST WALL EXISTING GARAGE**



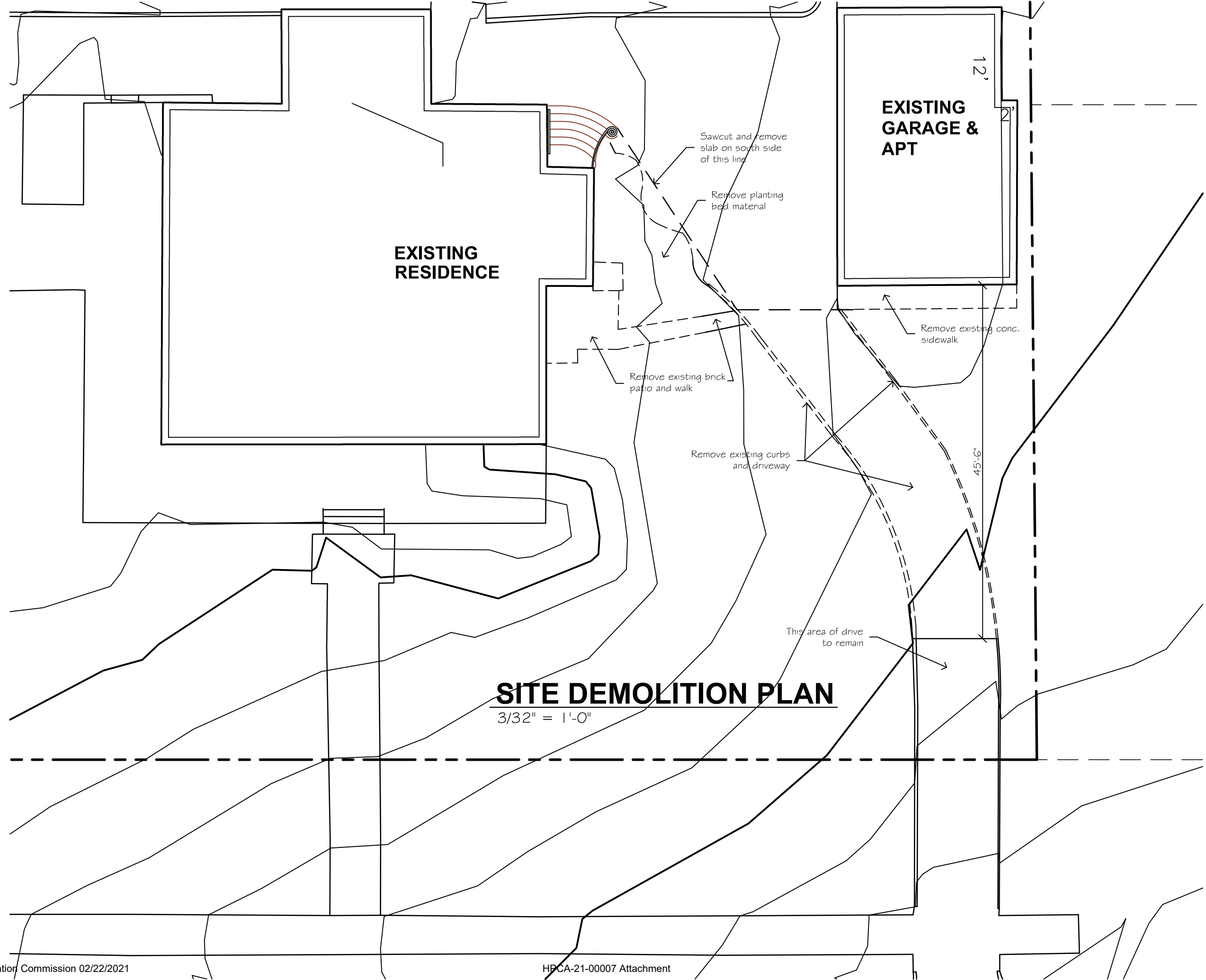
**EAST WALL MAIN HOUSE**



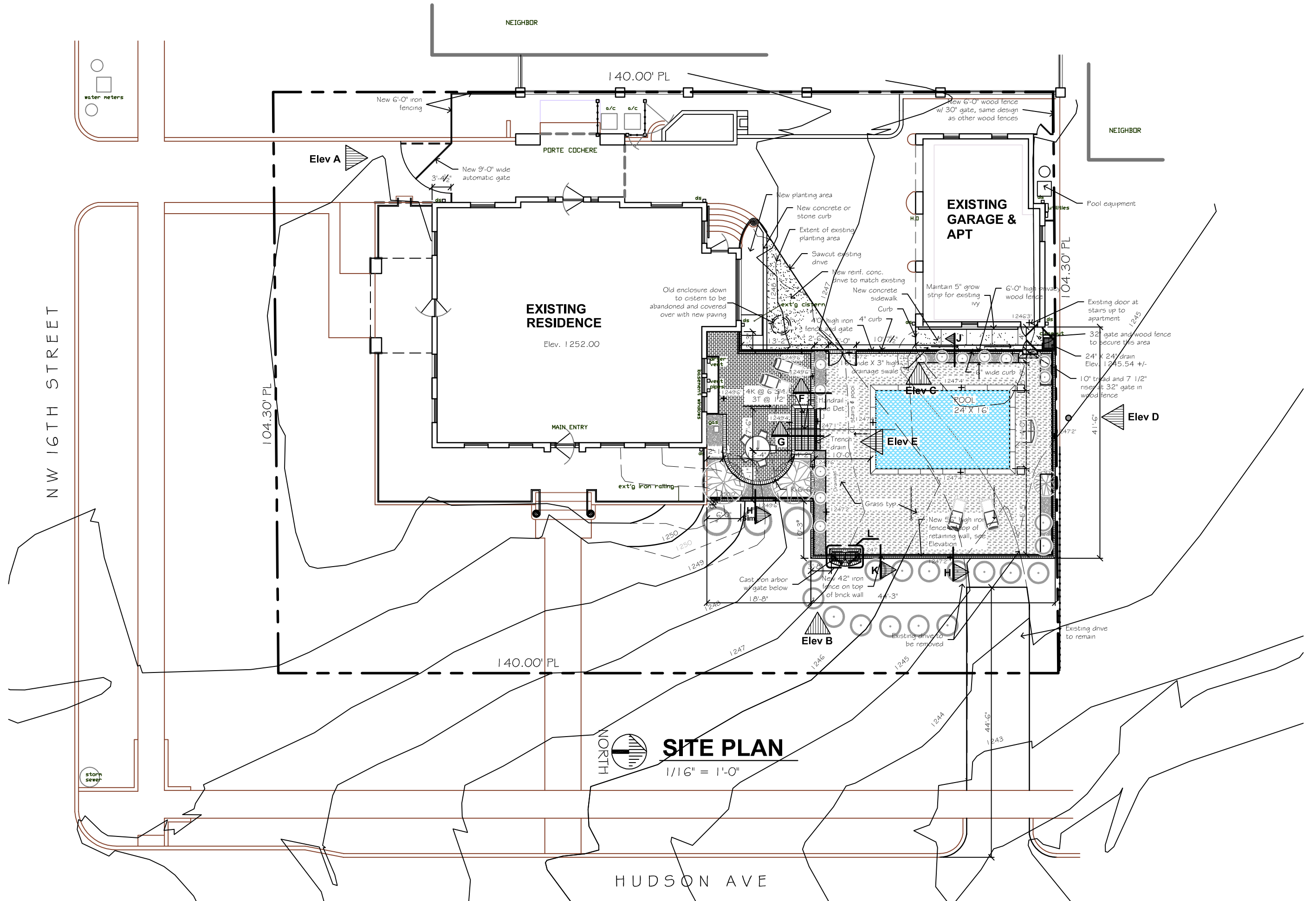


**EXISTING RAILING DETAIL**











## Elev. 1252.00

ext'g iron railing

$$1/8'' = 1'-0''$$
 $|\delta' - \delta''|$ 

**Elev B**

of 23

- Pool equipment

NO4.30' PL

- Existing door at stairs up to apartment

Relocate existing  
CO as required

- 32" gate and wood fence to secure this area

24" X 24" drain  
Elev. 1245.54 +/-

~~10" tread and 7 1/2" riser at 32" gate in wood fence~~

## Elev D

Elev C

## Elev E

POOL  
24' X 14'



Handra  
see De

Trench drain

9'6"

Grass typ.

New 56" high iron fence on top of retaining wall, see Elevation



-3"

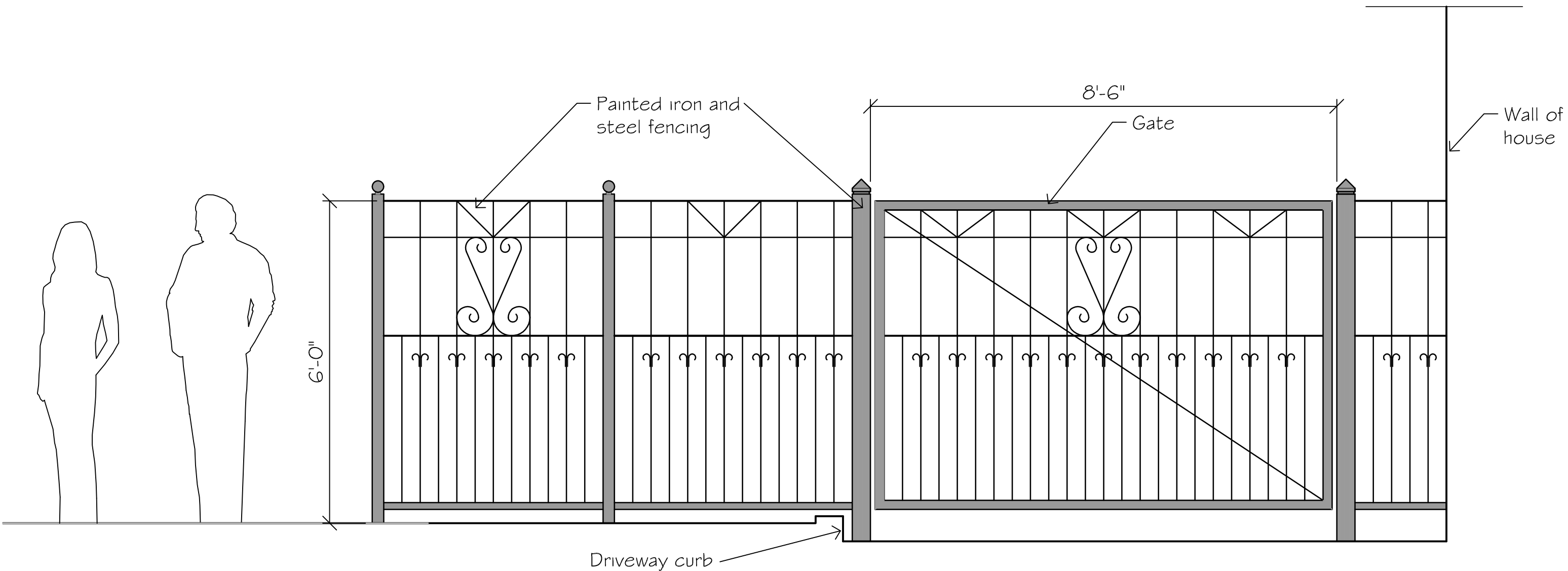
~~Existing drive to be removed~~

Existing drive  
to remain

Existing drive  
to remain

Historic Preservation Commission 02/22/2021

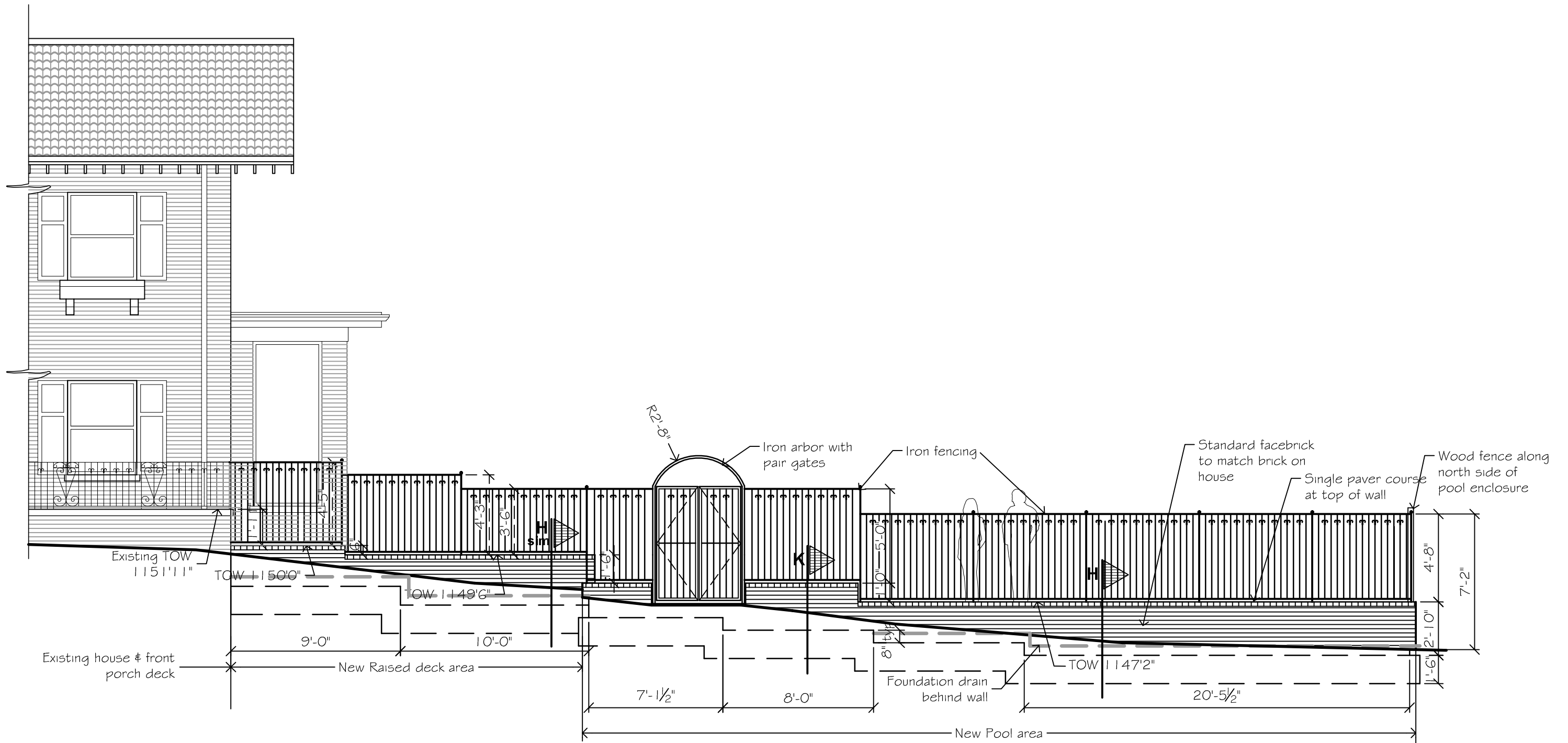




# A IRON FENCING & GATE ELEVATION AT DRIVEWAY

1/2" = 1'-0"

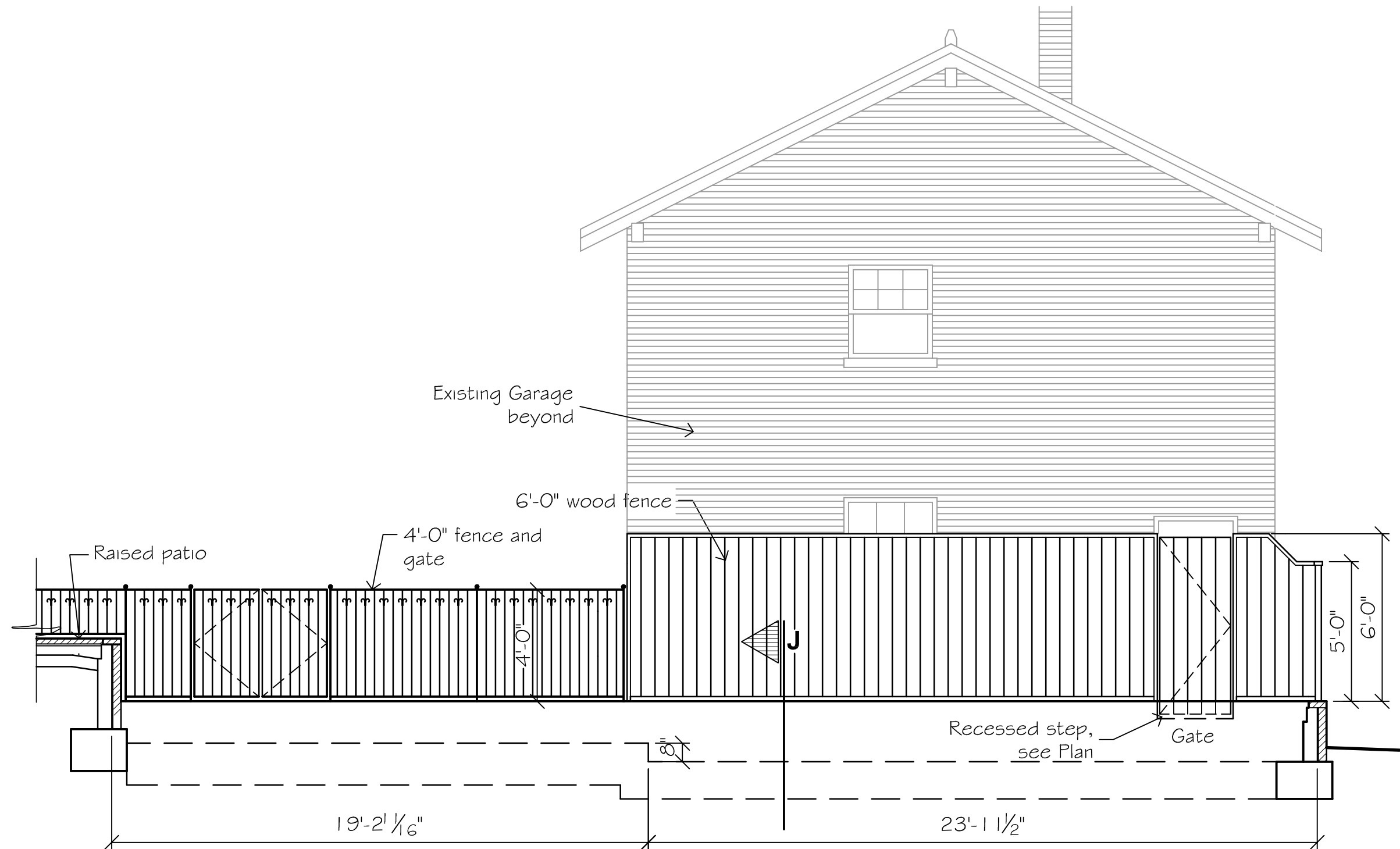




## B EAST POOL AREA FENCE & WALL

3/16" = 1'-0"

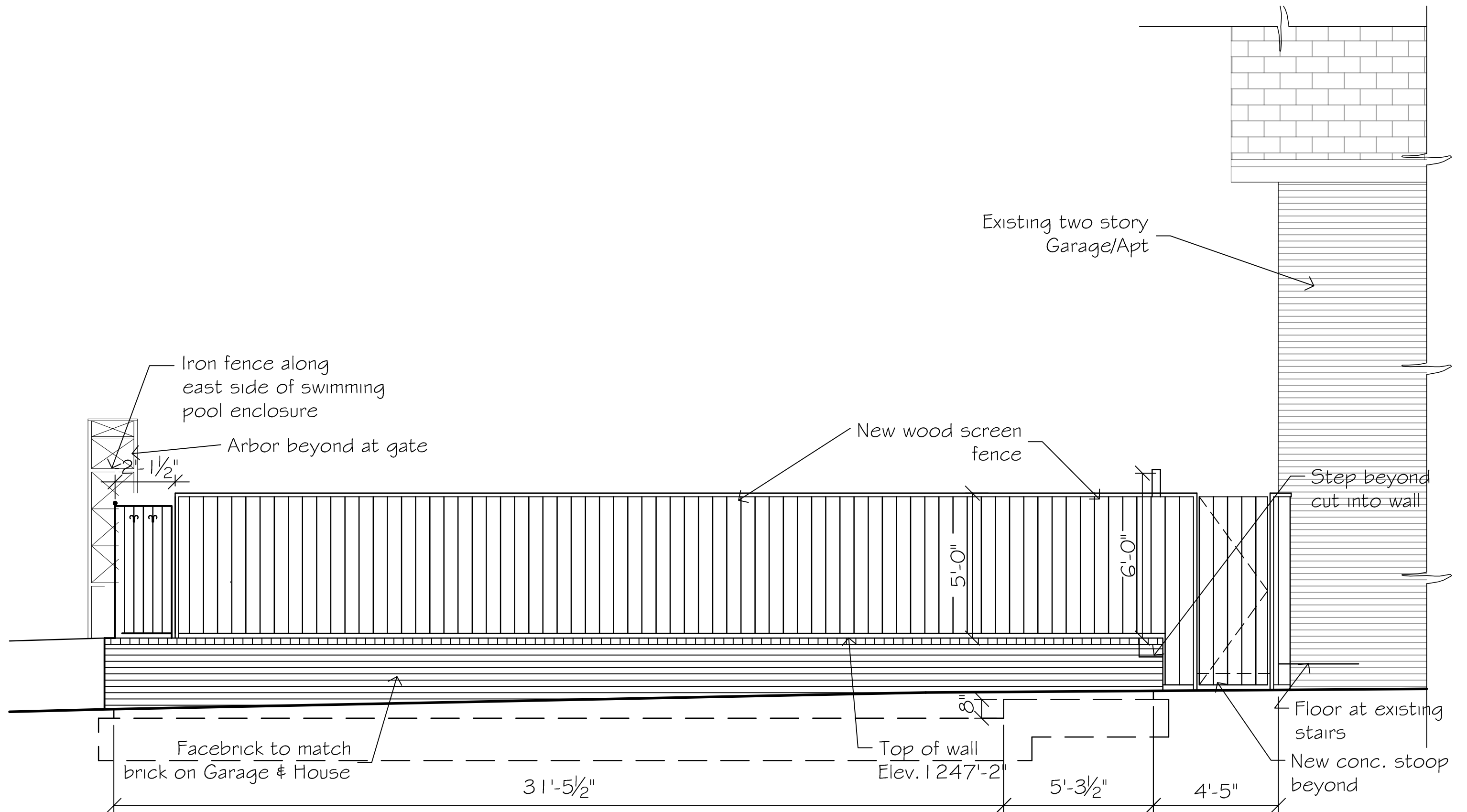




## C WEST POOL AREA FENCES

1/4" = 1'-0"

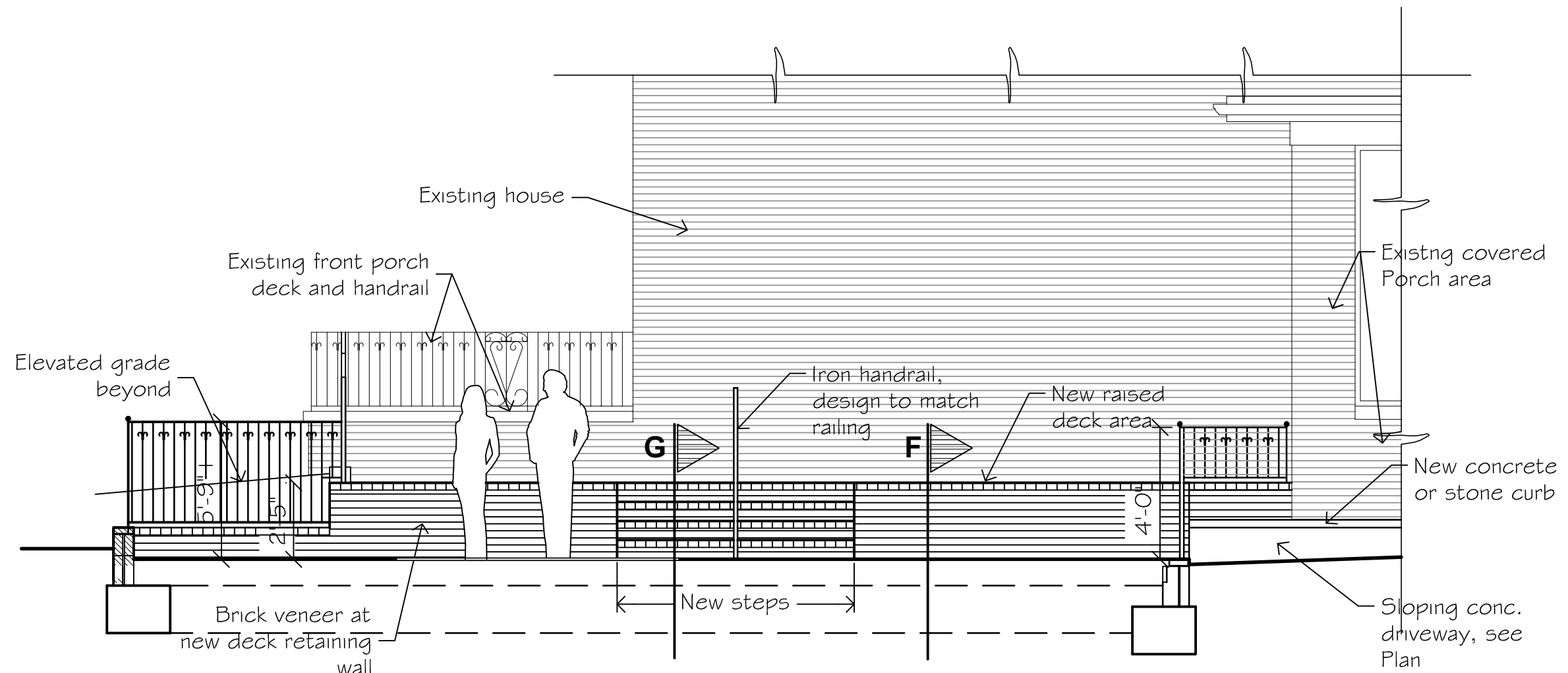




## D NORTH POOL AREA FENCES

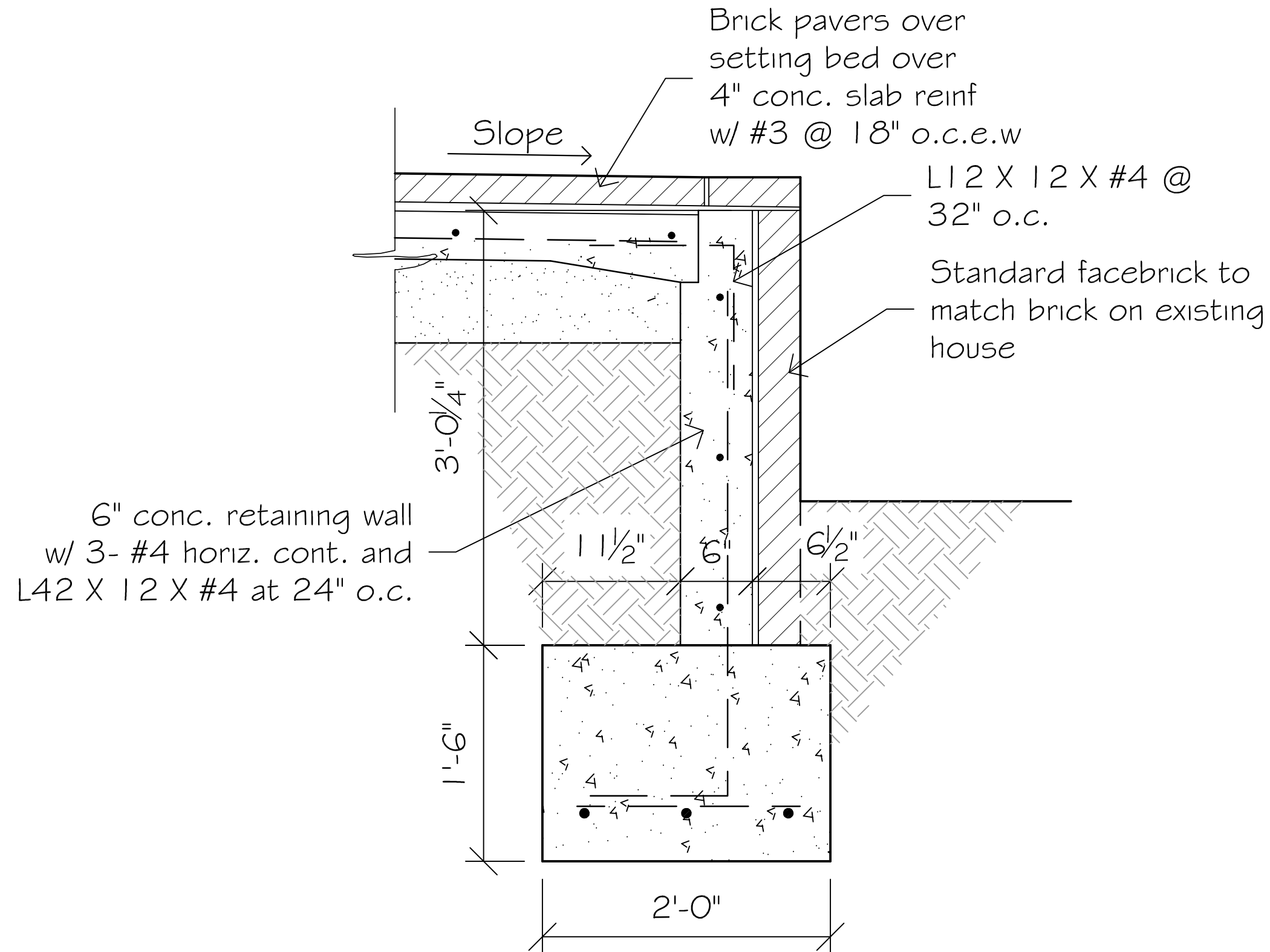
1/4" = 1'-0"





## **E RAISED DECK AREA AT POOL**

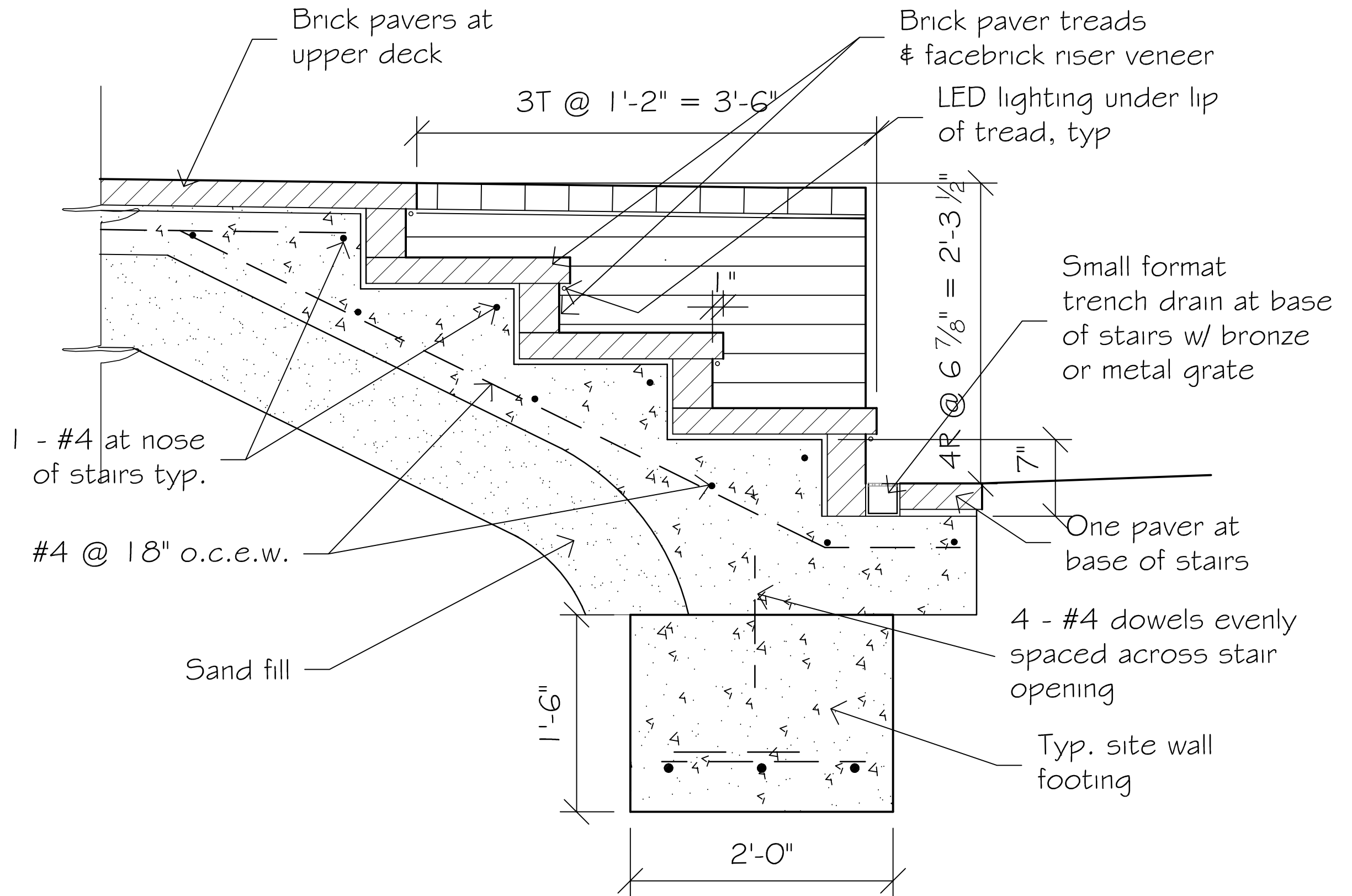
1/4" = 1'-0"



# F SITE WALL DETAIL

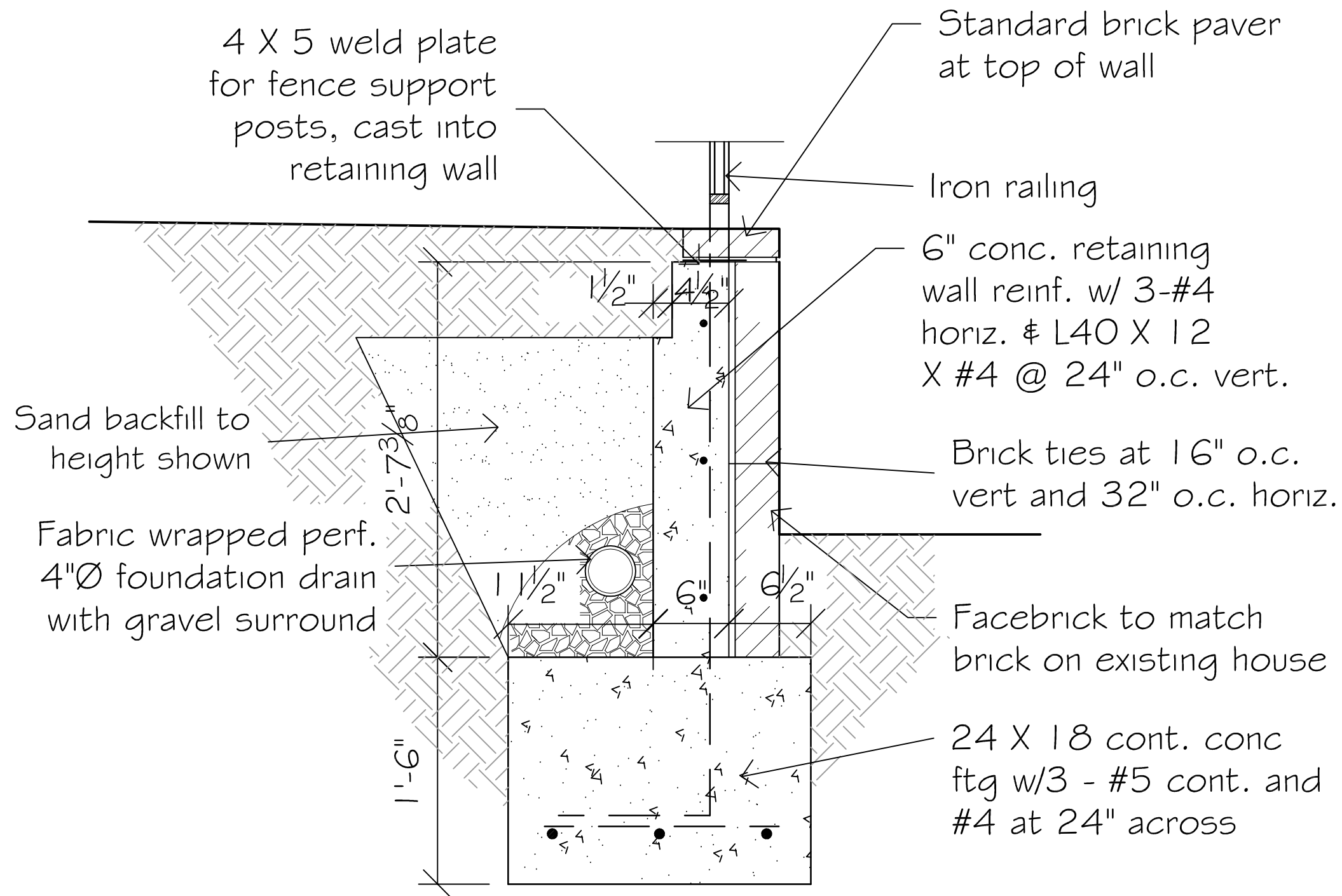
3/4" = 1'-0"





# G SITE STAIRS DETAIL

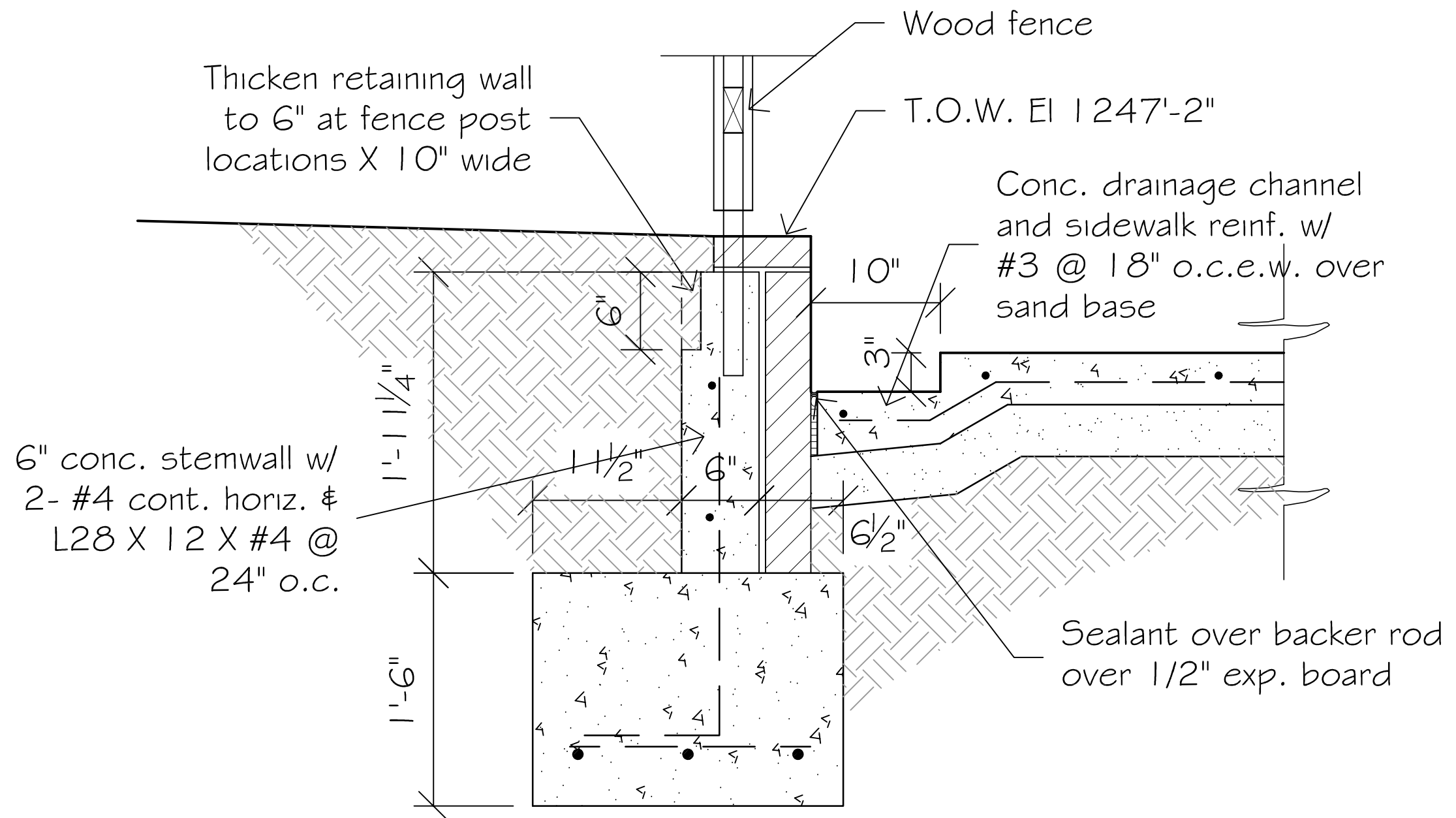
3/4" = 1'-0"



# H SITE WALL DETAIL

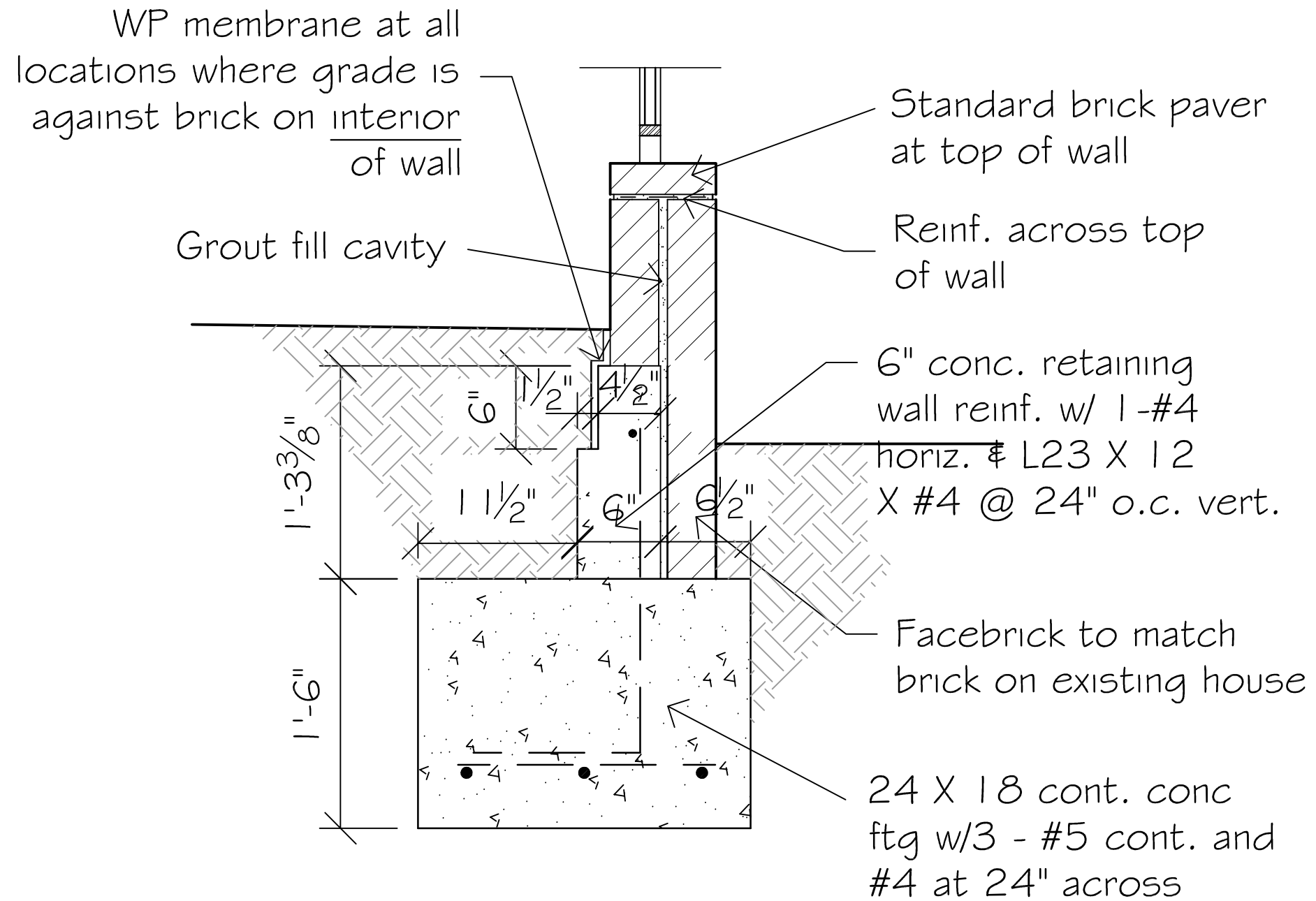
3/4" = 1'-0"





# J SITE WALL DETAIL

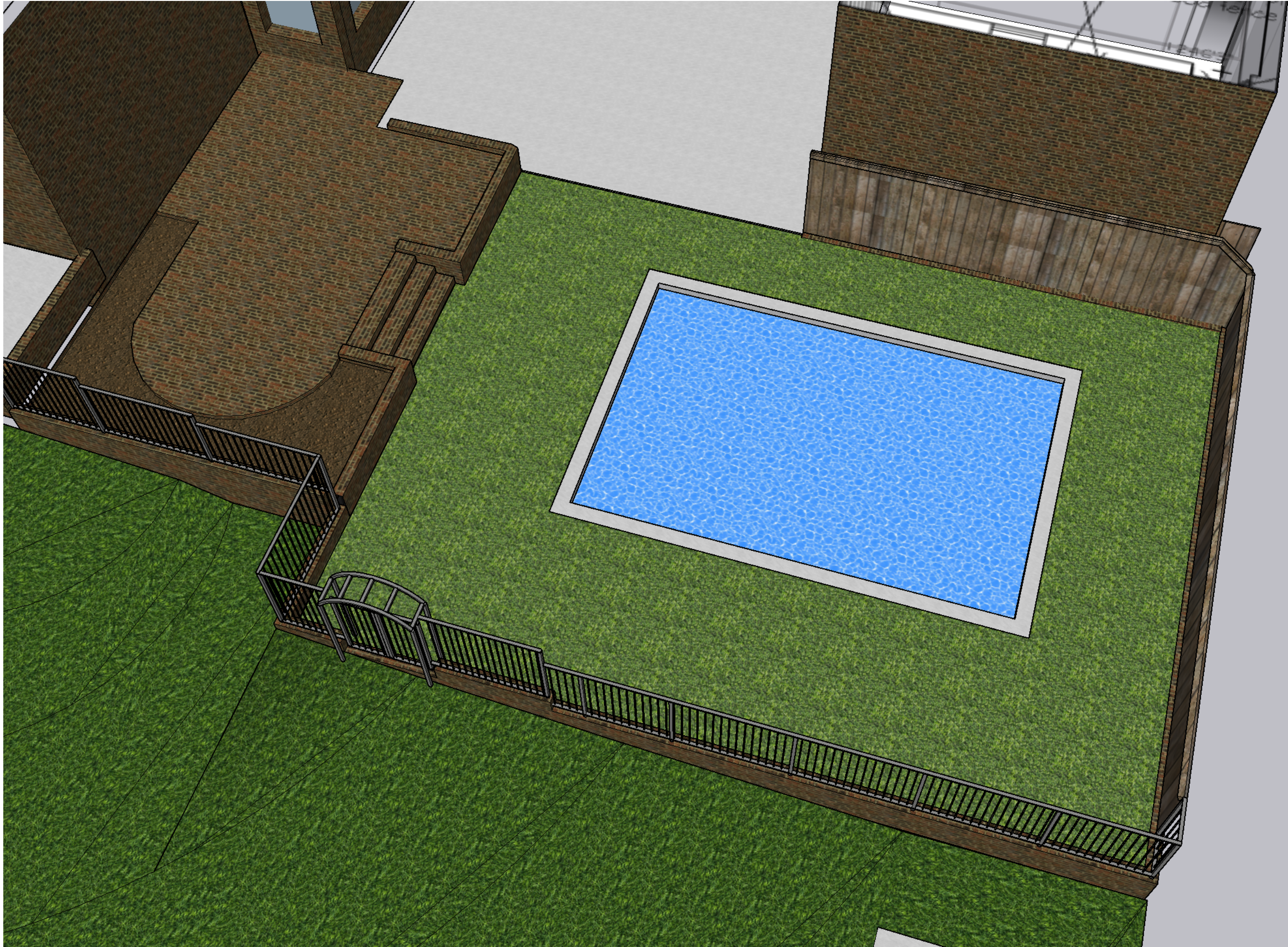
3/4" = 1'-0"



# K SITE WALL DETAIL

3/4" = 1'-0"

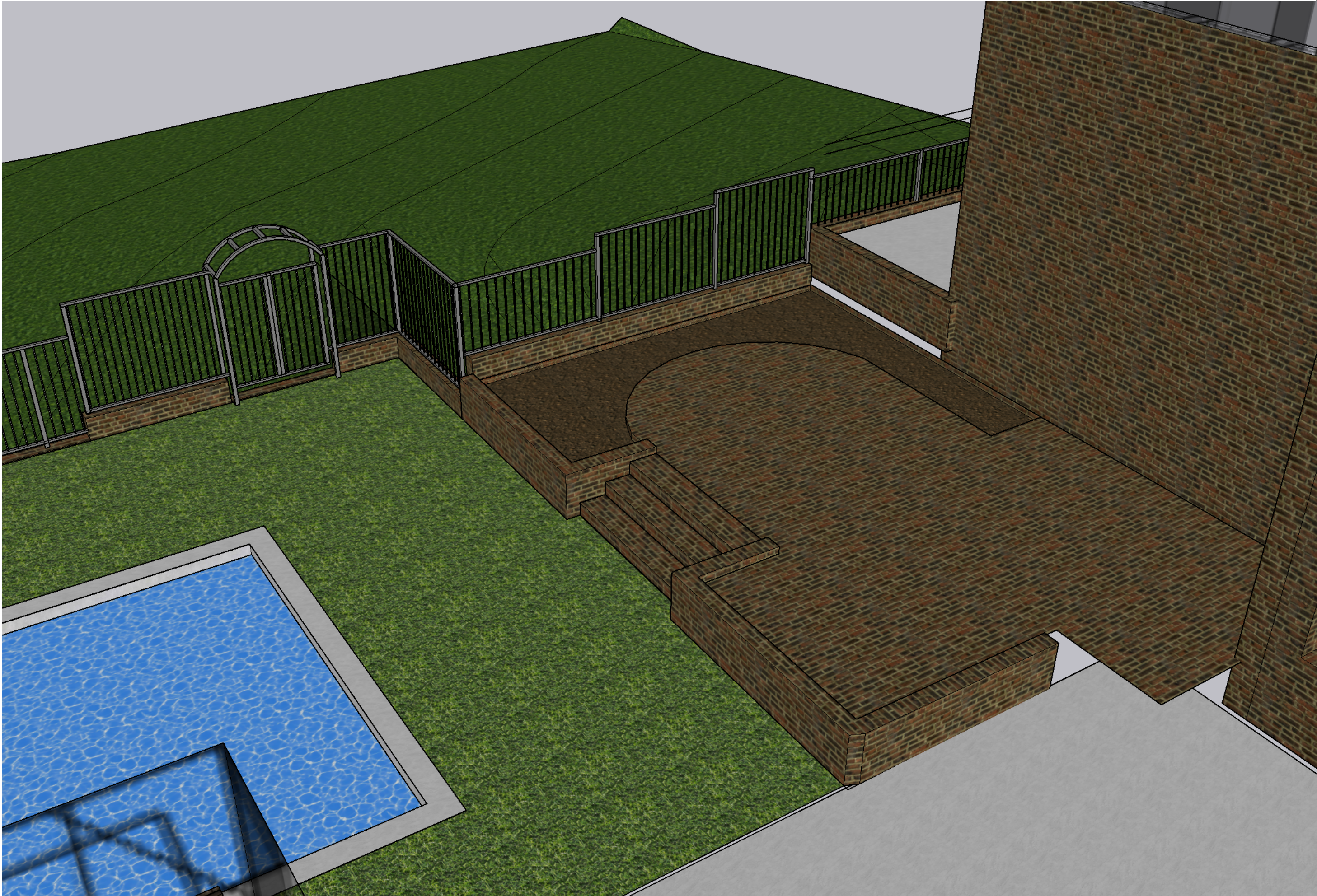




**Fellers Residence**  
1703 N Hudson Avenue Oklahoma City, Oklahoma

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