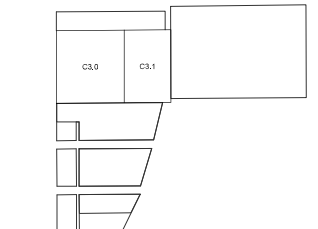


NO.	DESCRIPTION
C1.0	OVERALL SITE GENERAL LAYOUT
T8	TOPOGRAPHIC SURVEY
C2.0	DEMOLITION PLAN
C3.0-C3.1	SITE DIMENSIONAL PLAN
C4.0-C4.9	PAVING & GRADING PLAN
C5.0-C5.2	UTILITY PLAN
C6.0	DETAILS
D-300	STANDARD TYPICAL SECTIONS DRIVEWAY DETAILS
D-700A-D-700E	ADA CURB RAMP DETAILS
D-800B	STANDARD DETAILS
EC1-EC7	EROSION CONTROL PLAN
WF1-WF4	PUBLIC WATER LINE PLAN (NOT INCLUDED IN THIS SET)
PV1-PV5	PRIVATE STORM SEWER PLAN (NOT INCLUDED IN THIS SET)
P1-P7	PUBLIC PAVING PLAN (NOT INCLUDED IN THIS SET)

- GENERAL NOTES
1. ALL WORK PERFORMED AND MATERIALS SUPPLIED SHALL CONFORM TO THE SITE WORK SPECIFICATIONS. ANY WORK NOT COVERED IN THE SITE WORK SPECIFICATIONS SHALL CONFORM TO THE OKLAHOMA DEPARTMENT OF TRANSPORTATION CONSTRUCTION SPECIFICATIONS, LATEST EDITION.
 2. UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN CONSTRUCTION STAKING.
 3. ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION. ALL PAVEMENT STIPING SHALL BE FOUR (4) INCHES WIDE, UNLESS SHOWN OTHERWISE ON THE PLANS. ALL PARKING STIPING SHALL BE WHITE.
 4. UNLESS OTHERWISE STATED IN THE GENERAL CONDITIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TESTING. THE RESULTS OF THE TESTS SHALL BE FORWARDED TO THE ENGINEER FOR HIS REVIEW AND APPROVAL.
 5. THE CONTRACTOR SHALL PROVIDE A MEDIUM BROOM FINISH ON ALL CONCRETE WALKS, RAMPS AND PAVING SURFACES UNLESS OTHERWISE NOTED.
 6. THE CONTRACTOR MUST FILE A "NOTICE OF INTENT" WITH THE APPROPRIATE ADMINISTRATIVE AGENCY PRIOR TO COMMENCING EARTHWORK, CLEARING OR DEMOLITION OPERATIONS.
 7. THE CONTRACTOR SHALL SATISFY HIMSELF AS TO THE ACCURACY OF ALL SITE PLAN DIMENSIONS AND MEASUREMENTS AND SHALL CONFIRM THE ACCURACY AND LOCATION OF THE PROJECT BOUNDARY PRIOR TO CONSTRUCTION. ANY DISCREPANCIES DISCOVERED SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER/OF-RECORD FOR RESOLUTION PRIOR TO CONSTRUCTION.
 8. ALL DIMENSIONS ARE TO FACE-OF-CURB UNLESS OTHERWISE SPECIFIED.
 9. PARKING LOT LAYOUT IS PARALLEL AND PERPENDICULAR TO BUILDING ORIENTATION UNLESS OTHERWISE NOTED.
 10. SEE ARCHITECTURAL & STRUCTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
 11. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL EXISTING AND PROPOSED MANHOLES, PULL BOXES AND UTILITY APPURTENANCES TO THE PROPOSED GRADES SHOWN ON THE GRADING PLAN.



LEGAL DESCRIPTION

A tract of land being a part of the Southwest Quarter (SW/4) of Section Twenty-four (24), Township Twelve (12) North, Range Three (3) West of the Indian Meridian, Oklahoma City, Oklahoma County, Oklahoma, and being all of Lots 16-20 Block 1, Lots 1-28 Block 2 and all of N.E. 29th Street and a portion of N.E. 28th Street and a portion of Parkway as shown on LYON 2nd ADDITION according to the Plat recorded in Book 25 of plats, Page 25, said tract being more particularly described as follows:

COMMENCING at the Northwest (NW) corner of said SW/4;

THENCE South 00°38'49" East, along and with the West line of said SW/4, a distance of 165.91 feet to the extended North line of Lots 16-20 of said Block 1;

THENCE North 89°33'58" East, along and with the said extended North line, a distance of 43.00 feet to the Northwest (NW) Corner of said Lot 16 Block 1, said point being the POINT OF BEGINNING;

THENCE continuing North 89°33'58" East, along and with the North line of said Lot 16-20 Block 1, extended, a distance of 820.00 feet to the East right-of-way line of said Parkway (said right-of-way lying 40.00 feet East of the East line of said Block 1);

THENCE South 00°38'49" East, along and with the East right-of-way line of said Parkway (said right-of-way lying 40.00 feet East of the East line of said Block 1), a distance of 522.00 feet to the South right-of-way line of said N.E. 29th Street;

THENCE South 89°33'58" West, along and with the South line of said N.E. 29th Street, a distance of 820.00 feet to the East right-of-way line of Martin Luther King Avenue;

THENCE North 00°38'49" West, along and with the East right-of-way line of Martin Luther King Avenue and the West line of said Blocks 2 and 1, extended, a distance of 522.00 feet to the POINT OF BEGINNING.

Containing 428.036 square feet or 9.8264 acres, more or less.

Basis of Bearing: Grid North as established by state plane datum (Oklahoma State Plane North Zone NAD83). The West line of said SW/4 having a bearing of South 00°38'49" East. All distances are grid distances in U.S. Survey Feet.

ONE CALL UTILITY LOCATION NUMBER
840-6932
1-800-422-4543
This number is to be used for information on the location of all underground utilities. Contact this number and other numbers specified on this plan prior to any excavation.

CRESTON PARK

OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA

OVERALL SITE GENERAL LAYOUT

REVISIONS

DESCRIPTION

NO.

DATE

APPROVED BY

TIMOTHY W. JOHNSON

12277

OKLAHOMA

DESIGNED BY

JOHNSON & ASSOCIATES

1100 Broadway Ave., Suite 200

OKLAHOMA CITY, OKLAHOMA 73102

PHONE: (405) 241-1111 FAX: (405) 241-1112

WWW.JA-OKLAHOMA.COM

PROJECT NO.

840-6932

SCALE

1"=8'

CHECKED BY

EW

APPROVED BY

TW

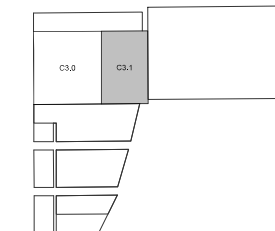
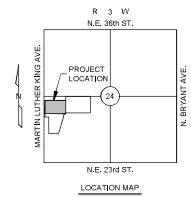
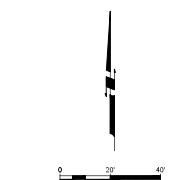
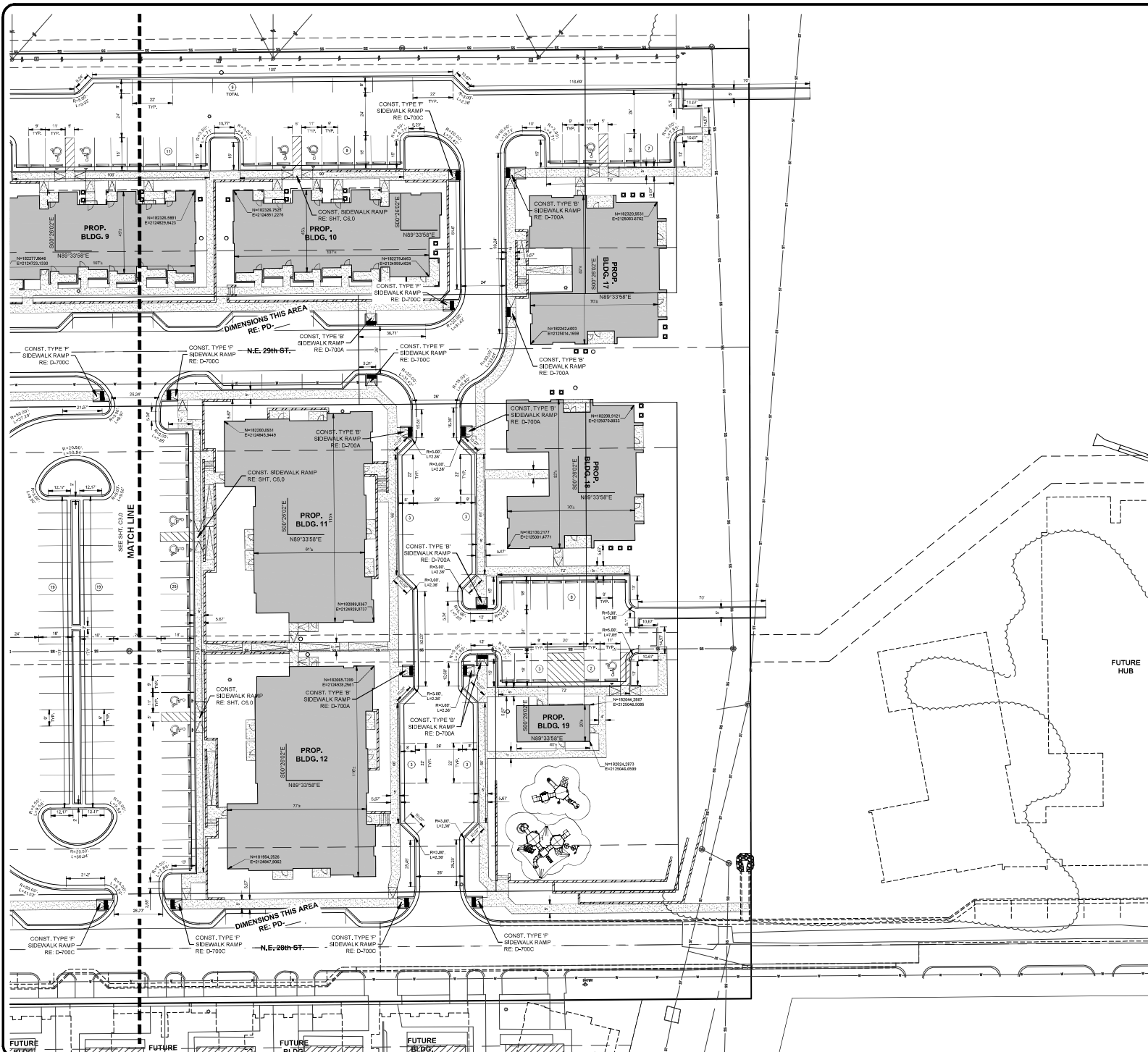
SHEET NUMBER

C1.0

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CRESTON PARK





KEY MAP

ONE CALL UTILITY LOCATION NUMBER
840-6932
1-800-424-4543
This number is to be used for information on the location of all underground utilities. Contact this number and other numbers specified in the plan prior to any excavation.

REVISIONS

NO.	DESCRIPTION	DATE
-----	-------------	------

PROFESSIONAL SEAL

TIMOTHY W. JOHNSON
13277
OKLAHOMA
REGISTERED PROFESSIONAL ENGINEER
EXPIRATION DATE: 04/30/2025

JOHNSON & ASSOCIATES

1100 Broadway Ave., Suite 200
Tulsa, Oklahoma 74103
TEL: 918.591.1111
WWW.JOHNSON-OKLAHOMA.COM
• PLANNING • DESIGN • CONSTRUCTION • MANAGEMENT

CRESTON PARK

OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA

SITE DIMENSIONAL PLAN

Proj. No.

840-6932

Date

06-05-2025

Scale

1"=20'

Checked By

EW
























Approved By

TW

SHEET NUMBER

C3.1

CHECKED BY:
DRAWN BY:

PLANT SCHEDULE				
SYMBOL	QTY	COMMON / BOTANICAL NAME	ROOT	SIZE
OPEN SPACE / SITE TREES				
	4	CRAPE MYRTLE 'NATCHEZ' / LAGERSTROEMIA INDICA 'NATCHEZ'	CONT.	1" CAL.
	5	MAIDENHAIR TREE / GINKGO BILOBA	CONT.	2" CAL.
	8	SOUTHERN LIVE OAK / QUERCUS VIRGINIANA	CONT.	8" HT.
PARKING LOT SHADE TREES				
	4	ARIZONA CYPRESS / CUPRESSUS ARIZONICA	CONT.	8" HT.
	10	LIVE OAK / QUERCUS VIRGINIANA	CONT.	8" HT.
	5	LOBLOLLY PINE / PINUS TAEDA	CONT.	8" HT.
	13	RED MAPLE 'AUTUMN BLAZE' / ACER RUBRUM 'AUTUMN BLAZE'	CONT.	2" CAL.
	3	SAWTOOTH OAK / QUERCUS ACUTISSIMA	CONT.	2" CAL.
STREETSCAPE BUFFER TREES				
	30	SHUMARD RED OAK / QUERCUS SHUMARDII	CONT.	2" CAL.
	4	SOUTHERN LIVE OAK / QUERCUS VIRGINIANA	CONT.	2" CAL.
	35	SOUTHERN RUSTY BLACKHAW / VIBURNUM RUFIDULUM	CONT.	2" CAL. MULT-TRUNK
SYMBOL	QTY	COMMON / BOTANICAL NAME	SIZE	SPACING
SHRUB AREAS				
	213	COMPACT HEAVENLY BAMBOO / NANDINA DOMESTICA 'COMPACTA'	3 GAL.	
	22	FROBEL SPIREA / SPIRAEA X BUMALDA 'FROEBELII'	3 GAL.	
	192	GLOSSY ABELIA / ABELIA X GRANDIFLORA	3 GAL.	
	196	GREEN TOWER® UPRIGHT BOXWOOD / BUXUS SEMPERVIRENS 'MONRUE'	3 GAL.	
	57	HETZ MIDGET ARBORVITAE / THUJA OCCIDENTALIS 'HETZ MIDGET'	3 GAL.	
	71	LITTLELEAF BOXWOOD / BUXUS MICROPHYLLA	3 GAL.	
	277	VERBENA / CANADENSIS	1 GAL.	
SYMBOL	QTY	COMMON / BOTANICAL NAME	SIZE	WATER USE
GROUND COVERS				
	226	LILY TURF / LIRIOPE MUSCARI	1 GAL.	
	1,115	PURPLE-LEAF WINTERCREEPER / EUONYMUS FORTUNEI 'COLORATUS'	1 GAL.	
	68 SF	SEASONAL COLOR / SEASONAL COLOR	4" POT	
MATERIAL				
		RIVER ROCK / RIVER ROCK	1"-3"	
SOOISEED				
	102,798 SF	TURF GRASS / SPECIES VARIES	SEED	

EDGER

1. ALL LANDSCAPE AREAS WILL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM. NO IRRIGATION LINE SHALL BE ALLOWED WITHIN THE DRIPLINE ON AN EXISTING TREE.
2. TREE TRUNKS AND FENCING MUST BE IN PLACE PRIOR TO THE CLEARING OF THE SITE OR ANY CONSTRUCTION MUST REMAIN UNTIL CONSTRUCTION IS COMPLETE. REFER TO CDM SHEETS FOR TREE PROTECTION FENCING LOCATIONS.
3. ALL EXISTING TREES SHALL BE MAINTAINED TO A MINIMUM CANOPY HEIGHT OF 10 FEET FROM THE EASEMENT.
4. CONTRACTOR TO PROVIDE AND INSTALL 6 INCHES OF APPROVED TOPSOIL TO ALL PLANTING AREAS.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED WITH A NATIVE GRASS MIX.
6. PRUNING ALL EXISTING TREES TO ELIMINATE DEAD OR BROKEN LIMBS THAT MIGHT BE HAZARDOUS TO PEDESTRIANS.
7. THE OWNER WILL CONTINUOUSLY MAINTAIN THE REQUIRED LANDSCAPING IN ACCORDANCE WITH CITY OF OKLAHOMA CITY CODES.
8. ALL EXISTING TREES SHALL BE MAINTAINED TO A MINIMUM CANOPY HEIGHT OF 10 FEET FROM THE EASEMENT. IF A STANDARD 6" CURB AND GUTTER ARE NOT PROVIDED FOR ALL VEHICLE USE AREAS AND ADJACENT LANDSCAPING AREAS, COMPLY WITH CITY OF OKLAHOMA CITY CODE REGARDING PROTECTION OF LANDSCAPE AREAS.
9. THE NATIVE GRASS MIX KODI WILL BE PLANTED FOR SOIL STABILIZATION.
10. IF MORE RESTRICTIVE WATERING RESTRICTIONS ARE IN EFFECT WHEN LANDSCAPE PLANTING IS BEING CONSIDERED, CONTACT THE LANDSCAPE INSPECTOR FOR THE CITY OF OKLAHOMA CITY FOR THE MOST RESTRICTIVE WATERING SCHEDULE (SEE CITY OF OKLAHOMA CITY CODES).
11. THE IRRIGATION WILL COMPLY WITH CITY OF OKLAHOMA CITY CODE REGARDING THE CITY'S WATER CONSERVATION RESTRICTIONS.

1. A MINIMUM OF 3 INCHES OF ORGANIC MULCH SHALL BE ADDED IN NON-TURF AREAS TO THE SOIL SURFACE AFTER PLANTING.
2. NON-POROUS MATERIAL, SUCH AS SHEET PLASTIC, SHALL NOT BE PLACED UNDER THE MULCH.
3. A MINIMUM OF 8 PERMEABLE SOIL, NATIVE OR IMPORTED, SHALL BE REQUIRED FOR TURF AND LANDSCAPE AREAS. THE ORGANIC MATTER CONTENT OF SUCH SOILS SHALL BE NOT LESS THAN 5% BY DRY WEIGHT.
4. TREE PLANTING AREAS TO BE PROMOTED WITH A MINIMUM OF 12 INCHES OF FRIBABLE TEXTURE DAMP SOIL (MINIMUM 40% CLAY, MINIMUM 5% ORGANIC MATTER). PLANTING AREAS WITH HEAVY CLAY OR SANDY SOILS IS ENCOURAGED. SOIL TO A MINIMUM DEPTH OF 12 INCHES IS REQUIRED WITHIN THE ENTIRE LANDSCAPE MEDIAN OR PENINSULA. ALL OTHER PLANTING AREAS MUST HAVE A MINIMUM SOIL DEPTH OF THIRTY INCHES WITH A RADIUS OF FIFTY FEET FROM THE TREE TRUNK. TREES ARE NOT TO BE PLANTED IN CALICHE, SODS, ROCK, OR IN SOILS WHOSE TEXTURE HAS BEEN COMPACTED BY CONSTRUCTION EQUIPMENT. AREAS OF COMPACTION WHICH ARE NOT BEING SUBSEQUENTLY AMENDED WITH 12 INCHES OF FRIBABLE TEXTURE SOIL ARE SUITABLE FOR PLANTING.

1. REMOVE UNPLANTED TREE TRUNK OR BRANCH FROM TREE TRUNK AND CROWN. REMOVE ANY TAGS OR LABELS. PRUNE SUCKERS OFF.
2. SET ROOTBALL LEVEL TO GRADE OR SLIGHTLY ABOVE GRADE (1/2" IF IN GRASS SOIL).
3. MALCH OR DEEP LEAVINGS 3" CIRCLE OF BARE SOIL AROUND TRUNK OF TREE.
4. REMOVE ALL PLANK BACK STUFFING, BURKAP OR PLASTIC EXPOSING ROOTBALL. REMOVE ALL NON-DEGRADABLE MATERIALS. DO NOT REMOVE SOIL FROM ROOTBALL.
5. BREAK UP SPOTS OF PLANTING HOLE.
6. REMOVE ALL PLANTING MATERIALS FROM PLANTING AREA. LEAVE BOTTOM OF PLANTING HOLE FIRM DO NOT FIRM SOIL, UNLESS PLANTING IN POOR OR SEVERELY DISTURBED SOIL, OR BUILDING RISES. USE WATER TO SETTLE SOIL AND REMOVE AIR POCKETS AND FIRM SET TREE.
7. IF THERE IS LESS THAN HEAVY QUAY SOIL, WINDY CONDITIONS, OR SO GREAT DRAINAGE TRUNK OR LARGE CROWN, IF STAKING IS NEEDED DUE TO THESE CONDITIONS:
 - a. STAKE WITH 2 X HARDWOOD STAKES OR APPROVED EQUIV. DRIVEN 6' - 8' OUTSIDE OF ROOTBALL.
 - b. STAKE TRUNK TO TAKE TREE TRUNK TO ALLOW FOR TRUNK FLEXING.
 - c. STAKE TREES JUST BELOW FIRST BRANCH WITH 2" X 4" WHITE BOLT. NYLON OR PLASTIC STRAPS 2 PER TREE ON OPPOSITE SIDES OF TREE. CONNECT FROM TREE TO STAKE HORIZONTALLY. DO NOT USE ROPS (WIRE TIED THROUGH A HOLE).
 - d. REMOVE ALL STAKING MATERIALS AFTER ONE YEAR.

1. ALL TREES AND NATURAL AREAS SHOWN ON PLAN TO BE PRESERVED SHALL BE PROTECTED DURING CONSTRUCTION WITH TEMPORARY FENCING
2. PROTECTIVE FENCES SHALL BE ERECTED ACCORDING TO CITY OF OKLAHOMA CITY STANDARDS FOR TREE PROTECTION.
3. PROTECTIVE FENCES SHALL BE INSTALLED PRIOR TO THE START OF ANY SITE PREPARATION WORK (CLEANING, GRUBBING OR GRADING), AND SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF THE CONSTRUCTION PROJECT.
4. EROSION AND SEDIMENTATION CONTROL BARRIERS SHALL BE INSTALLED OR MAINTAINED IN A MANNER WHICH DOES NOT RESULT IN SOIL BUILDUP WITHIN TREE DRIP LINES.
5. PROTECTIVE FENCES SHALL SURROUND THE TREES OR GROUPS OF TREES AND WILL BE LOCATED AT THE OUTERMOST LIMIT OF BRANCHES (DRIP LINE), FOR NATURAL AREAS. PROTECTIVE FENCES SHALL FOLLOW THE LIMIT OF CONSTRUCTION LINE. IN ORDER TO PREVENT THE FOLLOWING:
 - a. SOIL COMPACTION IN THE ROOT ZONE AREA RESULTING FROM VEHICULAR TRAFFIC OR STORAGE OF EQUIPMENT OR MATERIALS.
 - b. ROOT SYSTEM DISTURBANCES DUE TO GRADE CHANGES (GREATER THAN 6 INCHES CUT OR FILL), OR TRENCING NOT REVIEWED AND AUTHORIZED BY THE CITY ARBORIST.
 - c. WOUNDS TO EXPOSED ROOTS, TRUNK OR LIMBS BY MECHANICAL EQUIPMENT.
 - d. OTHER ACTIVITIES DETRIMENTAL TO TREES SUCH AS CHEMICAL STORAGE, GEMENT TRUCK CLEANING AND FIRES.
6. IN ORDER TO INSTALLING FENCES AT TREE DRIP LINES MAY BE PERMITTED IN THE FOLLOWING CASES:
 - a. WHERE THERE IS TO AN APPROVED GRADE CHANGE, IMPERMEABLE PAVING SURFACE, TREE WELL, OR OTHER SUCH SITE DEVELOPMENT, ERECT THE FENCE APPROXIMATELY 2 TO 4 FEET BEYOND THE AREA DISTURBED.
 - b. WHERE THERE ARE TO BE INSTALLED WITHIN A TRUNK OR LIMB, ERECT THE FENCE AT THE OUTER LIMITS OF THE PERMEABLE PAVING AREA (PRIOR TO SITE GRADING) SO THAT THIS AREA IS GRADED SEPARATELY PRIOR TO PAVING/INSTALLATION TO MINIMIZE ROOT DAMAGE).
 - c. WHERE TREES ARE CLOSE TO PROPOSED BUILDINGS, ERECT THE FENCE TO ALLOW 2 TO 10 FEET OF WORK SPACE BETWEEN THE FENCE AND THE BUILDING.
7. WHERE THERE ARE SEVERE SPACE CONSTRAINTS DUE TO TRACT SIZE, OR OTHER SPECIAL REQUIREMENTS, CONTACT THE CITY ARBORIST TO DISCUSS ALTERNATIVES.
8. **SPECIAL NOTE: FOR THE PROTECTION OF NATURAL AREAS, NO EXCEPTIONS TO INSTALLING FENCES AT THE LIMIT OF CONSTRUCTION LINE WILL BE ACCEPTED.**
9. WHERE ANY OF THE ABOVE EXCEPTIONS RESULT IN A FENCE BEING CLOSER THAN 4 FEET TO A TREE TRUNK, PROTECT THE TRUNK WITH STRAPPED-ON PLANNING TO A HEIGHT OF 8 FT (OR TO THE LIMITS OF LOWER BRANCHING). IN ADDITION TO THE REDUCED FENCING PROVIDED.
10. TREES APPROVED FOR REMOVAL SHALL BE REMOVED IN A MANNER WHICH DOES NOT IMPACT TREES TO BE PRESERVED.
11. ALL ROOTS EXPOSED BY CONSTRUCTION SHALL BE PROTECTED WITH MULCH WITH QUALITY TOP SOIL AS SOON AS POSSIBLE. IF EXPOSED ROOT AREAS ARE NOT BACKFILLED WITHIN 2 DAYS, COVER THEM WITH ORGANIC MATERIAL IN A MANNER WHICH REDUCES SOIL TEMPERATURE AND MINIMIZES WATER LOSS DUE TO EVAPORATION.
12. MULCH SHALL BE APPLIED FOR PROTECTION OF EXPOSED ROOTS. MULCH APPLICATION SHALL BE PLACED AS FAR FROM EXISTING TREE TRUNKS AS POSSIBLE.
13. NO LANDSCAPE TOPSOIL DRESSING GREATER THAN 4 INCHES SHALL BE PERMITTED WITHIN THE DRIP LINE OF TREES. NO SOIL IS PERMITTED ON THE ROOT FLARE OF ANY TREE.
14. IN ORDER TO PROVIDE CLEARANCE FOR STRUCTURES, VEHICULAR TRAFFIC AND EQUIPMENT SHALL TAKE PLACE BEFORE DAMAGE OCCURS (SPRING OF BRANCHES, ETC.).
15. ALL FINISHED PAVING SHALL BE DONE ACCORDING TO RECOGNIZED, APPROVED STANDARDS OF THE INDUSTRY (REFERENCE THE NATIONAL ARBORIST ASSOCIATION PRUNING STANDARDS FOR SHADE TREES AVAILABLE ON REQUEST FROM THE CITY ARBORIST).
16. VIOLATIONS OF THE ABOVE NOTES MAY BE CONSIDERED ORDINANCE VIOLATIONS IF THERE IS SUBSTANTIAL, NON-COMPLIANCE OR IF A TREE SUSTAINS DAMAGE AS A RESULT.

1. PRIOR TO EXCAVATION WITHIN TREE PROZONES OR, THE REMOVAL OF TREES ADJACENT TO OTHER TREES THAT ARE TO REMAIN, MAKE A CLEAN CUT BETWEEN THE DISTURBED AND UNDISTURBED ROOT ZONES WITH A ROCK SAW OR SIMILAR EQUIPMENT TO MINIMIZE ROOT DAMAGE.
2. IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION WITH FENCING, AND WHERE HEAVY VEHICULAR TRAFFIC IS ANTICIPATED, COVER THOSE AREAS WITH FOUR (4) INCHES OF ORGANIC MULCH TO BE PRODUCED ON SITE TO MINIMIZE SOIL COMPACTION.
3. PERFORM ALL GRADING WITHIN CRITICAL ROOT ZONE AREAS WITH SMALL EQUIPMENT TO MINIMIZE ROOT DAMAGE.
4. WATER ALL TREES MOST HEAVILY IMPACTED BY CONSTRUCTION ACTIVITIES DEEPLY AS NECESSARY DURING PERIODS OF HOT, DRY WEATHER. SPRAY TREE CROWNS AND WATER PERIODICALLY TO REDUCE SOIL ACCUMULATION ON THE TRUNKS.
5. WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.

1. TREES WILL BE FERTILIZED PRIOR TO ANY CONSTRUCTION ACTIVITY. MATERIALS AND METHODS ARE TO BE APPROVED BY THE CITY ARBORIST PRIOR TO APPLICATION.
2. THE GENERAL CONTRACTOR SHALL SELECT A FERTILIZATION CONTRACTOR AND INSURE COOPERATION WITH THE CITY ARBORIST, WITHIN 7 DAYS AFTER FERTILIZATION PERFORMED. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION OF THE WORK PERFORMED TO THE CITY ARBORIST.
3. ALL CLASS 1 TREES (WHICH OR ADJACENT TO) THE LIMITS OF CONSTRUCTION WHICH ARE INDICATED TO BE PRESERVED (ON THE PLANS) WILL BE FERTILIZED PRIOR TO THE BEGINNING OF CONSTRUCTION ACTIVITIES AND AGAIN AFTER THE COMPLETION OF ALL CONSTRUCTION. AREAS TO BE FERTILIZED INCLUDE THE ENTIRE CROWN ROOT ZONE OF A TREE AS DEPICTED ON THE CITY APPROVED PLANS. TREES ARE TO BE FERTILIZED VIA SOIL INJECTION METHOD (MINIMUM 100 PSI), USING DODGETT LAC INJECTANT 32-2-0 OR EQUIVALENT AT RECOMMENDED RATES. CONSTRUCTION THAT WILL BE COMPLETED IN LESS THAN 90 DAYS SHOULD USE MATERIALS AT INJECTED RATES. ALTERNATIVE ORGANIC FERTILIZATION METHODS ARE ACCEPTABLE WHEN APPROVED BY THE CITY ARBORIST.

1. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED SO THAT:
 - (a) THERE IS NOT CROPPED OVERLAY ON NON-IRRIGATION AREAS.
 - (b) THE SYSTEM DOES NOT INCLUDE SPRINKLER ORHEADS LESS THAN FOUR (4) FEET WIDE (SUCH AS MEDJANS, BUFFER STRIPS, AND PARKING LOT ISLANDS).
2. (c) ABOVE GROUND IRRIGATION EMISION DEVICES ARE SET BACK AT LEAST FOUR (4) INCHES FROM IMPERVIOUS SURFACES.
3. (d) THE IRRIGATION SYSTEM SHALL HAVE A MASTER VALVE LOCATED DOWNSTREAM OF THE BACKFLOW PREVENTION DEVICE.
4. (e) CROPP REMOTE CONTROL VALVES ARE ADJACENT TO PAVED AREAS WHERE ELEVATION DIFFERENCES MAY CAUSE LOW HEAD DRAINAGE.
5. (f) SERVICEABLE IN-HEAD CHECK VALVES ARE ADJACENT TO PAVED AREAS WHERE ELEVATION DIFFERENCES MAY CAUSE LOW HEAD DRAINAGE.
6. (g) THE IRRIGATION SYSTEM SHALL BE PROVIDED WITH AN AUTOMATIC BACKFLOW PREVENTER.
7. (h) AN AUTOMATIC PAIN SENSOR DEVICE SHUTS OFF THE IRRIGATION SYSTEM AUTOMATICALLY AFTER NOT MORE THAN ONE-ONEHALF (1 1/2) INCH RAINFALL.
8. (i) ZONE VALVES AND CIRCUITS ARE SEPARATED BASED ON PLANT WATER REQUIREMENTS AND IRRIGATE AT THE SAME PRECIPITATION RATE.
9. (j) THE IRRIGATION EMISION DEVICE (SUCH AS SPRAY, ROTOR, OR GRIP Emitter) DOES NOT EXCEED THE MANUFACTURER'S RECOMMENDED OPERATING PRESSURE AND
10. (k) NO COMPONENT OF THE IRRIGATION SYSTEM DERIVED FROM THE MANUFACTURER'S RECOMMENDED USE OF THE PRODUCT.
11. 2. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED SO THAT:
 - (a) THERE IS NOT CROPPED OVERLAY ON NON-IRRIGATION AREAS.
 - (b) THE SYSTEM DOES NOT INCLUDE SPRINKLER ORHEADS LESS THAN FOUR (4) FEET WIDE (SUCH AS MEDJANS, BUFFER STRIPS, AND PARKING LOT ISLANDS).
12. 3. ALL SPRAY HEADS SHALL PROVIDE HEAD TO HEAD COVERAGE, A SQUARE FEET OF HEADS SHALL NOT EXCEED THE RADIIUS OF THROW OF THE HEADS AS DETERMINED BY THE MANUFACTURER.
13. 4. THE IRRIGATION INSTALLER SHALL DEVELOP AND PROVIDE AN AS-BUILT DESIGN PLAN, THE MANUFACTURER'S MANUAL, FOR THE AUTOMATIC CONTROLLER, A SEASONAL WATERING SCHEDULE, AND WATER BUDGET TO THE CITY AT THE TIME THE FINAL PLUMBING INSPECTION IS PERFORMED. THE WATER BUDGET SHALL INCLUDE:
 - (a) A CHART CONTAINING ZONE NUMBERS, PRECIPITATION RATE, AND GALLONS PER MINUTE; AND
 - (b) THE LOCATION OF THE EMERGENCY IRRIGATION SYSTEM SHUT-OFF VALVE.
14. 5. A MAINTAINED COPY OF WATER BUDGET SHALL BE PERMANENTLY INSTALLED INSIDE THE IRRIGATION CONTROL DOOR.

0.02

BY:

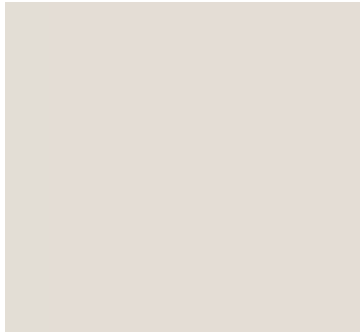
CEMENTITIOUS



BRICK
RED RIVER
V160



BRICK
RED RIVER
V500



SHOJI WHITE
SW 7042



GAUNTLET GRAY
SW 7019



URBANE BRONZE
SW 7048



WOODTONE
ASPEN RIDGE



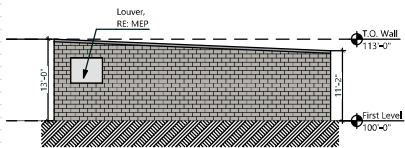
GECKO
SW 6719



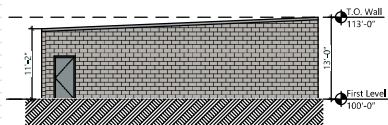
SPICED CIDER
SW 7702



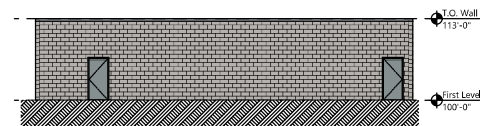
GREEN ONYX
SW 9128



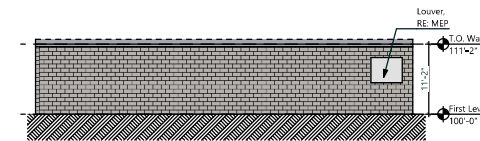
01 South Elevation
Scale: 1/8" = 1'-0"



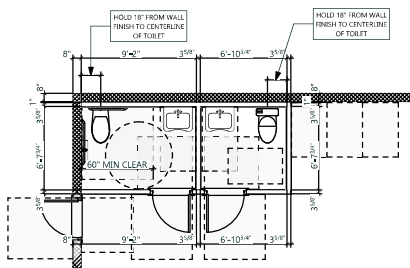
07 North Elevation
Scale: 1/8" = 1'-0"



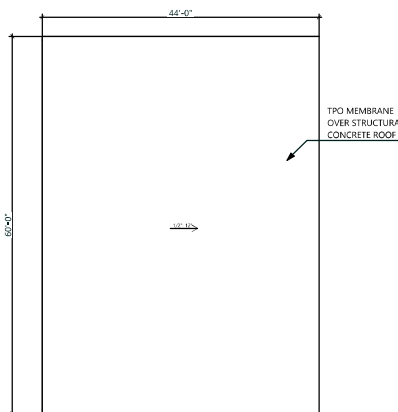
02 West Elevation
Scale: 1/8" = 1'-0"



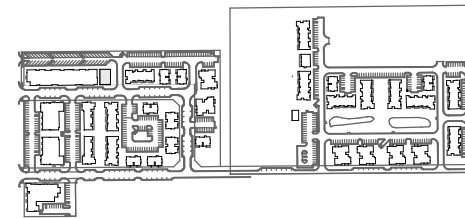
08 East Elevation
Scale: 1/8" = 1'-0"



25 Enlarged Restroom Plans
Scale: 1/4" = 1'-0"

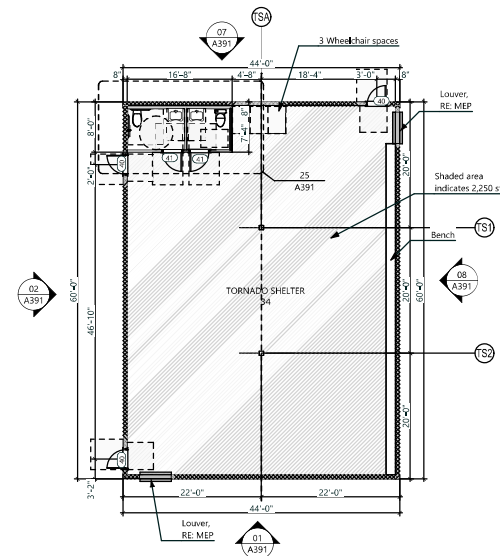


27 Tornado Shelter Roof
Scale: 1/8" = 1'-0"



05 Key Plan Tornado
Scale: 1" = 200'

TORNADO SHELTER CALCULATIONS	
PROJECT SUMMARY	
TOTAL BEDROOMS	340 BEDROOMS
OCCUPANTS REQUIRED (1.3 PER BEDROOM)	518 OCCUPANTS
OCCUPANTS PROVIDED	518 OCCUPANTS
TORNADO SHELTER 01	
BUILDING USABLE SF	2,250 SF
1.3 NSF PER OCCUPANT =	410 OCCUPANTS
EGRESS REQUIRED (OCCUPANT x 2)	820 INCHES WIDE MIN.
EGRESS PROVIDED (20 3'-0" EXIT DOORS = 32' x 3)	96 INCHES WIDE
TORNADO SHELTER 02 / MAINTENANCE BUILDING	
BUILDING USABLE SF	300 SF
1.3 NSF PER OCCUPANT =	40 OCCUPANTS
EGRESS REQUIRED (OCCUPANT x 2)	12 INCHES WIDE MIN.
EGRESS PROVIDED (20 3'-0" EXIT DOORS = 32' x 2)	64 INCHES WIDE
NOTE: SHELTERS MUST BE IN ACCORDANCE WITH ICC 500 AND OKLAHOMA CITY REQUIREMENTS	



29 Tornado Shelter Plan
Scale: 1/8" = 1'-0"

ENLARGED FLOOR PLAN TORNADO SHELTER

BUILDING PLAN NOTES AND LEGEND

- ALL BUILDING PLAN DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
- ALL CEILING HEIGHTS TO BE 8'-0" UNLESS NOTED OTHERWISE.
- REFER TO STRUCTURE FOR LOCATION OF LOAD BEARING WALLS AND PARTY WALLS.
- CONCRETE JOINTS TO BE 4'-0" MAX UNLESS NOTED OTHERWISE. REFER TO PLANS FOR LOCATIONS AND ASK FOR DETAILS.

TYPE "A" ACCESSIBLE UNIT

FURF-DOWN LOCATIONS

MASONRY VENER ON 5 1/2" LEDGE

COND. X

DOOR TYPE

STOREFRONT TYPE

WINDOW TYPE

DOWNSPOUT

FLOOR DRAIN

OVERFLOW DRAIN

FIRE EXTINGUISHER CABINET. 4" MAX PROJECTION ON EGRESS ROUTES. 75# MAX TRAVEL DISTANCE OR AS DIRECTED BY FIRE OFFICIAL. 3" SURFACE MOUNTED ALONG ACCESSIBLE ROUTES.

BOTTOM OF EXTINGUISHER CABINET MUST BE WITHIN MAX 27" AFF. OR HAVE CANS DETECTION DEVICE.

EXTERIOR BUILDING LIGHT

FIRE DEPARTMENT CONNECTION OR STANDPIPE

ELEVATION GENERAL NOTES

- ALL EXTERIOR BRICK, PANEL, AND SIDING TO WRAP CORNERS AND TERMINATE AT INSIDE CORNERS. TYPICAL UNLESS NOTED OTHERWISE.
- A VERTICAL BRICK CONTROL JOINT TO BESET AT ALL BRICK TO BRICK INSIDE CORNERS. TYPICAL AND AS SHOWN. 3" SEPARATION MAX.
- ALL ROP ROOF ROOF PENETRATIONS TO BE PAINTED TO MATCH ADJACENT ROOF COLOR.
- EXTERIOR COLOR PACKAGE TO BE ISSUED AT A LATER DATE.

MATERIAL LEGEND

ID	MATERIAL	COLOR
1A	BRICK	RED RIVER BRICK V160
1B	BRICK	RED RIVER BRICK V500
2A	FIBER CEMENT PANEL	SW 7042 SHOJI WHITE
2B	FIBER CEMENT PANEL	SW 7019 GAUNTLET GRAY
2C	FIBER CEMENT PANEL WITH ALTERNATING BATTENS	SW 7019 GAUNTLET GRAY
2D	FIBER CEMENT PANEL	SW 6719 GECKO
3A	8" FIBER CEMENT SIDING	SW 7042 SHOJI WHITE
3B	4" FIBER CEMENT SIDING	SW 7019 GAUNTLET GRAY
3C	8" FIBER CEMENT SIDING	SW 7019 GAUNTLET GRAY
3D	8" FIBER CEMENT SIDING	SW 9128 GREEN ONYX
4A	4" COMPOSITE WOOD SIDING	WOODTONE - ASPEN RIDGE
5A	RAILING TYPE A	SW 7048 URBANE BRONZE
5B	RAILING TYPE B	SW 7048 URBANE BRONZE
5C	RAILING TYPE C	SW 7048 URBANE BRONZE
5D	RAILING TYPE D	SW 7048 URBANE BRONZE
6A	METAL AWNING	SW 7048 URBANE BRONZE
6B	WOOD AWNING	SW 7048 URBANE BRONZE
7A	WOOD BALCONY	SW 7042 SHOJI WHITE
7B	WOOD BALCONY	SW 7019 GAUNTLET GRAY
8A	TPO MEMBRANE ROOF	
8B	COMPOSITION ROOF	
9A	PERGOLA	
9B	BURNISHED BLOCK LANDSCAPING WALL	

ROOF PLAN NOTES AND LEGEND

- ROOF OVERHANGS Varies. RE. ROOF PLANS FOR DIMENSIONS.
- TYP. ROOF SLOPE Varies. TYPICAL LOW SLOPE ROOF IS 1/2" PER FT. ALL CRICKETS TO BE BUILT UP WITH TYPED INSULATION AT 7" PER FT. (TWICE THE MAIN ROOF SLOPE) MIN. OR WOOD FRAMED. SLOPE Varies.
- PREFINISHED ALUMINUM GUTTERS AND DOWNSPOUTS TYP. ALL COMPOSITION ROOF EAVES TO BE FULLY GUTTERED.
- PROVIDE 1 HR. RATED ATTIC ACCESS HATCH INTO CONCEALED ATTIC SPACE. REFER TO TOP FLOOR PLAN AND/OR ROOF PLAN FOR ACCESS. LOCATION COORDINATE LOCATIONS WITH ROOF FRAMING PLANS. PROVIDE 30" MIN. CLEAR HEADROOM AT ACCESS.
- THE MINIMUM REQUIRED NET FREE VENTILATION AREA SHALL BE 1/150 OF THE TOTAL ATTIC AREA. VENTED WITH BOTH UPPER AND LOWER VENTILATION. TYP. FOR LOW SLOPE ROOFS. VENT WITH BOTH INTAKE AND EXHAUST VENTILATION. DRAFTSTOP CONSTRUCTION MAY CONSIST OF 1 LAYER OF 1/2" OSB BOARD OR ONE LAYER OF OSB ANCHORED TO WOOD ROOF TRUSSES AND INSTALLED WHERE SHOWN ON ROOF PLANS. TYP. DRAFTSTOP AREA NOT TO EXCEED 3000 SF OR 3 UNITS (MAY INCLUDE CORRIDOR). DRAFTSTOPPING IS NOT REQUIRED BY SPINNED-UP ATTICS.

ROOF INTAKE VENT 482 SQ IN

INDICATES ROOF SLOPE DIRECTION

RIDGE VENT (18 SQ TRAPT NFA)

DRAFTSTOP

HORIZONTAL DRAFTSTOP ACCESS

CONDUCTOR HEAD

OVERFLOW SCUPPER

DOWNSPOUT LOCATION

GUTTER

ROOF CONDENSER

ROOF EXHAUST VENT 482 SQ IN

ROOF VENT WITH NET FREE AREA OF 144 SQ IN

SCUPPER VENT (12.7 SQ IN/FT NFA)

LOCATION OF WALKING PADS

LOCATION OF TPO ROOFING

AREA DESIGNATION

ATTIC ACCESS HATCH 32" X 34" MIN.

ROOF ACCESS HATCH 16 SF MIN

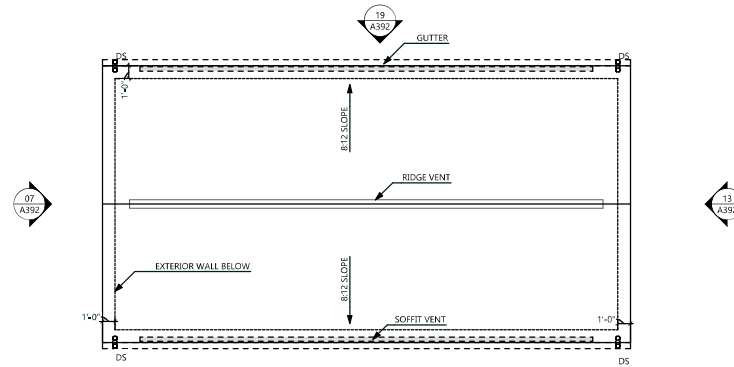
TORNADO SHELTER CALCULATIONS

PROJECT SUMMARY	
TOTAL BEDROOMS	340 BEDROOMS
OCCUPANTS REQUIRED (1.5 PER BEDROOM)	510 OCCUPANTS
OCCUPANTS PROVIDED	510 OCCUPANTS

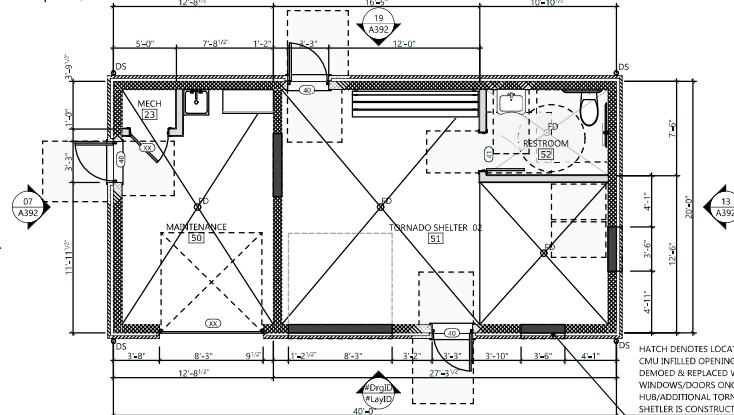
TORNADO SHELTER 01	
BUILDING USABLE SF	2,250 SF
1.5 NSF PER OCCUPANT	650 OCCUPANTS
FURFES REQUIRED (OCCUPANT X 2)	90 INCHES WIDE MIN.
FURFES PROVIDED (10 3'-0" X 10'-0" DOORS = 30' X 3')	90 INCHES WIDE

TORNADO SHELTER 02 / MAINTENANCE BUILDING	
BUILDING USABLE SF	200 SF
1.5 NSF PER OCCUPANT	40 OCCUPANTS
FURFES REQUIRED (OCCUPANT X 2)	12 INCHES WIDE MIN.
FURFES PROVIDED (10 3'-0" X 10'-0" DOORS = 30' X 3')	64 INCHES WIDE

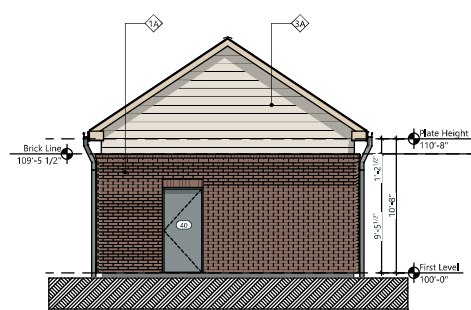
NOTE: SHELTERS MUST BE IN ACCORDANCE WITH ICC 500 AND OKLAHOMA CITY REQUIREMENTS.



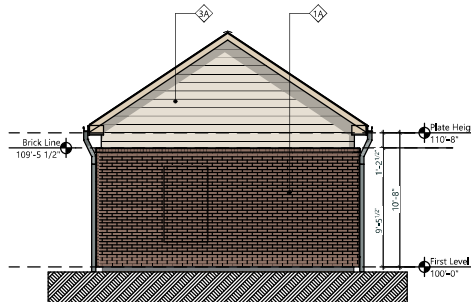
21 Tornado Shelter 02/ Maintenance Roof
Scale: 1/4" = 1'-0"



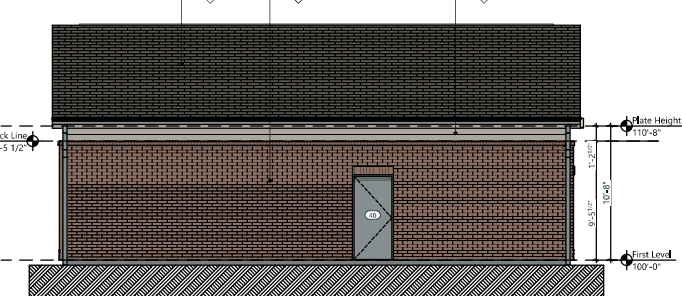
27 Tornado Shelter 02/ Maintenance Plan
Scale: 1/4" = 1'-0"



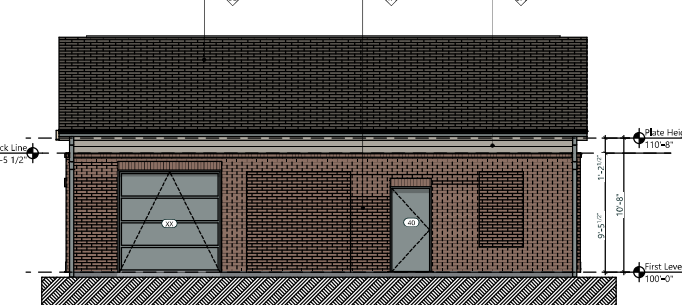
07 West Elevation
Scale: 1/4" = 1'-0"



13 East Elevation
Scale: 1/4" = 1'-0"



19 North Elevation
Scale: 1/4" = 1'-0"



25 South Elevation
Scale: 1/4" = 1'-0"



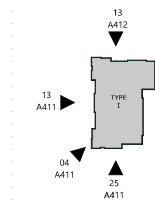
04 Perspective
Scale: 1" = 40'



13 Building Type I - West Elevation
Scale: 1/8" = 1'-0"



25 Building Type I - South Elevation
Scale: 1/8" = 1'-0"



06 Key Plan Bldg Type I
Scale: 1/64" = 1'-0"

ELEVATION GENERAL NOTES

- ALL EXTERIOR BRICK PANEL AND SIDING TO WRAP CORNERS AND TERMINATE AT INSIDE CORNERS TYPICAL, UNLESS NOTED OTHERWISE.
- A VERTICAL BRICK CONTROL JOINT TO EXIST AT ALL BRICK TO BRICK INSIDE CORNERS TYPICAL, AND AS SHOWN, IF SPANATION MARK.
- ALL MAP ROOF PIPE PENETRATIONS TO BE PAINTED TO MATCH ADJACENT ROOF COLOR.
- EXTERIOR COLOR PACKAGE TO BE ISSUED AT A LATER DATE.

MATERIAL LEGEND

ID	MATERIAL	COLOR
1A	BRICK	RED RIVER BRICK V160
1B	BRICK	RED RIVER BRICK VS00
2A	FIBER CEMENT PANEL	SW 7042 SHOJI WHITE
2B	FIBER CEMENT PANEL	SW 7019 GAUNTLET GRAY
2C	FIBER CEMENT PANEL WITH ALTERNATING BATTENS	SW 7019 GAUNTLET GRAY
2D	FIBER CEMENT PANEL	SW 6719 GECKO
2E	FIBER CEMENT PANEL	SW 7702 SPICED CIDER
3A	8" FIBER CEMENT SIDING	SW 7042 SHOJI WHITE
3B	4" FIBER CEMENT SIDING	SW 7019 GAUNTLET GRAY
3C	8" FIBER CEMENT SIDING	SW 7019 GAUNTLET GRAY
3D	8" FIBER CEMENT SIDING	SW 9128 GREEN ONYX
4A	4" COMPOSITE WOOD SIDING	WOODTONE - ASPEN RIDGE
5A	RAILING TYPE A	SW 7048 URBANE BRONZE
5B	RAILING TYPE B	SW 7048 URBANE BRONZE
5C	RAILING TYPE C	SW 7048 URBANE BRONZE
5D	RAILING TYPE D	SW 7048 URBANE BRONZE
6A	METAL AWNING	SW 7048 URBANE BRONZE
6B	WOOD AWNING	SW 7048 URBANE BRONZE
7A	WOOD BALCONY	SW 7042 SHOJI WHITE
7B	WOOD BALCONY	SW 7019 GAUNTLET GRAY
8A	TPO MEMBRANE ROOF	
8B	COMPOSITION ROOF	
9A	PERGOLA	
9B	BURNISHED BLOCK LANDSCAPING WALL	

BUILDING I FACADE CALCULATIONS

NORTH ELEVATION	
FIBER CEMENT FACADE	1,345 SF / 32%
BRICK FACADE	1,481 SF / 40%
TOTAL FACADE	2,826 SF / 100%
WEST ELEVATION	
FIBER CEMENT FACADE	2,739 SF / 37%
BRICK FACADE	3,048 SF / 47%
TOTAL FACADE	5,787 SF / 100%
SOUTH ELEVATION	
FIBER CEMENT FACADE	1,907 SF / 21%
BRICK FACADE	815 SF / 29%
TOTAL FACADE	2,722 SF / 100%
EAST ELEVATION	
FIBER CEMENT FACADE	2,638 SF / 67%
BRICK FACADE	1,355 SF / 23%
TOTAL FACADE	4,183 SF / 100%
TOTAL BUILDING	
FIBER CEMENT FACADE	8,109 SF / 99%
BRICK FACADE: 400,000, STOCKED	5,800 SF / 41%
TOTAL FACADE	14,219 SF / 100%

ELEVATIONS - TYPE I

06 | Key Plan Bldg Type I

Scale: 1/64" = 1'-0"

ELEVATION GENERAL NOTES

1. ALL EXTERIOR BRICK PANEL AND SIDING TO WRAP CORNERS AND TERMINATE AT INSIDE CORNERS; TYPICAL, UNLESS NOTED OTHERWISE.
2. A VERTICAL BRICK CONTROL JOINT TO EXIST AT ALL BRICK TO BRICK INSIDE CORNERS, TYPICAL, AND AS SHOWN, IF SPANATION MARK.
3. ALL MEP ROOF PIPE PENETRATIONS TO BE PAINTED TO MATCH ADJACENT ROOF COLOR.
4. EXTERIOR COLOR PACKAGE TO BE ISSUED AT A LATER DATE.

MATERIAL LEGEND

ID	MATERIAL	COLOR
1A	BRICK	RED RIVER BRICK V160
1B	BRICK	RED RIVER BRICK V500
2A	FIBER CEMENT PANEL	SW 7042 SHOJI WHITE
2B	FIBER CEMENT PANEL	SW 7019 GAUNTLET GRAY
2C	FIBER CEMENT PANEL WITH ALTERNATING BATTENS	SW 7019 GAUNTLET GRAY
2D	FIBER CEMENT PANEL	SW 6719 GECKO
2E	FIBER CEMENT PANEL	SW 7702 SPICED CIDER
3A	8" FIBER CEMENT SIDING	SW 7042 SHOJI WHITE
3B	4" FIBER CEMENT SIDING	SW 7019 GAUNTLET GRAY
3C	8" FIBER CEMENT SIDING	SW 7019 GAUNTLET GRAY
3D	8" FIBER CEMENT SIDING	SW 9128 GREEN ONYX
4A	4" COMPOSITE WOOD SIDING	WOODTONE - ASPEN RIDGE
5A	RAILING TYPE A	SW 7048 URBANE BRONZE
5B	RAILING TYPE B	SW 7048 URBANE BRONZE
5C	RAILING TYPE C	SW 7048 URBANE BRONZE
5D	RAILING TYPE D	SW 7048 URBANE BRONZE
6A	METAL AWNING	SW 7048 URBANE BRONZE
6B	WOOD AWNING	SW 7048 URBANE BRONZE
7A	WOOD BALCONY	SW 7042 SHOJI WHITE
7B	WOOD BALCONY	SW 7019 GAUNTLET GRAY
8A	TPO MEMBRANE ROOF	
8B	COMPOSITION ROOF	
9A	PERGOLA	
9B	BURNISHED BLOCK LANDSCAPING WALL	

BUILDING I FACADE CALCULATIONS

NORTH ELEVATION	
FIBER CEMENT FACADE	1,341 SF / 32%
BRICK FACADE	1,481 SF / 40%
TOTAL FACADE	2,822 SF / 100%
WEST ELEVATION	
FIBER CEMENT FACADE	2,739 SF / 57%
BRICK FACADE	3,048 SF / 47%
TOTAL FACADE	5,787 SF / 100%
SOUTH ELEVATION	
FIBER CEMENT FACADE	1,907 SF / 21%
BRICK FACADE	815 SF / 29%
TOTAL FACADE	2,722 SF / 100%
EAST ELEVATION	
FIBER CEMENT FACADE	2,618 SF / 67%
BRICK FACADE	1,565 SF / 23%
TOTAL FACADE	4,183 SF / 100%
TOTAL BUILDING	
FIBER CEMENT FACADE	8,109 SF / 99%
BRICK FACADE: 400,000, STOCKED	5,893 SF / 41%
TOTAL FACADE	14,212 SF / 100%

ELEVATIONS - TYPE I

Creston Park
N. Martin Luther King Ave. and cross streets NE 28th and NE 29th
Oklahoma City, Oklahoma

Oklahoma City
Housing Authority

Project Number: 2018003
Drawn By: N.Rajend
Issue For:

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Date Issue Name Date

13 | Building Type I - North Elevation

Scale: 1/8" = 1'-0"



25 | Building Type I - East Elevation

Scale: 1/8" = 1'-0"



A412



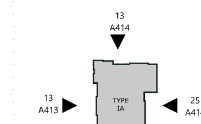
04 Perspective
Scale: 1" = 40'



13 Building Type IA - West Elevation
Scale: 1/8" = 1'-0"



25 Building Type IA - South Elevation
Scale: 1/8" = 1'-0"



06 Key Plan Bldg Type IA
Scale: 1/64" = 1'-0"

ELEVATION GENERAL NOTES

1. ALL EXTERIOR BRICK PANEL AND SIDING TO WRAP CORNERS AND TERMINATE AT INSIDE CORNERS; TYPICAL, UNLESS NOTED OTHERWISE.
2. A VERTICAL BRICK CONTROL JOINT TO EXIST AT ALL BRICK TO BRICK INSIDE CORNERS; TYPICAL, AND AS SHOWN, IF SPANATION MARK.
3. ALL MAP ROOF PIPE PENETRATIONS TO BE PAINTED TO MATCH ADJACENT ROOF COLOR.
4. EXTERIOR COLOR PACKAGE TO BE ISSUED AT A LATER DATE.

MATERIAL LEGEND

ID	MATERIAL	COLOR
1A	BRICK	RED RIVER BRICK V160
1B	BRICK	RED RIVER BRICK V500
2A	FIBER CEMENT PANEL	SW 7042 SHOUL WHITE
2B	FIBER CEMENT PANEL	SW 7019 GAUNTLET GRAY
2C	FIBER CEMENT PANEL WITH ALTERNATING BATTENS	SW 7019 GAUNTLET GRAY
2D	FIBER CEMENT PANEL	SW 6719 GECKO
2E	FIBER CEMENT PANEL	SW 7702 SPICED CIDER
3A	8" FIBER CEMENT SIDING	SW 7042 SHOUL WHITE
3B	4" FIBER CEMENT SIDING	SW 7019 GAUNTLET GRAY
3C	8" FIBER CEMENT SIDING	SW 7019 GAUNTLET GRAY
3D	8" FIBER CEMENT SIDING	SW 9128 GREEN ONYX
4A	4" COMPOSITE WOOD SIDING	WOODTONE - ASPEN RIDGE
5A	RAILING TYPE A	SW 7048 URBANE BRONZE
5B	RAILING TYPE B	SW 7048 URBANE BRONZE
5C	RAILING TYPE C	SW 7048 URBANE BRONZE
5D	RAILING TYPE D	SW 7048 URBANE BRONZE
6A	METAL AWNING	SW 7048 URBANE BRONZE
6B	WOOD AWNING	SW 7048 URBANE BRONZE
7A	WOOD BALCONY	SW 7042 SHOUL WHITE
7B	WOOD BALCONY	SW 7019 GAUNTLET GRAY
8A	TPO MEMBRANE ROOF	
8B	COMPOSITION ROOF	
9A	PERGOLA	
9B	BURNISHED BLOCK LANDSCAPING WALL	

BUILDING IA FACADE CALCULATIONS

NORTH ELEVATION	
FIBER CEMENT FACADE	1,345 SF / 32%
BRICK FACADE	1,481 SF / 48%
TOTAL FACADE	2,826 SF / 100%
WEST ELEVATION	
FIBER CEMENT FACADE	2,339 SF / 37%
BRICK FACADE	3,908 SF / 47%
TOTAL FACADE	6,247 SF / 100%
SOUTH ELEVATION	
FIBER CEMENT FACADE	1,907 SF / 37%
BRICK FACADE	815 SF / 29%
TOTAL FACADE	2,722 SF / 100%
EAST ELEVATION	
FIBER CEMENT FACADE	2,638 SF / 67%
BRICK FACADE	1,265 SF / 23%
TOTAL FACADE	3,903 SF / 100%
TOTAL BUILDING	
FIBER CEMENT FACADE	8,109 SF / 99%
BRICK FACADE	400,300 SF / 41%
TOTAL FACADE	14,219 SF / 100%

ELEVATIONS - TYPE IA



1. ALL EXTERIOR BRICK, PANEL AND SIDING TO WRAP CORNERS AND TERMINATE AT INSIDE CORNERS; TYPICAL, UNLESS NOTED OTHERWISE.
2. A VERTICAL BRICK CONTROL JOINT TO EXIST AT ALL BRICK TO BRICK INSIDE CORNERS TYPICAL AND AS SHOWN, 3" SEPARATION MAX.
3. ALL MEP ROOF PIPE PENETRATIONS TO BE PAINTED TO MATCH ADJACENT ROOF COLOR.
4. EXTERIOR COLOR PACKAGE TO BE ISSUED AT A LATER DATE.

BUILDING 1A FACADE CALCULATIONS	
NORTH ELEVATION	
FIBER CEMENT FACADE	1,245 SF / 52%
BRICK FACADE	1,431 SF / 48%
TOTAL FACADE	2,676 SF / 100%
WEST ELEVATION	
FIBER CEMENT FACADE	2,238 SF / 53%
BRICK FACADE	2,048 SF / 47%
TOTAL FACADE	4,287 SF / 100%
SOUTH ELEVATION	
FIBER CEMENT FACADE	1,951 SF / 71%
BRICK FACADE	815 SF / 29%
TOTAL FACADE	2,772 SF / 100%
EAST ELEVATION	
FIBER CEMENT FACADE	2,618 SF / 63%
BRICK FACADE	1,665 SF / 37%
TOTAL FACADE	4,183 SF / 100%
TOTAL BUILDING	
FIBER CEMENT FACADE	8,359 SF / 59%
BRICK FACADE AND WDN. REQUIRED	5,659 SF / 41%
TOTAL FACADE	14,018 SF / 100%

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ELEVATIONS - TYPE IA





07 Bldg Type III - Overall North Elevation
Scale: 1/16" = 1'-0"



10 Building Type III - Perspective 01
NOT TO SCALE

05 Key Plan Bldg Type III
Scale: 1/64" = 1'-0"

- ELEVATION GENERAL NOTES**
1. ALL EXTERIOR BRICK PANEL AND SIDING TO WRAP CORNERS AND TERMINATE AT INSIDE CORNERS; TYPICAL, UNLESS NOTED OTHERWISE.
 2. A VERTICAL BRICK CONTROL JOINT TO EXIST AT ALL BRICK TO BRICK INSIDE CORNERS; TYPICAL, AND AS SHOWN, IF SPANATION MARK.
 3. ALL MAP ROOF PIPE PENETRATIONS TO BE PAINTED TO MATCH ADJACENT ROOF COLOR.
 4. EXTERIOR COLOR PACKAGE TO BE ISSUED AT A LATER DATE.

MATERIAL LEGEND		
ID	MATERIAL	COLOR
1A	BRICK	RED RIVER BRICK V160
1B	BRICK	RED RIVER BRICK V500
2A	FIBER CEMENT PANEL	SW 7042 SHOJI WHITE
2B	FIBER CEMENT PANEL	SW 7019 GAUNTLET GRAY
2C	FIBER CEMENT PANEL WITH ALTERNATING BATTENS	SW 7019 GAUNTLET GRAY
2D	FIBER CEMENT PANEL	SW 6719 GECKO
2E	FIBER CEMENT PANEL	SW 7072 SPICED CIDER
3A	8" FIBER CEMENT SIDING	SW 7042 SHOJI WHITE
3B	4" FIBER CEMENT SIDING	SW 7019 GAUNTLET GRAY
3C	8" FIBER CEMENT SIDING	SW 7019 GAUNTLET GRAY
3D	8" FIBER CEMENT SIDING	SW 9128 GREEN ONYX
4A	4" COMPOSITE WOOD SIDING	WOODTONE - ASPEN RIDGE
5A	RAILING TYPE A	SW 7048 URBANE BRONZE
5B	RAILING TYPE B	SW 7048 URBANE BRONZE
5C	RAILING TYPE C	SW 7048 URBANE BRONZE
5D	RAILING TYPE D	SW 7048 URBANE BRONZE
6A	METAL AWNING	SW 7048 URBANE BRONZE
6B	WOOD AWNING	SW 7048 URBANE BRONZE
7A	WOOD BALCONY	SW 7042 SHOJI WHITE
7B	WOOD BALCONY	SW 7019 GAUNTLET GRAY
8A	TPO MEMBRANE ROOF	
8B	COMPOSITION ROOF	
9A	PERGOLA	
9B	BURNISHED BLOCK LANDSCAPING WALL	

13 Bldg Type III - North Elevation
Scale: 1/8" = 1'-0"



25 Bldg Type III - North Elevation
Scale: 1/8" = 1'-0"



28 Bldg Type III - West Elevation
Scale: 1/8" = 1'-0"

BUILDING III FACADE CALCULATIONS		
NORTH ELEVATION		
FIBER CEMENT FACADE	6,501 SF / 61%	
BRICK FACADE	3,472 SF / 32%	
TOTAL FACADE	10,473 SF / 100%	
WEST ELEVATION		
FIBER CEMENT FACADE	1,598 SF / 59%	
BRICK FACADE	705 SF / 21%	
TOTAL FACADE	2,303 SF / 100%	
SOUTH ELEVATION		
FIBER CEMENT FACADE	6,013 SF / 59%	
BRICK FACADE	4,215 SF / 41%	
TOTAL FACADE	10,228 SF / 100%	
EAST ELEVATION		
FIBER CEMENT FACADE	805 SF / 29%	
BRICK FACADE	1,532 SF / 61%	
TOTAL FACADE	2,337 SF / 100%	
TOTAL BUILDING		
FIBER CEMENT FACADE	14,834 SF / 59%	
BRICK FACADE (40% MIN. REQUIRED)	10,248 SF / 41%	
TOTAL FACADE	25,082 SF / 100%	



07 Bldg Type III - Overall South Elevation
Scale: 1/16" = 1'-0"



10 Building Type III - Perspective 02
NOT TO SCALE

05 Key Plan Bldg Type III
Scale: 1/64" = 1'-0"

ELEVATION GENERAL NOTES

1. ALL EXTERIOR BRICK PANEL AND SIDING TO WRAP CORNERS AND TERMINATE AT INSIDE CORNERS; TYPICAL, UNLESS NOTED OTHERWISE.
2. A VERTICAL BRICK CONTROL JOINT TO EXIST AT ALL BRICK TO BRICK INSIDE CORNERS, TYPICAL, AND AS SHOWN, IF SPANATION MARK.
3. ALL MAP ROOF PIPE PENETRATIONS TO BE PAINTED TO MATCH ADJACENT ROOF COLOR.
4. EXTERIOR COLOR PACKAGE TO BE ISSUED AT A LATER DATE.

MATERIAL LEGEND

ID	MATERIAL	COLOR
1A	BRICK	RED RIVER BRICK V160
1B	BRICK	RED RIVER BRICK V500
2A	FIBER CEMENT PANEL	SW 7042 SHOJI WHITE
2B	FIBER CEMENT PANEL	SW 7019 GAUNTLET GRAY
2C	FIBER CEMENT PANEL WITH ALTERNATING BATTENS	SW 7019 GAUNTLET GRAY
2D	FIBER CEMENT PANEL	SW 6719 GECKO
2E	FIBER CEMENT PANEL	SW 7702 SPICED CIDER
3A	8" FIBER CEMENT SIDING	SW 7042 SHOJI WHITE
3B	4" FIBER CEMENT SIDING	SW 7019 GAUNTLET GRAY
3C	8" FIBER CEMENT SIDING	SW 7019 GAUNTLET GRAY
3D	8" FIBER CEMENT SIDING	SW 9128 GREEN ONYX
4A	4" COMPOSITE WOOD SIDING	WOODTONE - ASPEN RIDGE
5A	RAILING TYPE A	SW 7048 URBANE BRONZE
5B	RAILING TYPE B	SW 7048 URBANE BRONZE
5C	RAILING TYPE C	SW 7048 URBANE BRONZE
5D	RAILING TYPE D	SW 7048 URBANE BRONZE
6A	METAL AWNING	SW 7048 URBANE BRONZE
6B	WOOD AWNING	SW 7048 URBANE BRONZE
7A	WOOD BALCONY	SW 7042 SHOJI WHITE
7B	WOOD BALCONY	SW 7019 GAUNTLET GRAY
8A	TPO MEMBRANE ROOF	
8B	COMPOSITION ROOF	
9A	PERGOLA	
9B	BURNISHED BLOCK LANDSCAPING WALL	



13 Bldg Type III - South Elevation
Scale: 1/8" = 1'-0"



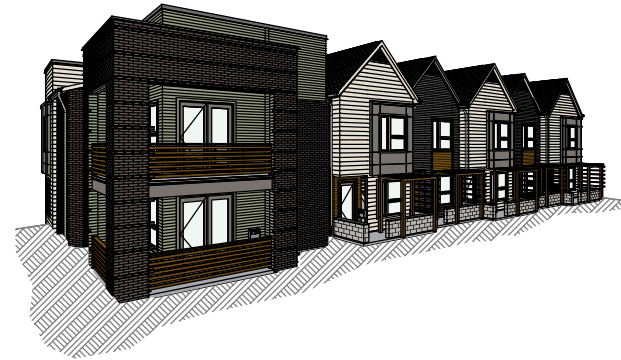
25 Bldg Type III - South Elevation
Scale: 1/8" = 1'-0"



27 Bldg Type III - East Elevation
Scale: 1/8" = 1'-0"

BUILDING III FACADE CALCULATIONS

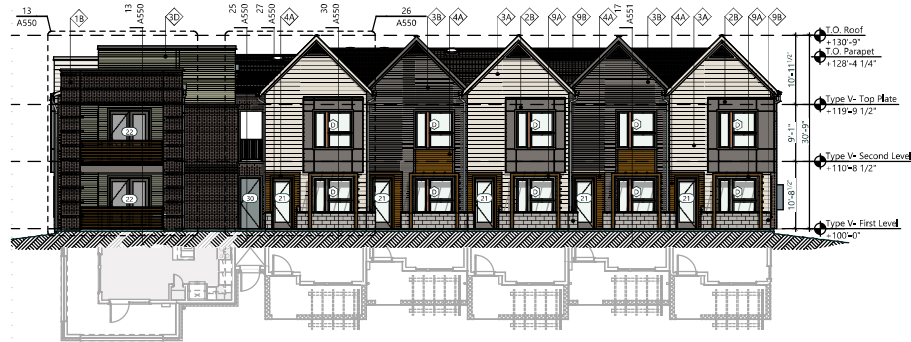
NORTH ELEVATION	
FIBER CEMENT FACADE	6,501 SF / 61%
BRICK FACADE	3,472 SF / 32%
TOTAL FACADE	10,473 SF / 100%
WEST ELEVATION	
FIBER CEMENT FACADE	1,598 SF / 69%
BRICK FACADE	705 SF / 31%
TOTAL FACADE	2,303 SF / 100%
SOUTH ELEVATION	
FIBER CEMENT FACADE	6,013 SF / 59%
BRICK FACADE	4,215 SF / 41%
TOTAL FACADE	10,228 SF / 100%
EAST ELEVATION	
FIBER CEMENT FACADE	802 SF / 29%
BRICK FACADE	1,522 SF / 61%
TOTAL FACADE	2,324 SF / 100%
TOTAL BUILDING	
FIBER CEMENT FACADE	14,834 SF / 59%
BRICK FACADE (40% MIN. REQUIRED)	10,244 SF / 41%
TOTAL FACADE	25,078 SF / 100%



09 Building Type V - Perspective 01
NOT TO SCALE



13 Building Type V - South Elevation
Scale: 1/8" = 1'-0"



25 Building Type V - North Elevation
Scale: 1/8" = 1'-0"



16 Building Type V - West Elevation
Scale: 1/8" = 1'-0"



28 Building Type V - East Elevation
Scale: 1/8" = 1'-0"

06 Key Plan Bldg Type V
Scale: 1/64" = 1'-0"

ELEVATION GENERAL NOTES

1. ALL EXTERIOR BRICK PANEL AND SIDING TO WRAP CORNERS AND TERMINATE AT INSIDE CORNERS; TYPICAL, UNLESS NOTED OTHERWISE.
2. A VERTICAL BRICK CONTROL JOINT TO EXIST AT ALL BRICK TO BRICK INSIDE CORNERS, TYPICAL, AND AS SHOWN, 3/8" SPANATION MAX.
3. ALL MAP ROOF PIPE PENETRATIONS TO BE PAINTED TO MATCH ADJACENT ROOF COLOR.
4. EXTERIOR COLOR PACKAGE TO BE ISSUED AT A LATER DATE.

MATERIAL LEGEND

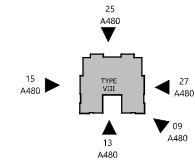
ID	MATERIAL	COLOR
1A	BRICK	RED RIVER BRICK V160
1B	BRICK	RED RIVER BRICK V500
2A	FIBER CEMENT PANEL	SW 7042 SHOJI WHITE
2B	FIBER CEMENT PANEL	SW 7019 GAUNTLET GRAY
2C	FIBER CEMENT PANEL WITH ALTERNATING BATTENS	SW 7019 GAUNTLET GRAY
2D	FIBER CEMENT PANEL	SW 6719 GECKO
2E	FIBER CEMENT PANEL	SW 7027 SPICED CIDER
3A	8" FIBER CEMENT SIDING	SW 7042 SHOJI WHITE
3B	4" FIBER CEMENT SIDING	SW 7019 GAUNTLET GRAY
3C	8" FIBER CEMENT SIDING	SW 7019 GAUNTLET GRAY
3D	8" FIBER CEMENT SIDING	SW 9128 GREEN ONYX
4A	4" COMPOSITE WOOD SIDING	WOODTONE - ASPEN RIDGE
5A	RAILING TYPE A	SW 7048 URBANE BRONZE
5B	RAILING TYPE B	SW 7048 URBANE BRONZE
5C	RAILING TYPE C	SW 7048 URBANE BRONZE
5D	RAILING TYPE D	SW 7048 URBANE BRONZE
6A	METAL AWNING	SW 7048 URBANE BRONZE
6B	WOOD AWNING	SW 7048 URBANE BRONZE
7A	WOOD BALCONY	SW 7042 SHOJI WHITE
7B	WOOD BALCONY	SW 7019 GAUNTLET GRAY
8A	TPO MEMBRANE ROOF	
8B	COMPOSITION ROOF	
9A	PERGOLA	
9B	BURNISHED BLOCK LANDSCAPING WALL	

BUILDING V FACADE CALCULATIONS

NORTH ELEVATION	
FIBER CEMENT FACADE	1,599 SF / 23%
BRICK FACADE	645 SF / 22%
TOTAL FACADE	2,484 SF / 100%
WEST ELEVATION	
FIBER CEMENT FACADE	553 SF / 64%
BRICK FACADE	308 SF / 36%
TOTAL FACADE	861 SF / 100%
SOUTH ELEVATION	
FIBER CEMENT FACADE	1,197 SF / 33%
BRICK FACADE	1,655 SF / 47%
TOTAL FACADE	2,862 SF / 100%
EAST ELEVATION	
FIBER CEMENT FACADE	511 SF / 49%
BRICK FACADE	522 SF / 51%
TOTAL FACADE	1,033 SF / 100%
TOTAL BUILDING	
FIBER CEMENT FACADE	3,860 SF / 60%
BRICK FACADE (40% MIN. REQUIRED)	2,540 SF / 40%
TOTAL FACADE	6,400 SF / 100%



09 Perspective
Scale: 1:320



06 Key Plan Bldg Type VIII
Scale: 1/64" = 1'-0"

ELEVATION GENERAL NOTES

1. ALL EXTERIOR BRICK PANEL AND SIDING TO WRAP CORNERS AND TERMINATE AT INSIDE CORNERS; TYPICAL, UNLESS NOTED OTHERWISE.
2. A VERTICAL BRICK CONTROL JOINT TO EXIST AT ALL BRICK TO BRICK INSIDE CORNERS, TYPICAL AND AS SHOWN, IF SPANNING MULTIPLE STORIES.
3. ALL MAP ROOF PIPE PENETRATIONS TO BE PAINTED TO MATCH ADJACENT ROOF COLOR.
4. EXTERIOR COLOR PACKAGE TO BE ISSUED AT A LATER DATE.

MATERIAL LEGEND

ID	MATERIAL	COLOR
1A	BRICK	RED RIVER BRICK V160
1B	BRICK	RED RIVER BRICK V500
2A	FIBER CEMENT PANEL	SW 7042 SHOJI WHITE
2B	FIBER CEMENT PANEL	SW 7019 GAUNTLET GRAY
2C	FIBER CEMENT PANEL WITH ALTERNATING BATTENS	SW 7019 GAUNTLET GRAY
2D	FIBER CEMENT PANEL	SW 6719 GECKO
2E	FIBER CEMENT PANEL	SW 7702 SPICED CIDER
3A	8" FIBER CEMENT SIDING	SW 7042 SHOJI WHITE
3B	4" FIBER CEMENT SIDING	SW 7019 GAUNTLET GRAY
3C	8" FIBER CEMENT SIDING	SW 7019 GAUNTLET GRAY
3D	8" FIBER CEMENT SIDING	SW 9128 GREEN ONYX
4A	4" COMPOSITE WOOD SIDING	WOODTONE - ASPEN RIDGE
5A	RAILING TYPE A	SW 7048 URBANE BRONZE
5B	RAILING TYPE B	SW 7048 URBANE BRONZE
5C	RAILING TYPE C	SW 7048 URBANE BRONZE
5D	RAILING TYPE D	SW 7048 URBANE BRONZE
6A	METAL AWNING	SW 7048 URBANE BRONZE
6B	WOOD AWNING	SW 7048 URBANE BRONZE
7A	WOOD BALCONY	SW 7042 SHOJI WHITE
7B	WOOD BALCONY	SW 7019 GAUNTLET GRAY
8A	TPO MEMBRANE ROOF	
8B	COMPOSITION ROOF	
9A	PERGOLA	
9B	BURNISHED BLOCK LANDSCAPING WALL	

BUILDING VIII FACADE CALCULATIONS

NORTH ELEVATION	
FIBER CEMENT FACADE	910 SF / 61%
BRICK FACADE	694 SF / 39%
TOTAL FACADE	1,603 SF / 100%
WEST ELEVATION	
FIBER CEMENT FACADE	813 SF / 55%
BRICK FACADE	655 SF / 45%
TOTAL FACADE	1,468 SF / 100%
SOUTH ELEVATION	
FIBER CEMENT FACADE	1,182 SF / 73%
BRICK FACADE	458 SF / 28%
TOTAL FACADE	1,640 SF / 100%
EAST ELEVATION	
FIBER CEMENT FACADE	813 SF / 55%
BRICK FACADE	655 SF / 45%
TOTAL FACADE	1,468 SF / 100%
TOTAL BUILDING	
FIBER CEMENT FACADE	3,784 SF / 60%
BRICK FACADE (40% MIN. REQUIRED)	2,532 SF / 40%
TOTAL FACADE	6,316 SF / 100%

Oklahoma City
Housing Authority

Project Number: 2018003
Drawn By: Nkajid
Issue For: Design Package
Date: 03/24/2025

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Drawn	Issue Name	Date

A480

ELEVATIONS - TYPE VIII



13 Building Type VIII - South Elevation
Scale: 1/8" = 1'-0"



25 Building Type VIII - North Elevation
Scale: 1/8" = 1'-0"



15 Building Type VIII - West Elevation
Scale: 1/8" = 1'-0"



27 Building Type VIII - East Elevation
Scale: 1/8" = 1'-0"

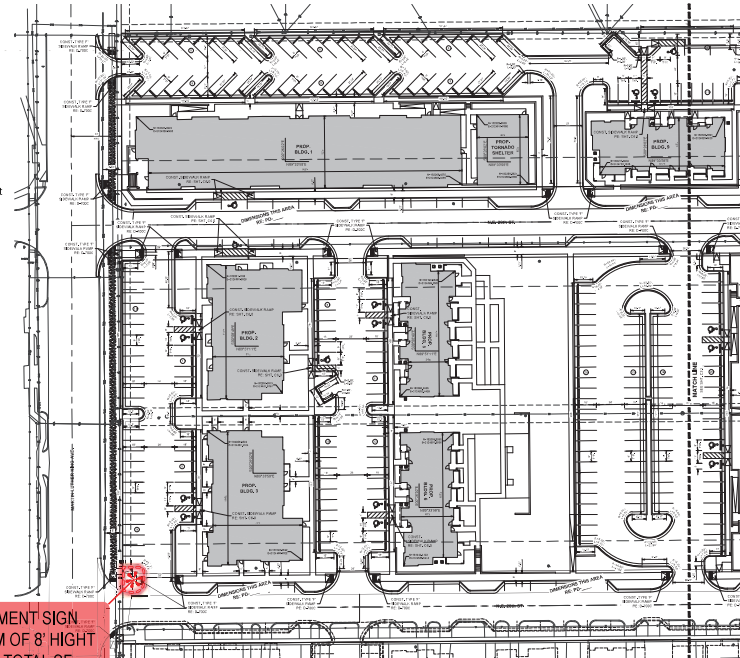
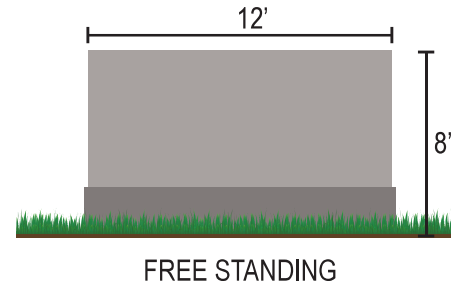
Creston Park
N. Martin Luther King Ave. and cross streets NE 28th and NE 29th
Oklahoma City, Oklahoma



13 Building Type IA - West Elevation
Scale: 1/8" = 1'-0"



13 Building Type IA - North Elevation
Scale: 1/8" = 1'-0"



Creston Park Signage Exhibit

Conceptual Site Plan

Attached Signage #4
Total SF - 129.79 SF

Free Standing #1
Total SF - 96 SF



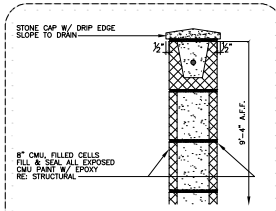
Johnson & Associates
1 E. Sheridan Ave., Suite 200
Oklahoma City, OK 73104
(405) 234-0071 FAX (405) 234-0078

ENGINEERS SURVEYORS PLANNERS

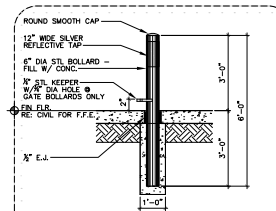
5/6/2025

Conceptual site plan showing feasible option

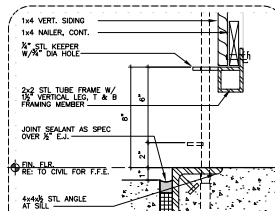
permitted under proposed rezoning



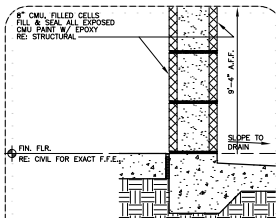
01 Section - Wall
Scale: 1 1/2" = 1'-0"



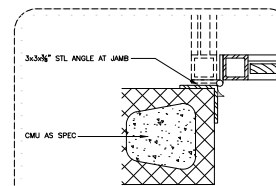
02 Detail - Bollard
Scale: 1/2" = 1'-0"



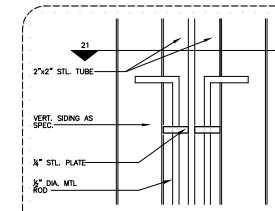
03 Detail - Sill
Scale: 3" = 1'-0"



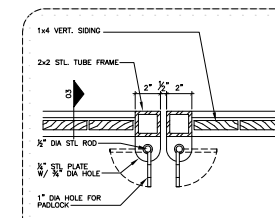
07 Section - Wall
Scale: 1 1/2" = 1'-0"



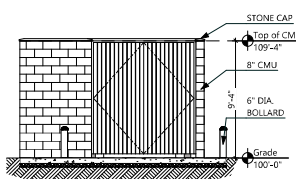
08 Detail - Gate Hinge
Scale: 3" = 1'-0"



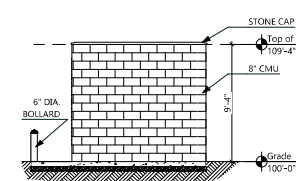
06 Detail - Gate Latch
Scale: 3" = 1'-0"



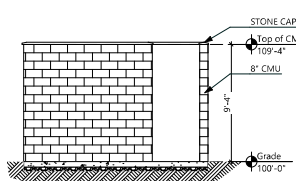
12 Detail - Gate Latch
Scale: 3" = 1'-0"



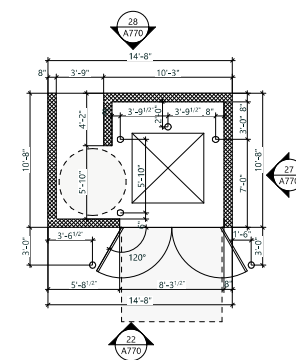
22 | Front Elevation
Scale: 1/4" = 1'-0"



27 | Side Elevation
Scale: 1/4" = 1'-0"



28 | Rear Elevation
Scale: 1/4" = 1'-0"

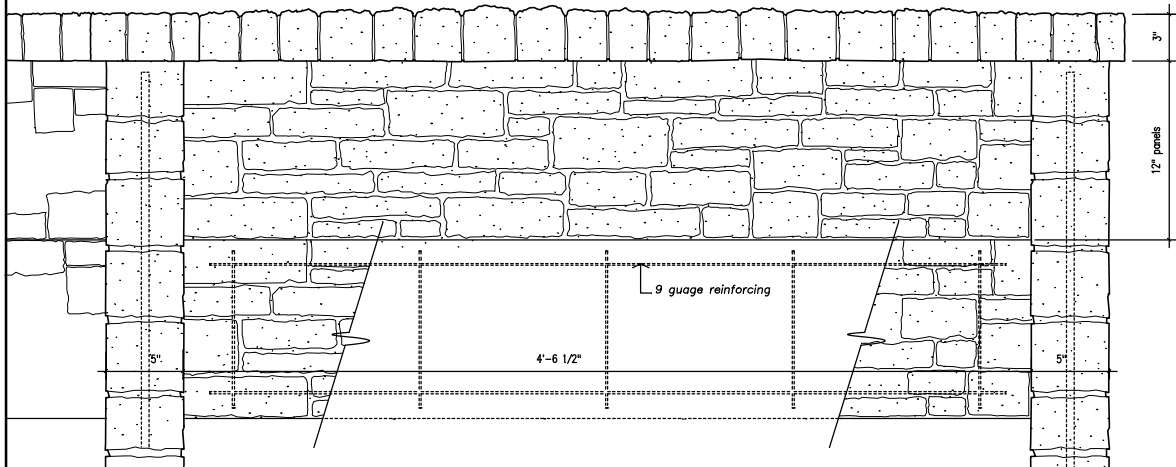


29 | Trash Enclosure
Scale: 1/4" = 1'-0"



FENCECRETE AMERICA, INC.

manufacturers of precast concrete fencing and masonry wall systems
15089 tradesmen drive san antonio, texas 78249 210-492-7911 800-229-7811 www.fencecrete.com



Partial Fence Elevation

scale: 1-1/2" = 1'-0"

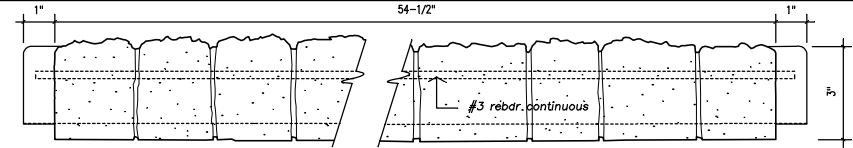


Rock Style Concrete Fence

footing: 18" diameter, 24" deep (min.)
3000 p.s.i. concrete, varies
according to local soil conditions

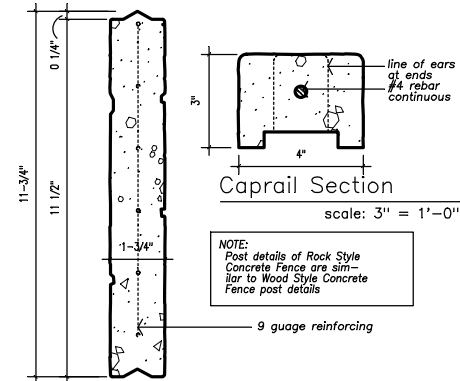
8'-0" maximum height

2'-0" (min.)



Caprail Elevation

scale: 3" = 1'-0"



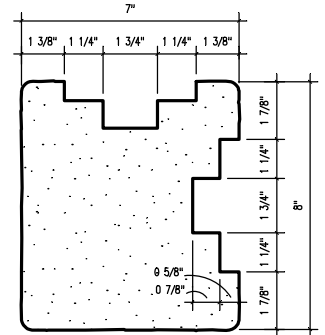
Caprail Section

scale: 3" = 1'-0"

NOTE:
Post details of Rock Style
Concrete Fence are sim-
ilar to Wood Style Concrete
Fence post details

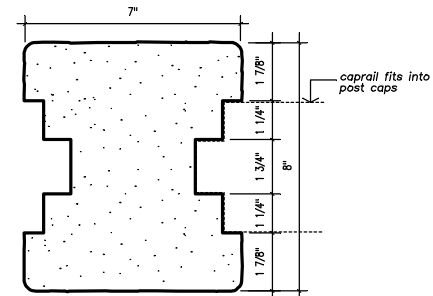
Typical Panel Section

scale: 3" = 1'-0"



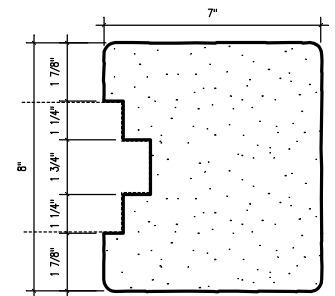
Corner Post Cap

scale: 3" = 1'-0"



Running Post Cap

scale: 3" = 1'-0"



Stop Post Cap

scale: 3" = 1'-0"

notes:

1. The column height can be from 0 to a maximum of 10'-0" - with 8'-0" above grade.
2. All concrete shall be 5000 p.s.i.
3. All reinforcement shall be A.S.T.M. 615 grade 60. Special reinforcement is available upon special order.
4. Footing - 2 feet deep (min.) footing standard per column, 12" - 18" diameter. Depth and diameter can vary per local soil conditions.
5. Texture: All exposed sides have rock-like texture.
6. Gates: Shall have additional steel supports adjacent to concrete columns.
7. All steel reinforcement is prewelded with steel spacers so as to allow for maximum concrete coverage.
8. A special silicone sealant is used to lock the caprail and post caps in place. This sealant requires special tools for removal.

We reserve the right to alter the design or specifications without incurring any obligation, all rights reserved.
Fencecrete America, Inc.