



The City of Oklahoma City
Planning Department, Subdivision and Zoning
420 West Main Street, Suite 910, Oklahoma City, Oklahoma, 73102
Phone: (405) 297-2623 – Web: <https://www.okc.gov>

APPLICATION FOR SPUD ReZONING

Simplified Planned Unit Development District

City paws Urgent Care

Project Name

2821 NW 57th St. Oklahoma City, OK 73112

Address / Location of Property (Provide County name & parcel no. if unknown)

ReZoning Area (Acres or Square Feet)

Need to change zoning to allow parking of mobile medical office in driveway of facility

Summary Purpose Statement / Proposed Development

Case No.:	SPUD	1675
File Date:	9-11-24	
Ward No.:	W2	
Nbhd. Assoc.:	---	
School District:	OKC	
Extg Zoning:	C-1	
Overlay:	---	

REQUIREMENTS FOR SUBMITTAL:

- ☐ 1.) One (1) Typed Legal Description of Proposed Rezoning area in MS Word file (.doc or .docx) format.
- ☐ 2.) One (1) copy of Recorded Deed(s), with Exhibit(s), listing current Property Owner in .pdf format.
- ☐ 3.) One (1) copy of Letter of Authorization from Property Owner listing Designated Representative if Applicant is not the Property Owner of record.
- ☐ 4.) One (1) copy of Property Owners Report listing all property owners who own property within a 300-foot buffer area of the property to be rezoned. The list **MUST** include the mailing address and the legal description of their property and **MUST** be current to within 30 days of the date of submittal of the application. A minimum of 10 separate individual property owners is required. If there are less than 10 individual owners within the 300-foot buffer, the radius must be extended by increments of 100 feet until the list contains no less than 10 owners. Provide One (1) PDF (.pdf) file version, AND one (1) MS Excel (.xls or .xlsx) file version.
- ☐ 5.) One (1) Signed and Notarized copy of "Affirmation" that the Property Owners Report listings are true and correct unless the list is prepared by a Certified Abstractor or County official.
- ☐ 6.) One (1) Typed Prepared copy of Proposed Master Design Statement in an MS Word file (.doc or .docx) file format.
- ☐ 7.) One (1) Proposed Master Development Plan Map in a PDF (.pdf) file format. Reference Submittal checklist for specific details.
- ☐ 8.) Maps, Site Plan, Survey Exhibits, Photographs, or other supporting illustrations must be 600dpi minimum resolution, and in a .pdf file format. Photographic file formats (.jpeg, .png, .tiff, etc..) of drawings, maps, or other documents will not be accepted.
- ☐ 9.) A filing fee of \$1800.00 must be remitted within One (1) business day of submittal confirmation. (Online payment available / preferred.) (Make check payable to "City Treasurer")

Property Owner Information (if other than Applicant):

Lil Sebastian Memorial Hospital LLC

Name

2821 NW 57th St.

Mailing Address

Okc, Ok 73112

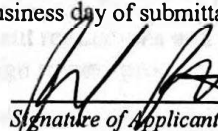
City, State, Zip Code

918-916-0467

Phone

rfperteet@gmail.com

Email


Signature of Applicant

Rachel Perteet -owner of Lil Sebastian Memorial Hospital

Applicant's Name (please print)

14205 N Douglas Blvd.

Applicant's Mailing Address

Jones, Ok 73049

City, State, Zip Code

918-916-0467

Phone

rfperteet@gmail.com

Email

Submit your Application by Email to Subdivisionandzoning@OKC.gov

Compressed files (.zip, etc..) or links to FileShare services (Dropbox, etc..) can not be accepted for security purposes.



(Individual Form)
WARRANTY DEED
(Oklahoma Statutory Form)

KNOW ALL MEN BY THESE PRESENTS:

THAT Dr. James C. Hammack and Mary Beth Hammack as Trustees of the Dr. James C. Hammack Living Trust dated November 6, 1989 and Mary Beth Hammack and Dr. James C. Hammack as Trustees of the Mary Beth Hammack Living Trust dated November 6, 1989 party of the first part, in consideration of the sum of Ten And No/100 Dollars (\$10.00) and other valuable considerations to it in hand paid, the receipt of which is hereby acknowledged does hereby grant, bargain, sell and convey unto LIL Sebastian Memorial Hospital LLC, an Oklahoma limited liability company party of the second part, the following described real property and premises situate in Oklahoma County, State of Oklahoma, to-wit:

For Tax Map ID(s): **114557560**

Lots Forty-three (43) through Forty-eight (48), both inclusive, LESS AND EXCEPT the East 20 feet of the North 55 feet of Lot Forty-eight (48), in Block Twenty (20), of MILAM'S NORTHWEST HIGHLAND ADDITION, an Addition to the City of Oklahoma City, Oklahoma County, Oklahoma, according to the recorded plat thereof.

Subject to easements, rights of way and restrictive covenants of record. Less and except all oil, gas and other minerals previously reserved or conveyed of record.

Together with all the improvements thereon and the appurtenances thereunto belonging, and warrant the title to the same.

TO HAVE AND TO HOLD said described premises unto the said parties of the second part, its successors, heirs and assigns, forever, free, clear and discharged of and from all former grants, charges, taxes, judgments, mortgages and other liens and encumbrances of whatsoever nature.

IN WITNESS WHEREOF, the undersigned have executed this document on the date(s) set forth below.

Signed and delivered February 2, 2021.

Dr. James C. Hammack Living Trust dated November 6, 1989

BY: Dr. James C. Hammack
Dr. James C. Hammack, Trustee

BY: Mary Beth Hammack
Mary Beth Hammack, Trustee

Mary Beth Hammack Living Trust dated November 6, 1989

BY: Mary Beth Hammack
Mary Beth Hammack, Trustee

BY: Dr. James C. Hammack
Dr. James C. Hammack, Trustee

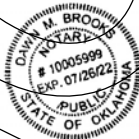
The State of OKLAHOMA

County of OKLAHOMA

TRUSTEE ACKNOWLEDGMENT

Before me, the undersigned, a Notary Public, in and for said County and State, on this 2nd day of February, 2021 personally appeared Dr. James C. Hammack and Mary Beth Hammack, Trustees of the Dr. James C. Hammack Living Trust dated November 6, 1989 and Mary Beth Hammack Living Trust dated November 6, 1989 to me known to be the identical persons who executed the within foregoing instrument as its Trustee, and acknowledged to me that they executed the same as their free and voluntary act and deed, for the uses and purposes therein set forth.

Given under my hand and seal the day and year last above written.



David M. Brooks
Notary Public in and for the State of OKLAHOMA

Notary's Printed Name: _____
Notary's Commission Expires: _____

Mail Deed and Tax Statements To:
Lil Sebastian Memorial Hospital LLC, an
Oklahoma limited liability company

2821 NW 5th St.

OKC, OK 73112

Presented for filing by and return to:

Chicago Title Oklahoma Co.
210 Park Ave, Ste 210
Oklahoma City, OK 73102
File No: 710702001005
Title Insurance Commitment, if any, issued by:
Chicago Title Insurance Corp.

Exhibit A
Legal Description

2821 NW 57th St.
Oklahoma City, Oklahoma 73112

Legal Description:

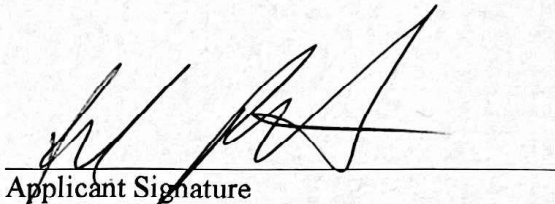
Lots Forty-three (43) thru Forty-eight (48), both inclusive, less and except the East 20.00 feet of the North 55.00 feet of Lot Forty-eight (48) in Block Twenty (20), in Milam's Northwest Highland Addition to Oklahoma City, Oklahoma County, Oklahoma, according to the recorded plat thereof.

AFFIRMATION

STATE OF OKLAHOMA)
) §
COUNTY OF OKLAHOMA)

I affirm that the ownership list submitted as a part of this application contains the names of all owners of record of property which are within 300 feet (or greater if required) of the property described in the attached exhibit.

Executed at Oklahoma City, Oklahoma, on the 29 day of August, 20 24


Applicant Signature

Subscribed and sworn to before me, a Notary Public, in and for the State of Oklahoma,
County of Oklahoma, on the 29 day of August, 20 24.

My Commission Expires:

08/11/27

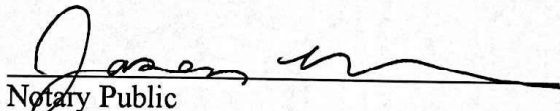

Notary Public
Commission # 23012249



Exhibit D – Property Owners Report

Updated: 8/28/24

Owner	Lot
Lil Sebastian Memorial Hospital LLC 2821 NW 57 th St. OKC, Ok 73112-7015	LOT 000 Block 020 All Lots 43 thru 47 and S85ft & W5ft N55ft Lot 48 Milams northwest highlands (subject Property)
POLLARD SHIRLEY 5817 N ROSS AVE OKLAHOMA CITY, OK 73112-7015	LOT 000 BLOCK 020 S/2 OF LOTS 1 THRU 4 MILANS NORHTWEST HIGHLANDS
POLLARD SHIRLEY 5817 N ROSS AVE OKLAHOMA CITY, OK 73112-7015	LOT 000 BLOCK 020 N/2 OF LOTS 1 THRU 4 MILANS NORHTWEST HIGHLANDS
M ROBERTS PROPERTIES LLC 2808 NW 59 TH OKLAHOMA CITY, OK 73112	LOT 000 BLOCK 020 LOTS 5 & 6 MILAMS NORTHWEST HIGHLANDS
VESPER TIM A & LISA L 2 S ARCADIAN OAKS DR EDMOND, OK 73074-7740	LOT 000 BLOCK 020 LOTS 7 & 8 MILAMS NORTHWEST HIGHLANDS
K&K WESTERN INVESTMENTS LLC 820 W DANFORTH RD UNIT B7 EDMOND, OK 73003	LOT 000 BLOCK 020 LOTS 9 THRU 14 MILAMS NORTHWEST HIGHLANDS
GOSSETT PRODUCTIONS LLC 2828 NW 58 TH ST. OKLAHOMA CITY , OK 73112	LOT 000 BLOCK 020 LOTS 15 THRU 20 MILAMS NORTHWEST HIGHLANDS
TKS PROPERTIES LLC 1712 PENNINGTON WAY NICHOLS HILLS, OK 3116-5120	LOT 000 BLOCK 020 LOTS 21 & 22 MILAMS NORTHWEST HIGHLANDS
STEWART LOWELL 8920 SHERINGHAM DR OKLAHOMA CITY, OK 73112	PT NW4 SEC 7 12 N 3W BEG 15FT N NW/C LOT 22 BLK 20 MILAMS NW HIGHLAND ADD TH W125.70FT S15FT W16.6FT S140FT E 141.55FT N155FT TO BEG UNPLTD PT SEC 07 12N 3W
TKS PROPERTIES LLC 1712 PENNINGTON WAY NICHOLS HILLS, OK 3116-5120	LOT 000 BLOCK 020 LOTS 29 THRU 34 MILAMS NORTHWEST HIGHLANDS

DAWN HIGHLAND LLC 2828 NW 57 TH ST OKLAHOMA CITY, OK 73112	LOT 000 BLOCK 020 LOTS 35 THRU 38 MILAMS NORTHWEST HIGHLANDS
SYNERGY CAPITAL GROUP LLC 3634 NW 39 TH ST OKLAHOMA CITY, OK 73112	LOT 000 BLOCK 020 LOTS 39 THRU 42 MILAMS NORTHWEST HIGHLANDS
BELMONTE, SANTIAGO & MARZY J 2809 NW 57 TH ST. OKLAHOMA CITY, OK 73112	LOT 000 BLOCK 020 E20FT N55FT LOT 48 AND ALL LOTS 49 & 50 MILAMS NORTHWEST HIGHLANDS
2805 NW 57 TH LLC 3821 S ROBINSON AVE OKLAHOMA CITY, OK 73109-7004	LOT 000 BLOCK 020 LOTS 51 & 52 MILAMS NORTHWEST HIGHLANDS
VECSES LLC 2801 NW 57 TH ST. OKLAHOMA CITY, OK 73112-7054	LOT 000 BLOCK 020 LOTS 53 & 54 MILAMS NORTHWEST HIGHLANDS
PAX M LLC 4800 NW 75 TH ST OKLAHOMA CITY, OK 73132-5315	LOT 000 BLOCK 021 LOTS 1 & 2 MILAMS NORTHWEST HIGHLANDS
MKCF LLC 6608 N WESTERN AVE, UNIT 1500 OKLAHOMA CITY, OK 73116	LOT 000 BLOCK 021 LOTS 3 THRU 6 MILAMS NORTHWEST HIGHLANDS
WARR ACRES PLACE LLC 3126 S BOULEVARD UNTI 171 EDMOND, OK 73013-5308	LOT 000 BLOCK 021 LOTS 7 THRU 10 MILAMS NORTHWEST HIGHLANDS
WARR ACRES PLACE LLC 3126 S BOULEVARD UNTI 171 EDMOND, OK 73013-5308	LOT 000 BLOCK 021 LOTS 11 THRU 14 MILAMS NORTHWEST HIGHLANDS
DAWN HIGHLAND LLC 2828 NW 57 TH ST OKLAHOMA CITY, OK 73112	LOT 000 BLOCK 021 ALL LOTS 15 THRU 20 MILAMS NORTHWEST HIGHLANDS
GOLD LAND PROPERTY LLC 4616 NW 39 TH ST OKLAHOMA CITY, OK 73122	LOT 000 BLOCK 021 LOTS 21 THRU 27 EX W17FT OF LOT 27 MILAMS NORTHWEST HIGHLANDS
STUEVE, KERRI ANNE & RICHARD C 2729 NW 56 TH ST OKLAHOMA CITY, OK 73112	LOT 008 BLOCK 001 WESTRIDGE HILLS
FARHANG SWAUERED MANAGEMENT LLC 3320 NW 52 ND ST OKLAHOMA CITY, OK 73112-5307	LOT 000 BLOCK 00D MILAMS NORWEST HIGHLANDS
GLOVER, ANNA 2736 NW 57 TH ST OKLAHOMA CITY, OK 73112-7073	LOT 000 BLOCK 022 W17FT LOT 19 ALL LOT 20 & E18FT LOT 21 MILAMS NORTHWEST HIGHLANDS

BLH INVESTMENT PROPERTIES LLC 6011 N ROBINSON AVE OKLAHOMA CITY, OK 73118	LOT 000 BLOCK 022 W17FT LOT 21 & ALL LOTS 22 THRU 24 MILAMS NORTHWEST HIGHLANDS
JOHNSON, RANDALL WILLIAM 2746 NW 58 TH ST OKLAHOMA CITY, OK 73112	LOT 000 BLOCK 019 LOTS 21 THRU 24 MILAMS NORTHWEST HIGHLANDS
HOLBROCK, MOLLY S 5802 N ROSS AVE OKLAHOMA CITY, OK 73112-7016	LOT 000 BLOCK 000 UNIT 1 58 ROSS CONDOMINIUMS
HOLBROCK, MOLLY S 5802 N ROSS AVE OKLAHOMA CITY, OK 73112-7016	LOT 000 BLOCK 000 UNIT 2 58 ROSS CONDOMINIUMS
BRUCE, ANDREW & RACHEL 821 NW 19 TH ST OKLAHOMA CITY, OK 73106-6418	LOT 000 BLOCK 019 LOTS 29 &30 MILAMS NORTHWEST HIGHLANDS
BERLIN PROPERTIES LLC 13112 ROCK CANYON RD OKLAHOMA CITY, OK 73142	LOT 000 BLOCK 019 LOTS 27 & 28 MILAMS NORTHWEST HIGHLANDS
WATKINS PROPERTIES LLC 2837 NW 58 TH ST OKLAHOMA CITY, OK 73112-7002	LOT 000 BLOCK 013 LOTS 34, 35, & W6IN OF LOT 36 PLU N15FT VAC 58 TH ST ADJ ON S MILAMS NORWEST HIGHLANDS
WATKINS PROPERTIES LLC 2837 NW 58 TH ST OKLAHOMA CITY, OK 73112-7002	LOT 000 BLOCK 013 LOT 36 EX W 6 IN ALL LOT 37 OLUS N15FT VAC 58 TH ST ADJ ON S MILAMS NORTHWEST HIGHLANDS
KEEGMORE PROPERTIES LLC 6708 NW 109 TH ST OKLAHOMA CITY, OK 73162-4730	LOT 000 BLOCK 013 LOTS 38 THRU 41 PLUS N15FT VAC NW 58 TH ST ADJ ON S MILAMS NORTHWEST HIGHLANDS
LOWE FAMILY TRUST 2726 W WILSHIRE BLVD OKLAHOMA CITY, OK 73116-4015	LOT 000 BLOCK 013 LOTS 42 THRU 47 PLUS N15FT VAC 58 TH ST ADJ ON S MILAMS NORTHWEST HIGHLANDS
CASTILIAN CORTE LLC 19501 YEARLING WAY EDMOND, OK 73012	LOT 000 BLOCK 013 LOTS 48 THRU 51 PLUS N15FT VAC NW 58 TH ST ADJ ON S MILAMS NORTHWEST HIGHLANDS
EDMISTON, ANNA & SMITH, STEFAN 2801 NW 58 TH ST OKLAHOMA CITY, OK 73112	LOT 000 BLOCK 013 LOT 52 THRU 55 PLUS N15FT VAC NW 58 TH ST ADJ ON S & PLUS W5FT VAC ROSS AVE ADJ LOT 55 ON E MILAMS NORTHWEST HIGHLANDS

THE CITY OF OKLAHOMA CITY
SIMPLIFIED PLANNED UNIT DEVELOPMENT
SPUD-0
MASTER DESIGN STATEMENT

(Revision Date)
(Revision Date)

PREPARED BY:

Rachel Perteet
14205 N Douglas Blvd
Jones, Ok 73049
918-916-0467
rfperteet@gmail.com

SPUD-0 MASTER DESIGN STATEMENT

This document serves as the Master Design Statement and fulfills the ordinance requirements for the Simplified Planned Unit Development (Chapter 59, Section 14150.B of the Oklahoma City Municipal Code, 2020, as amended).

I. Special Development Regulations:

The following Special Development Regulations and/or limitations are placed upon the development of the Simplified Planned Unit Development. Planning and zoning regulations will be those that are in effect at the time of development of this Simplified Planned Unit Development; provided, however, that the density and or intensity of the SPUD shall not be increased. Development is when a permit is issued for any construction or addition to any structure on a development tract. Certain zoning districts are referred to as a part of the Special Development Regulations of this Simplified Planned Unit Development. For purposes of interpretation of these Special Development Regulations, the operative and controlling language and regulations of such zoning districts shall be the language and regulations applicable to the referenced zoning districts as contained in the City of Oklahoma City's Planning and Zoning Code as such exists at the time of development of this Simplified Planned Unit Development. In the event of conflict between provisions of this SPUD and any of the provisions of the Oklahoma City Municipal Code, as amended ("Code"), in effect at the time a permit is applied for with respect to any lot, block, tract and/or parcel of land subject to this SPUD, the provisions of the Code shall prevail and be controlling; provided however, that in the event of a conflict between the Special Use and Development Regulations specifically negotiated as a part of this SPUD and the provisions of the Code in effect at the time a permit is applied for with respect to any lot, block, tract and/or parcel of land subject to this SPUD, such Special Use and Development Regulations of this SPUD shall prevail and be controlling.

1. This site will be developed in accordance with the regulation of the **C1 Commercial Neighborhood District** (OKC Zoning Ordinance, 2020, as amended), except that the following restrictions will apply:

The following use(s) will be the only use(s) permitted on this site:

8300.1 Administrative and Professional Offices

8300.2 Adult Day Care Facilities

8300.5 Alcoholic Beverage Retail Sales

8300.8 Animal Sales and Services: Grooming

8300.11 Animal Sales and Services: Kennel and Veterinary, Restricted

8300.21 Automotive and Equipment: Storage

8300.24 Business Support Services 8300.25 Child Care Centers

8300.32 Convenience Sales and Personal Services

8200.2 Dwelling Units and Mixed Uses

8300.39 Eating Establishments: Sitdown, Limited Alcohol Permitted

8300.37 Eating Establishments: Sitdown

8300.41 Food and Beverage Retail Sales

8150.6.3 Greenhouse

8150.6.5 Hoop House

8250.11 Library Services and Community Centers

8250.12 Light Public Protection and Utility: General

8250.13 Light Public Protection and Utility: Restricted

8250.14 Low Impact Institutional: Neighborhood-Related

8300.52 Medical Services: General

8300.53 Medical Services: Restricted

8300.59 Personal Services: Restricted

8300.61 Repair Services: Consumer

2. **Maximum Building Height:** The maximum building height shall be in accordance with the C1 zoning district.
3. **Maximum Building Size:** The maximum building size shall be in accordance with the C1 zoning district.
4. **Maximum Number of Buildings:** There will be a maximum of 2 buildings within this SPUD
5. **Building Setback Lines:** Building setback lines shall be in accordance with the C1 zoning district.
6. **Sight-proof Screening:** N/A
7. **Landscaping:** The subject parcel shall meet all requirements of the City of Oklahoma City's Landscaping Ordinance. Trees shall be preserved within setbacks to the maximum extent possible.
8. **Signs:**
 - 8.1 **Free standing accessory signs:** A maximum of two (2) freestanding ground (monument) signs shall be allowed. The maximum size being twelve (12) feet height and

one hundred (100) square feet in area. The signs shall be covered with a material consistent with the building(s) they serve.

8.2 Attached signs: Attached signs will be in accordance with the C1 zoning district regulations.

8.3 Non-Accessory Signs: Non-accessory signs will be prohibited

8.4 Electronic Message Display signs: Electronic Message Display signs will be prohibited.

9. Access: There shall be an access point from 57th street

10. Sidewalks: All sidewalks shall be constructed in accordance with City specifications. All sidewalks shall be designed and constructed in accordance with the Subchapter II of the American With Disabilities Act, 42 U.S.C. § 12131, et seq., as amended, and the regulations promulgated there under ("ADA"). Existing sidewalks shall not be removed except for the purpose of replacement.

II. Other Development Regulations:

1. Architecture: Buildings within this SPUD shall be permitted to utilize the following building materials: Brick, brick veneer, architectural metal, stucco, rock, stone masonry or other masonry products such as architectural concrete such as tilt-up concrete panels and split face concrete block, exterior grade, decay-resistant, solid wood or cementboard may also be permitted.

2. Open Space: shall be in accordance with the base zoning district

3. Street Improvements: N/A

4. Site Lighting: The site lighting in this SPUD shall be in accordance with Chapter 59, Article XII, Section 59-12350 of the Oklahoma City Municipal Code, 2020, as amended.

5. Dumpsters: Will be located on the north side of the property

6. **Parking:** Spaces on east side of building. Parking spaces on north side of building would not be for public use. The driveway on the west side of the building will not be accessible for exit from the north parking spaces. A mobile medical office unit may be parked in the driveway on the west side of the building. Parking spaces will be as drawn in Exhibit B.
7. **Maintenance:** Maintenance of the common areas in the development shall be the responsibility of the property owner or Property Owners Association. No structures, storage of material, grading, fill, or other obstructions, including fences, either temporary or permanent, that shall cause a blockage of flow or an adverse effect on the functioning of the storm water facility, shall be placed within the common areas intended for the use of conveyance of storm water, and/or drainage easements shown. Certain amenities such as, but not limited to, walks, benches, piers, and docks, shall be permitted if installed in a manner to meet the requirements specified above.
8. **Drainage:** Development of this parcel will comply with Chapter 16 of the Oklahoma City Municipal Code, 2020, as amended.
9. **Other:** Placement of mobile medical office or automotive storage will be kept on the west or north side of the building

III. Supporting Documents

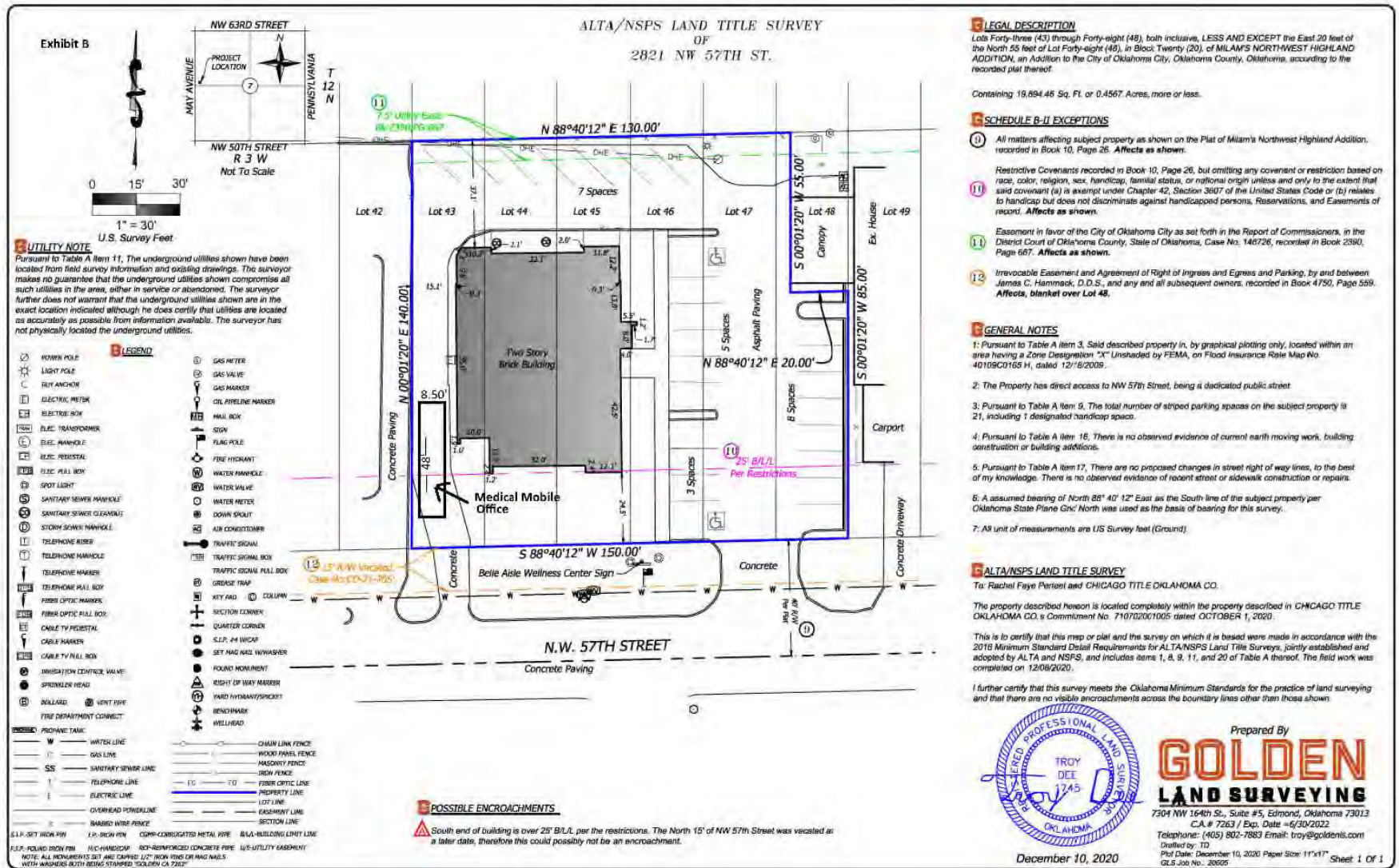
Exhibit A: Legal Description

Exhibit B: Master Development Plan Map

Exhibit C: Specifications of mobile medical office

Exhibit D: Property Owners Report

Exhibit E: Deed



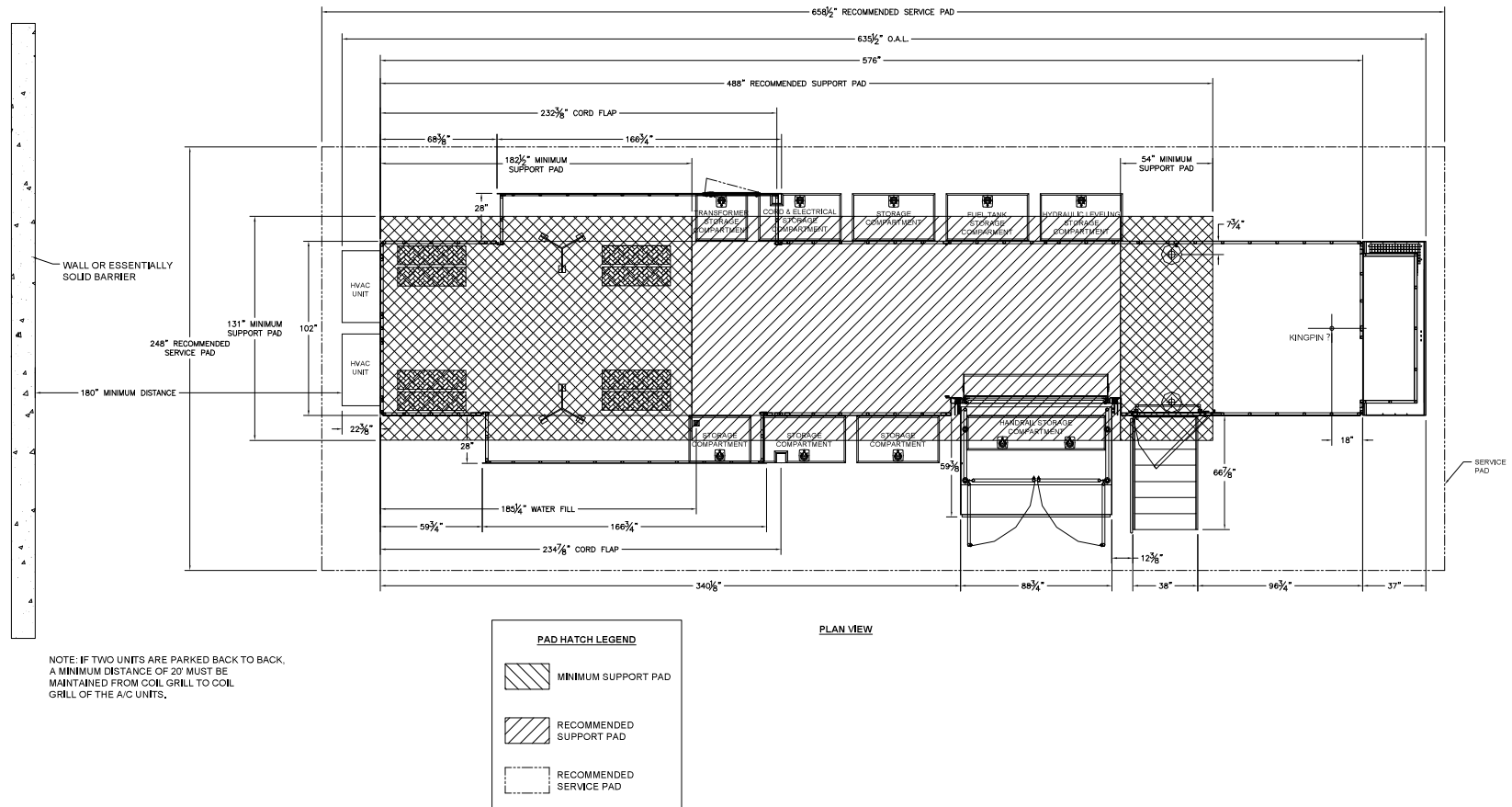
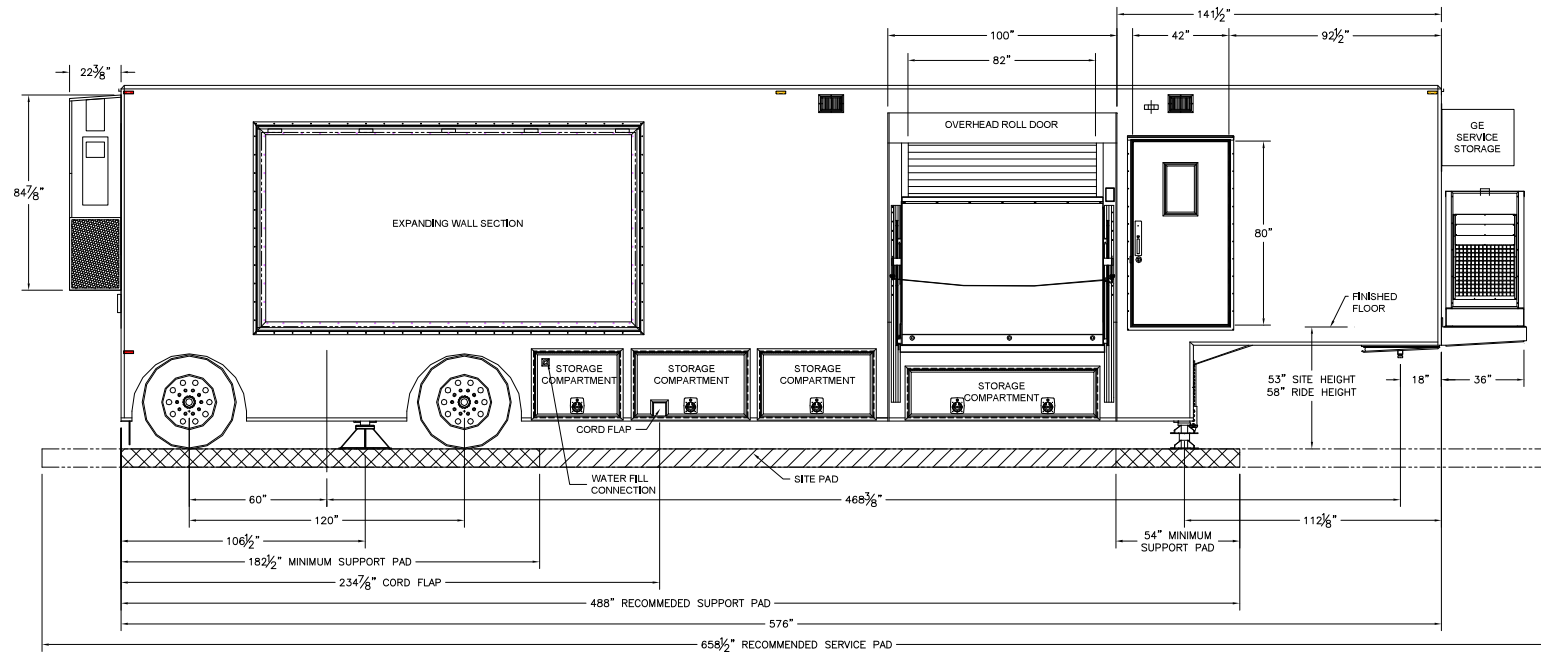


Figure 2: Plan Layout



*RIGHTSIDE
ELEVATION VIEW*

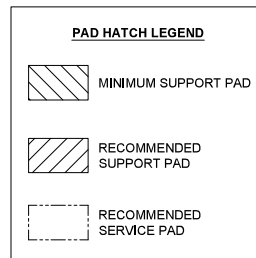
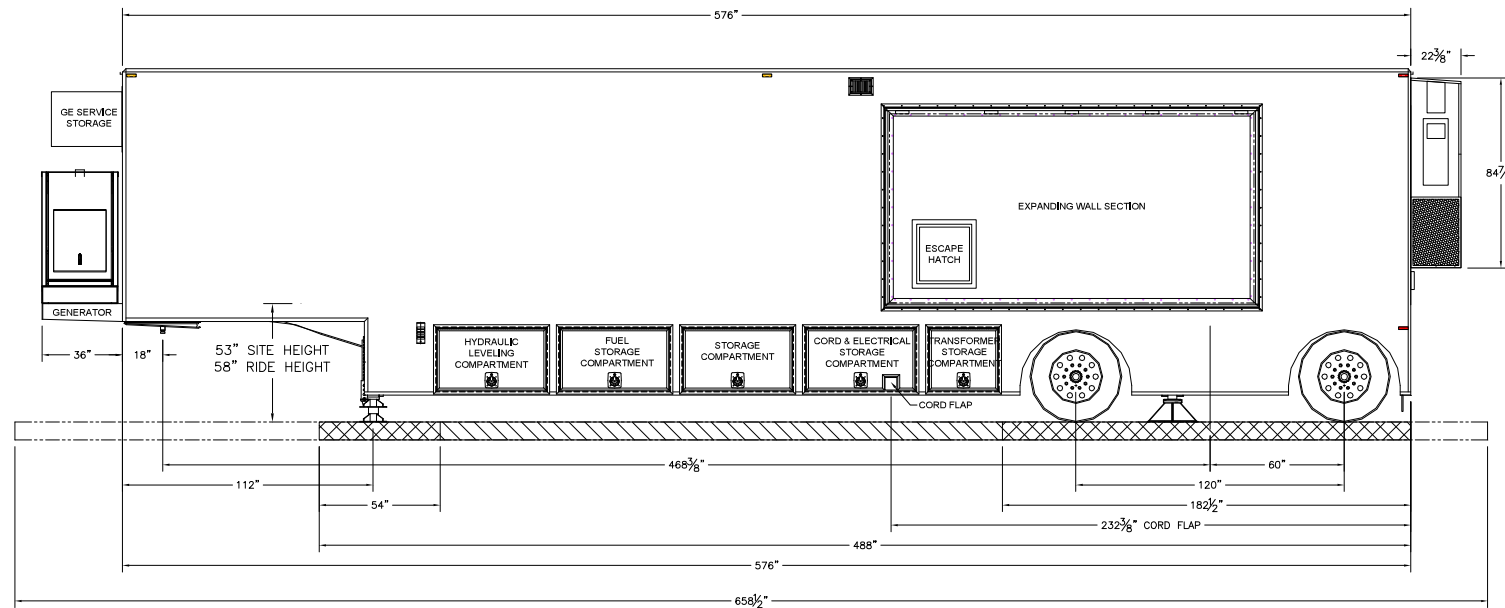


Figure 3: Right Side Elevation



LEFTSIDE ELEVATION VIEW
DRAWING AT SITE HEIGHT

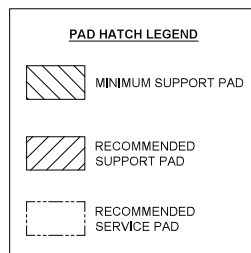


Figure 4: Left Side Elevation

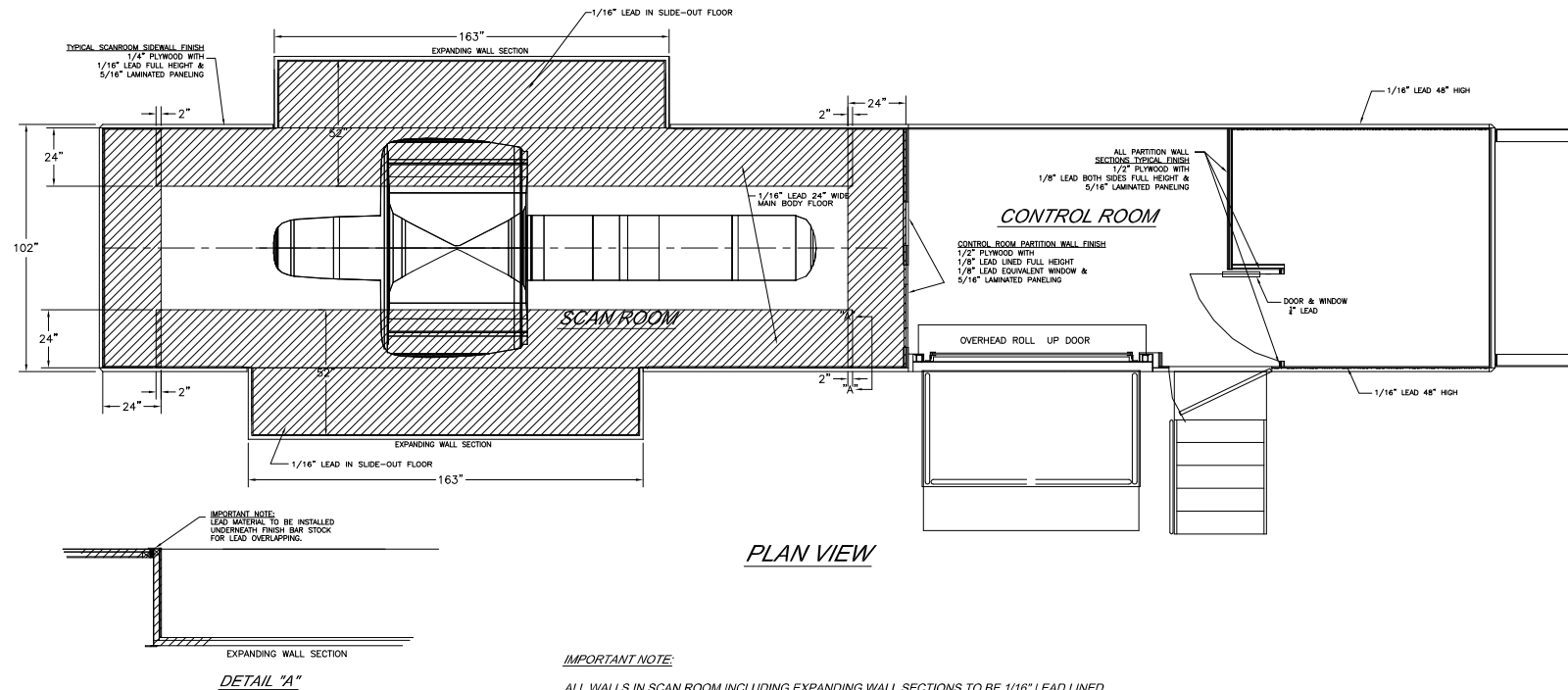
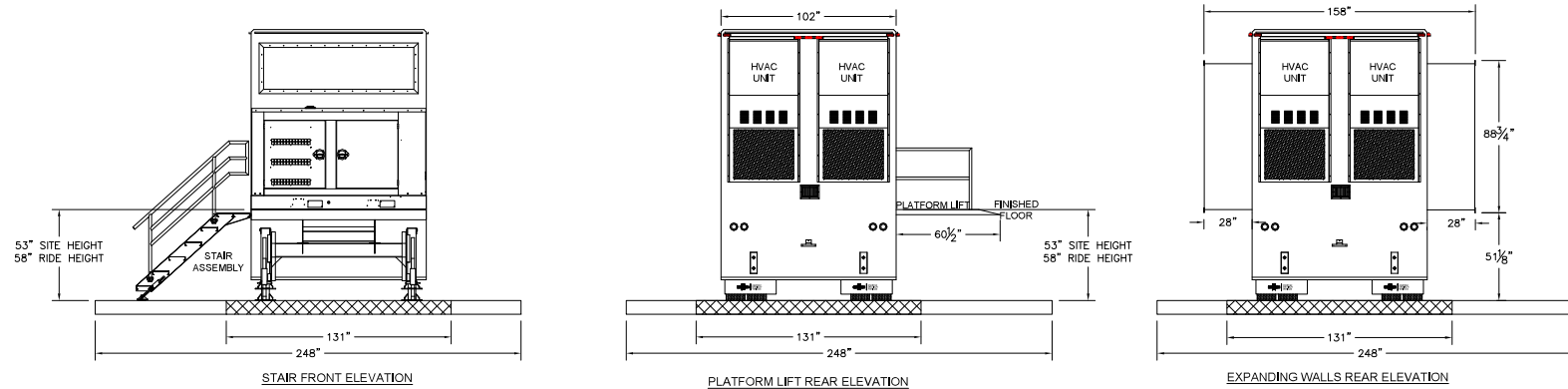


Figure 5: Radiation Shielding Plan View



NOTE: THIS DRAWING APPLIES TO
AD-112 AND AD-123 THRU AD-142 ONLY.

Figure 6: Stair / Lift / Wall Elevation