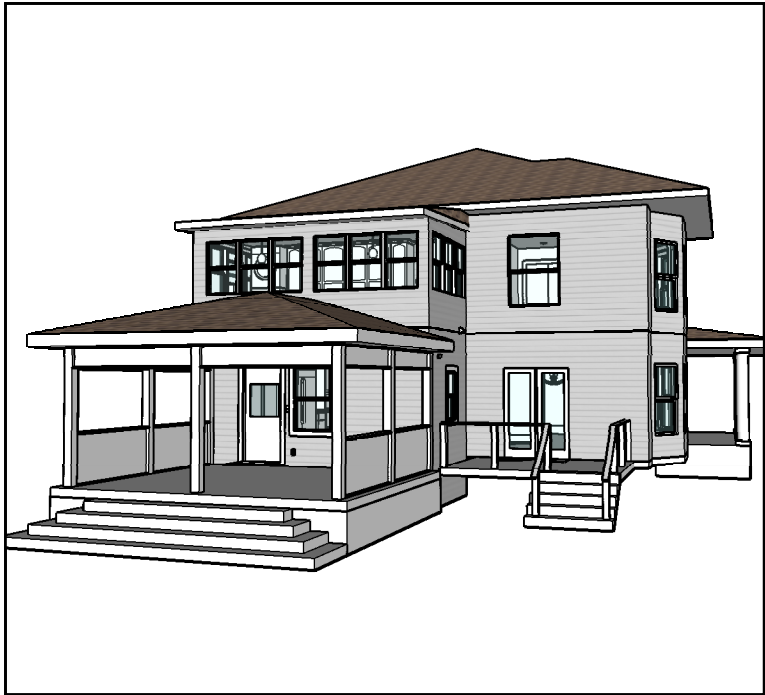




UPDATED VIEW OF BACK PORCH



NEW DETACHED GARAGE VIEW



EXISTING VIEW OF BACK PORCH

DAN & MEGHAN BRUNER

PROJECT ADDRESS
610 NW 15TH ST. OKC, OK 73103

- BRIEF PROJECT SCOPE
- MAIN HOUSE
- LEVEL 1
 - ENCLOSE NON-HISTORIC DECK
 - REPLACE FRONT DOOR
 - LEVEL 2
 - EXPAND EXISTING PRIMARY BEDROOM WITH SUNROOM, COVERED PORCH BELOW

- GARAGE
- DEMOLISH EXISTING DETACHED GARAGE
 - CONSTRUCT GARAGE

- BACKYARD
- CONSTRUCT DECK AND STAIRS
 - INSTALL POOL AND HARDSCAPE

SHEET NUMBER	SHEET NAME
Sheet 01	COVER PAGE
Sheet 02	SITE PLANS
Sheet 03	EXISTING FLOOR & DEMOLITION PLANS
Sheet 04	EXISTING EXTERIOR ELEVATIONS
Sheet 05	ROOF PLANS
Sheet 06	FLOOR PLANS - MAIN HOUSE
Sheet 07	MAIN HOUSE - EXTERIOR ELEVATIONS
Sheet 08	FLOOR PLANS - LVL. 1 DETACHED GARAGE
Sheet 09	FLOOR PLANS - LVL. 2 DETACHED GARAGE
Sheet 010	DETACHED GARAGE - EXTERIOR ELEVATIONS



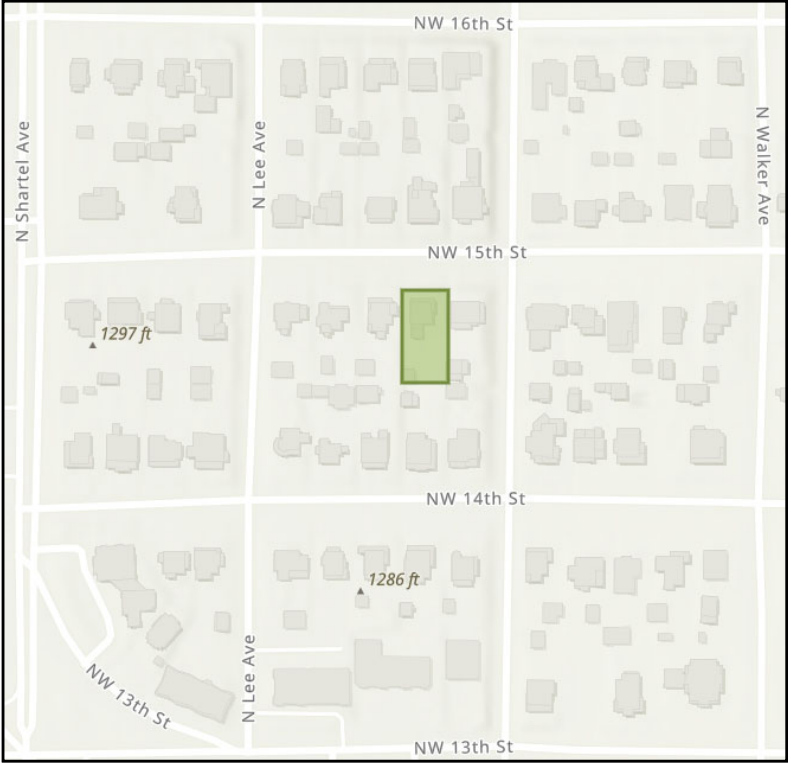
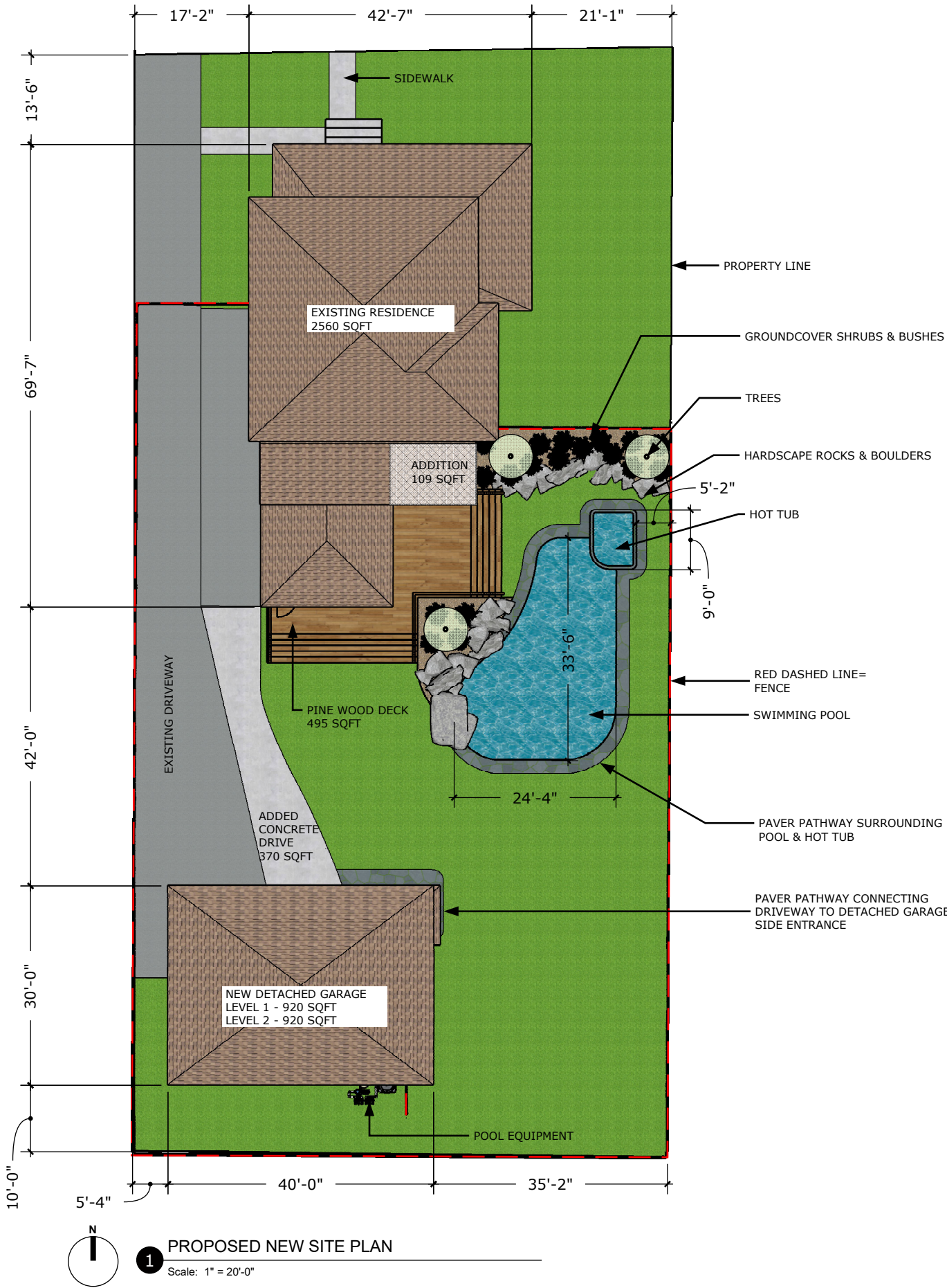
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401 S Sooner Rd.
OKC, OK 73110

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HP PERMIT PLAN SET
610 NW 15TH ST.
OKC, OK 73103

November 19,
2024
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COVER PAGE



3 VICINITY MAP
PARCEL ID: R044843850



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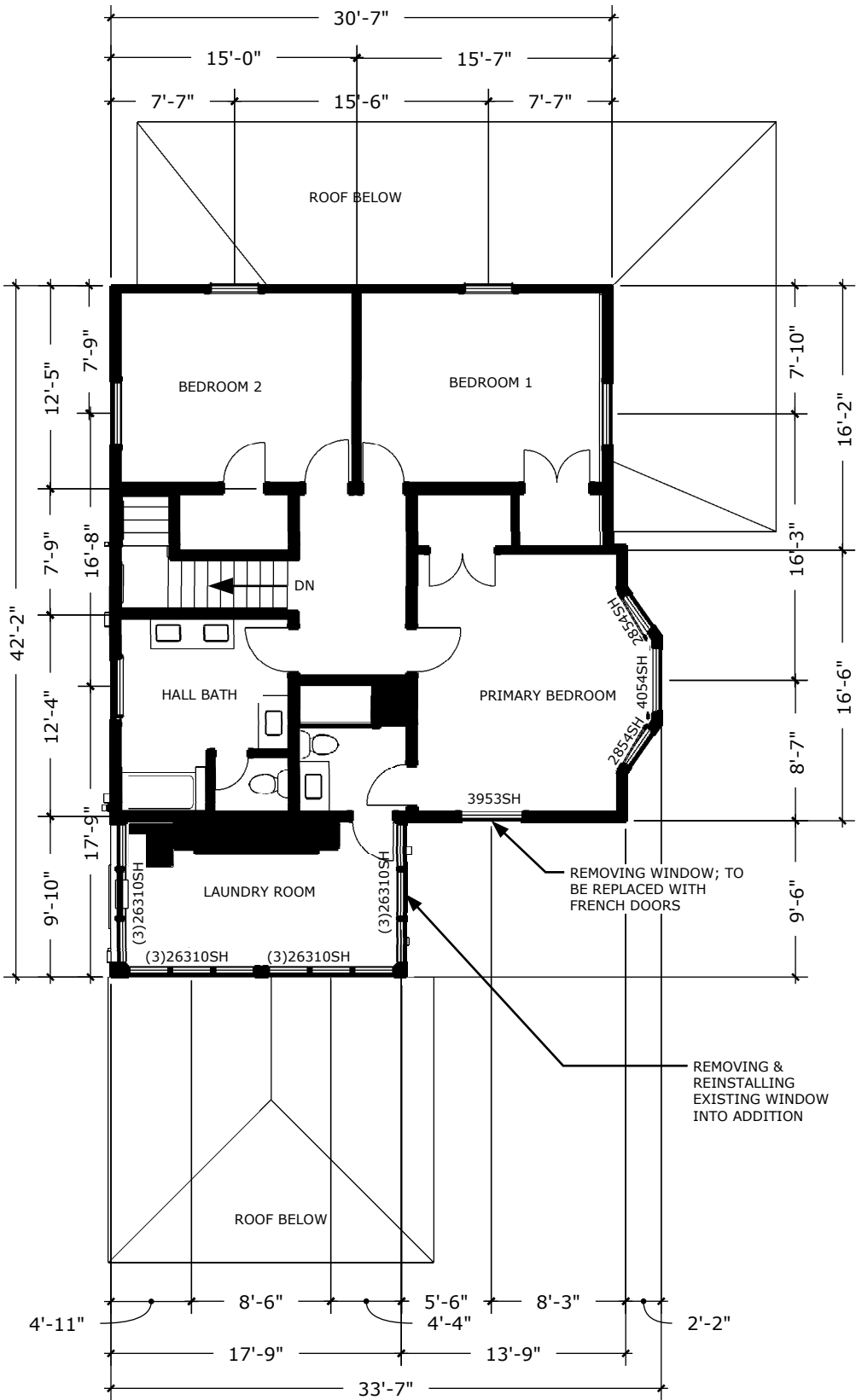
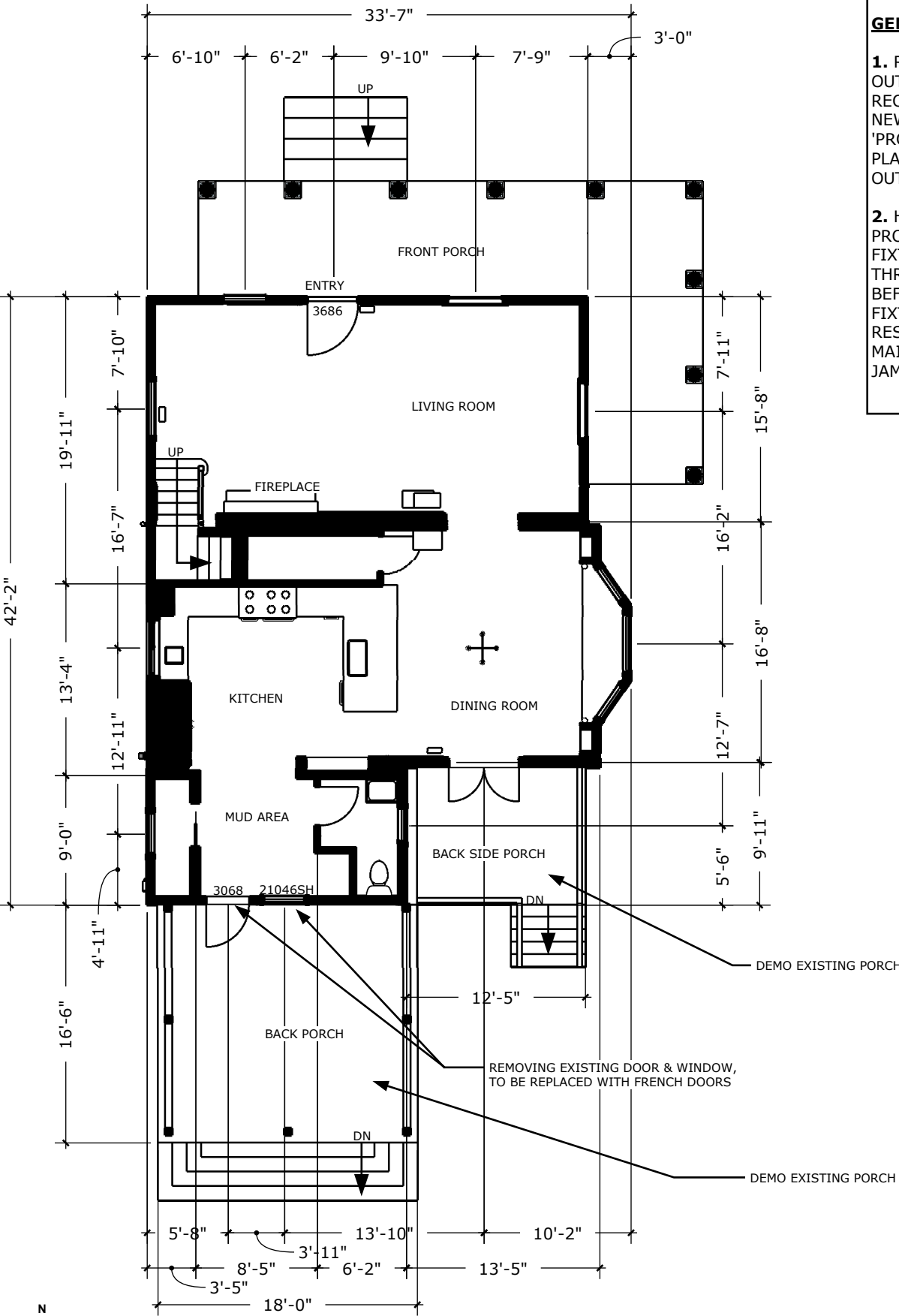
DATE: _____

SITE PLANS

GENERAL NOTES

1. REMOVE EXISTING ELECTRICAL OUTLETS AND SWITCHES AS REQUIRED, BASED ON SCOPE OF NEW CONSTRUCTION. REFER TO 'PROPOSED NEW ELECTRICAL PLAN(S)' FOR LOCATIONS OF NEW OUTLETS AND SWITCHES.

2. HOMEOWNER TO TAKE CARE TO PROTECT ANY APPLIANCES OR FIXTURES THEY WISH TO KEEP THROUGHOUT REMODEL. REMOVE BEFORE DEMOLITION. APPLIANCES/FIXTURES ARE THE OWNERS RESPONSIBILITY AND WILL NOT BE MAINTAINED BY OR GUARANTEED BY JAMES GREY HOMES.



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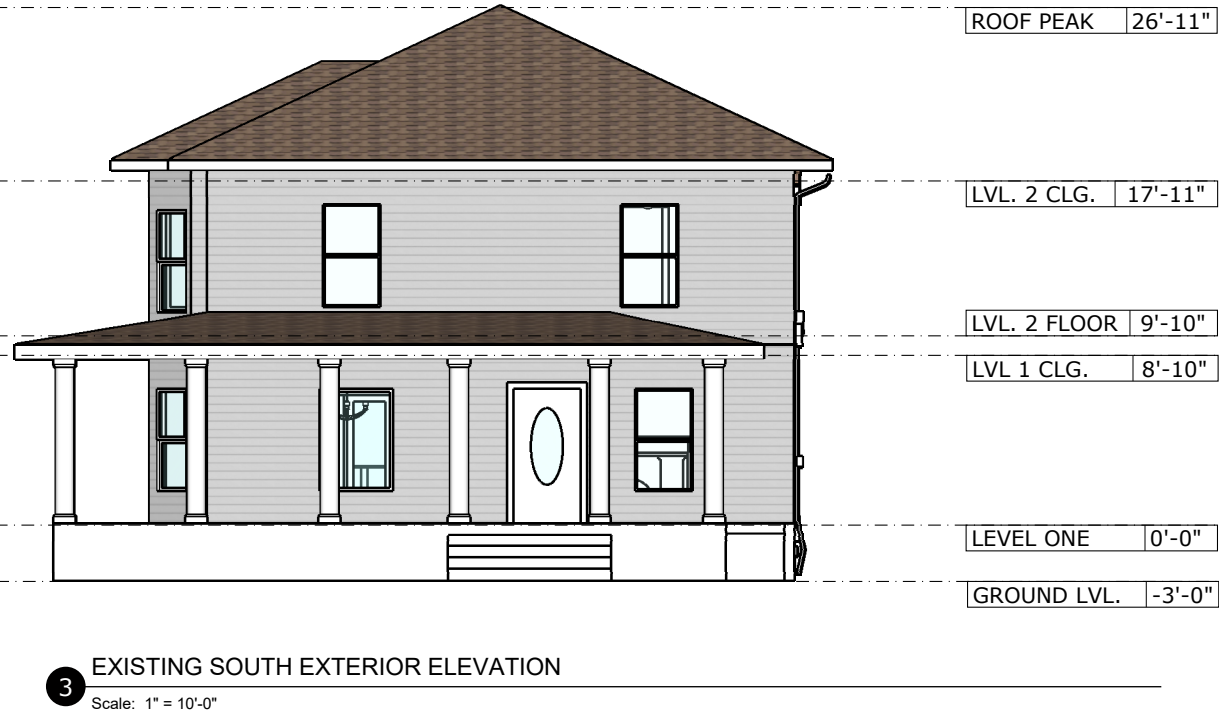
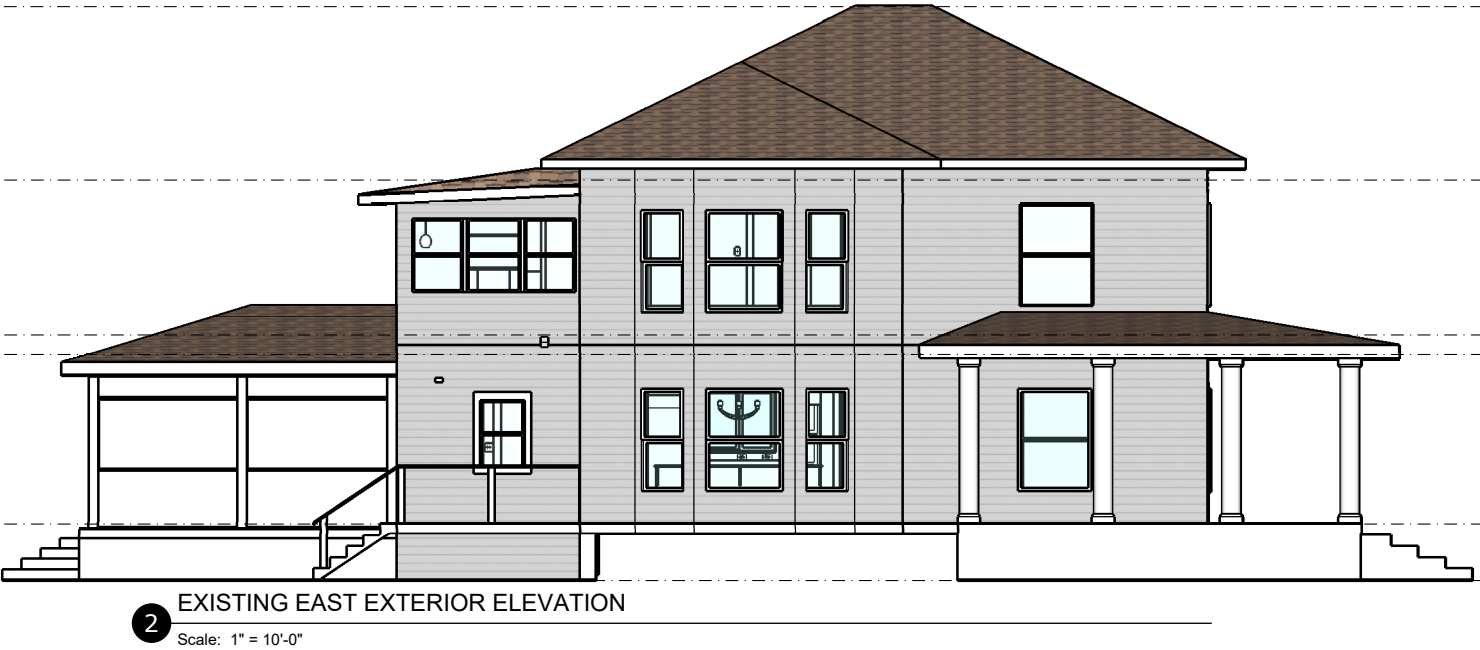
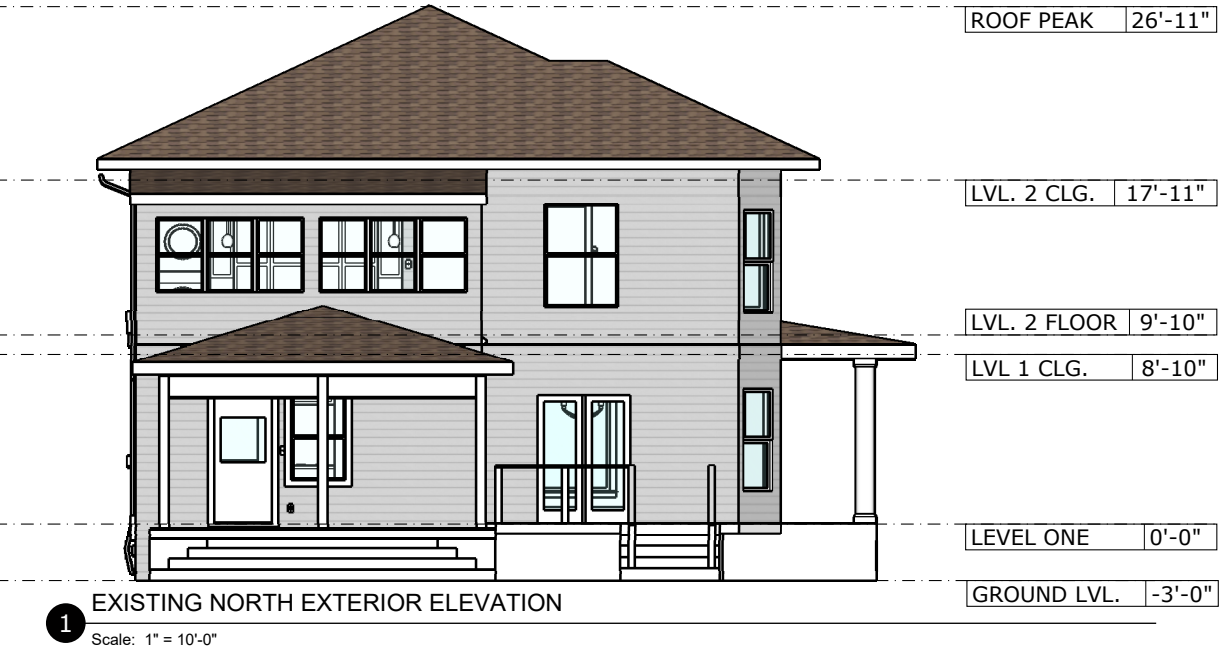
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EXISTING FLOOR &
DEMOLITION PLANS

ROOFING

FC SIDING

WOOD



JAMES GREY

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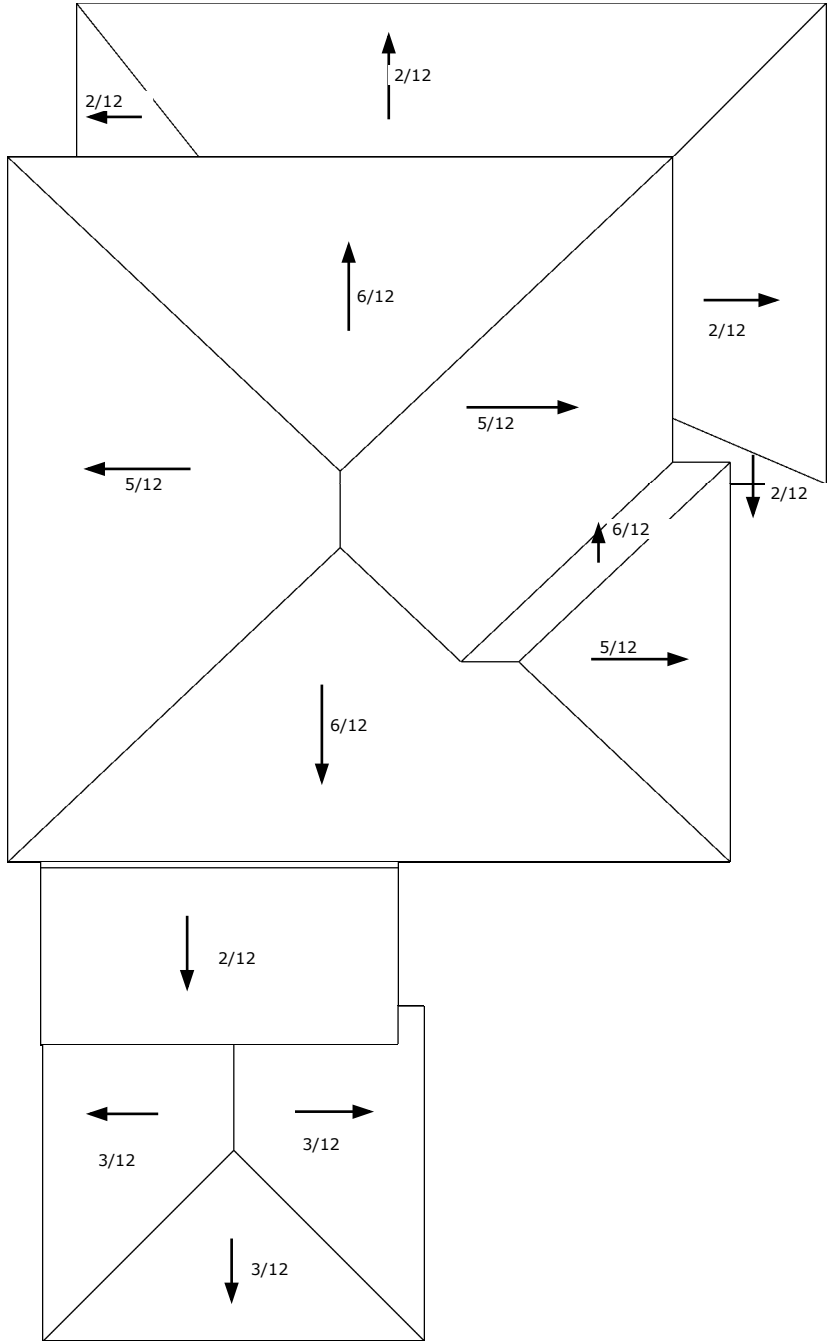
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EXISTING EXTERIOR ELEVATIONS

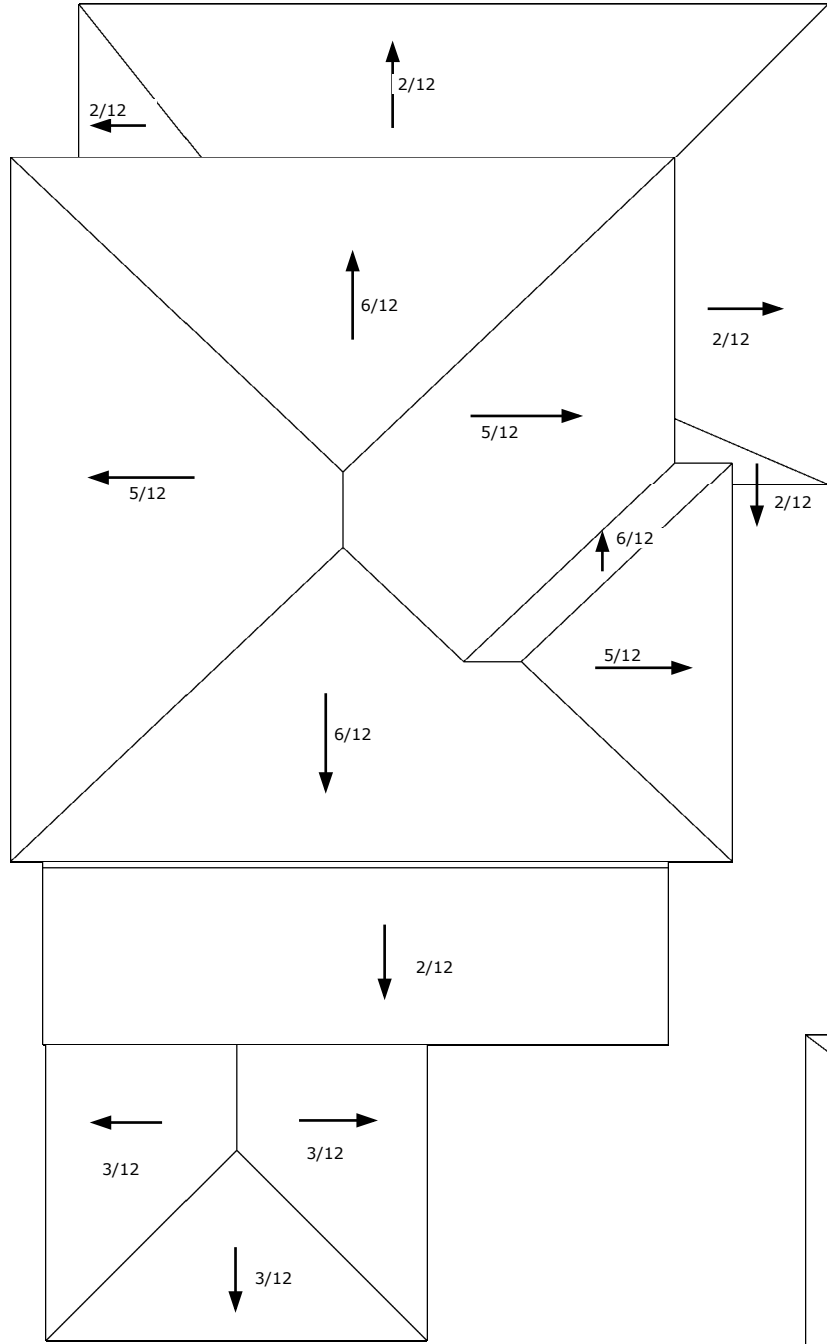
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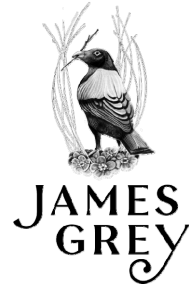
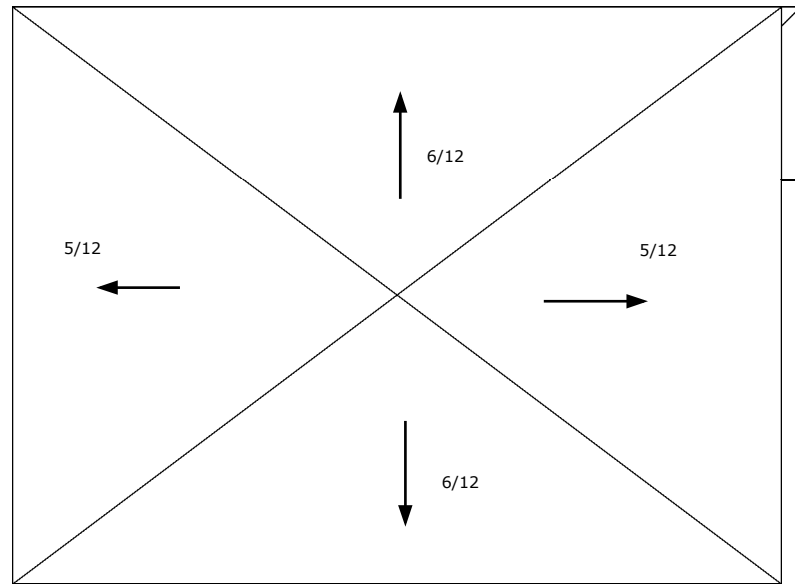
1 EXISTING MAIN HOUSE ROOF PLAN
Scale: 1" = 10'-0"



2 UPDATED MAIN HOUSE ROOF PLAN
Scale: 1" = 10'-0"



3 NEW GARAGE ROOF PLAN
Scale: 1" = 10'-0"



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ROOF PLANS

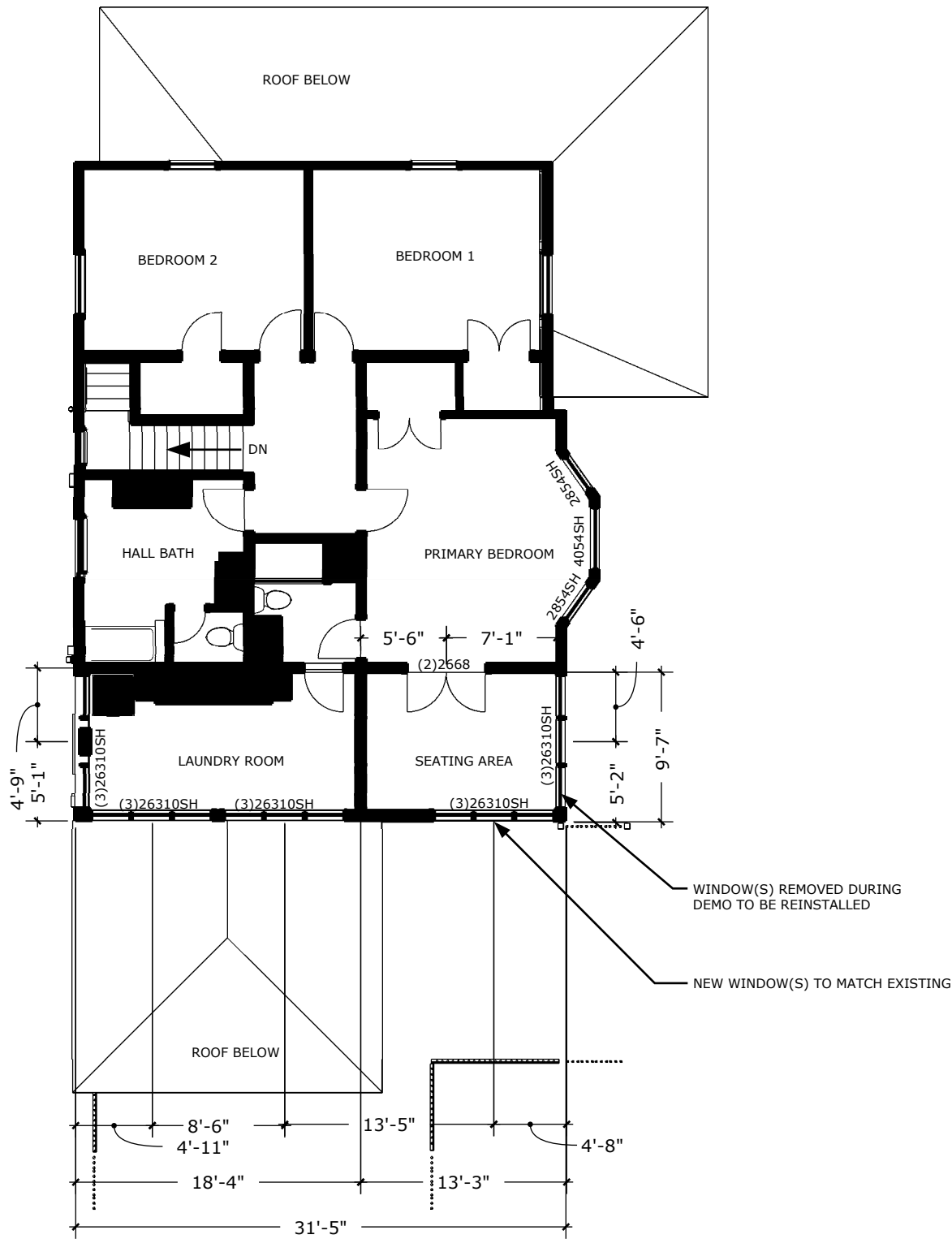
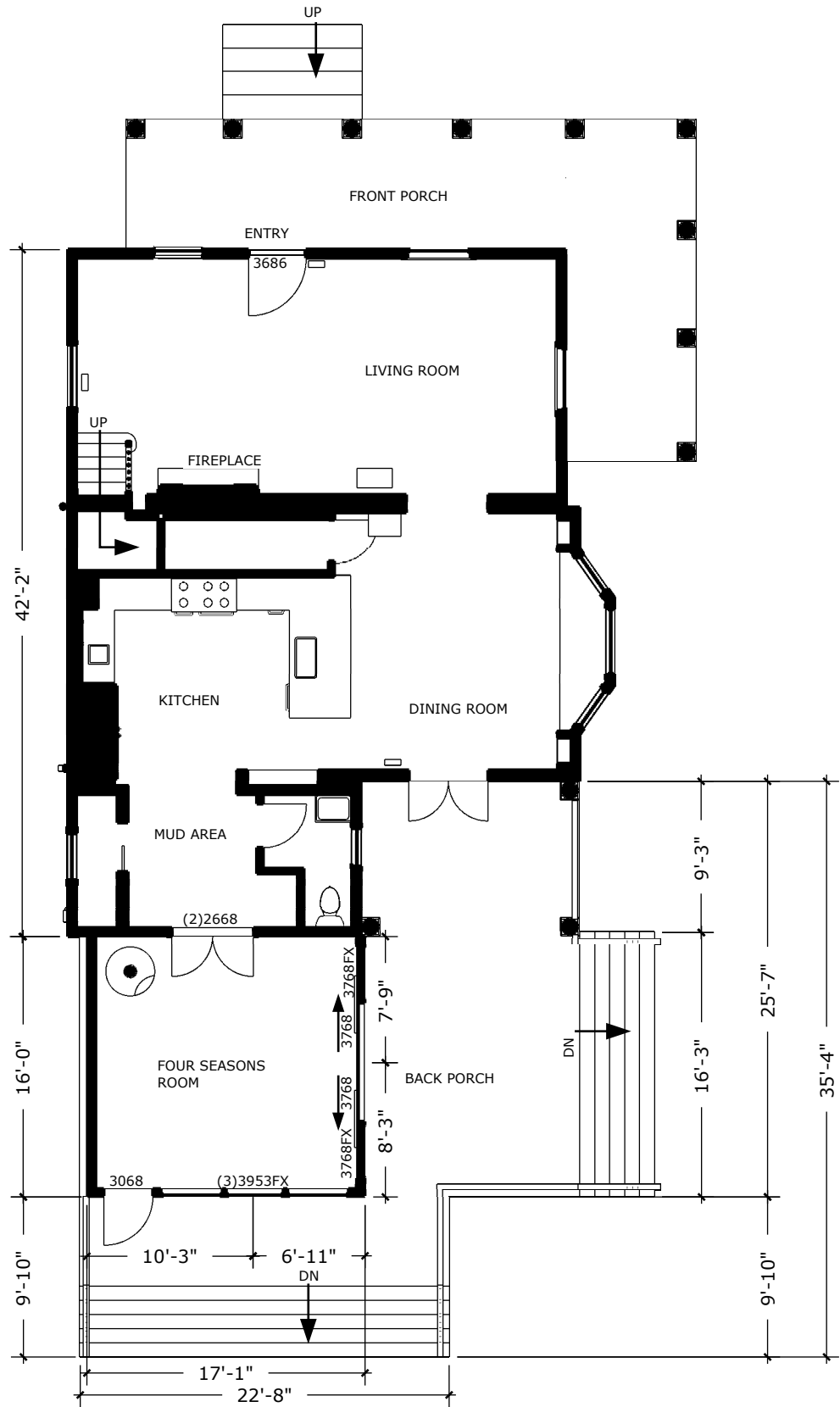


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INITIAL: _____
DATE: _____
FLOOR PLANS -
MAIN HOUSE



MATERIAL SYMBOL LEGEND



GENERAL NOTES

- 1) ALL NEW EXTERIOR PAINT TO MATCH EXISTING AS MUCH AS IS FEASIBLE
- 2) NEW ROOFING TO MATCH EXISTING.
- 3) ALL NEW FASCIA, RAKES, FRIEZE BOARDS, EAVES, & SOFFITS TO MATCH EXISTING.



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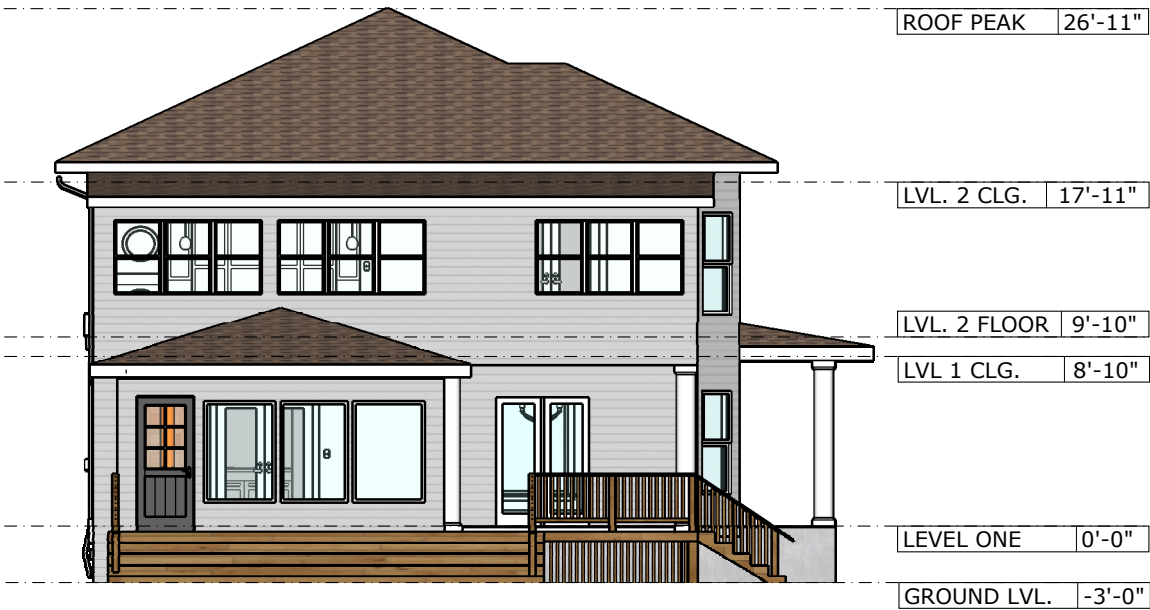
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CLIENT APPROVAL

INITIAL: _____

DATE: _____

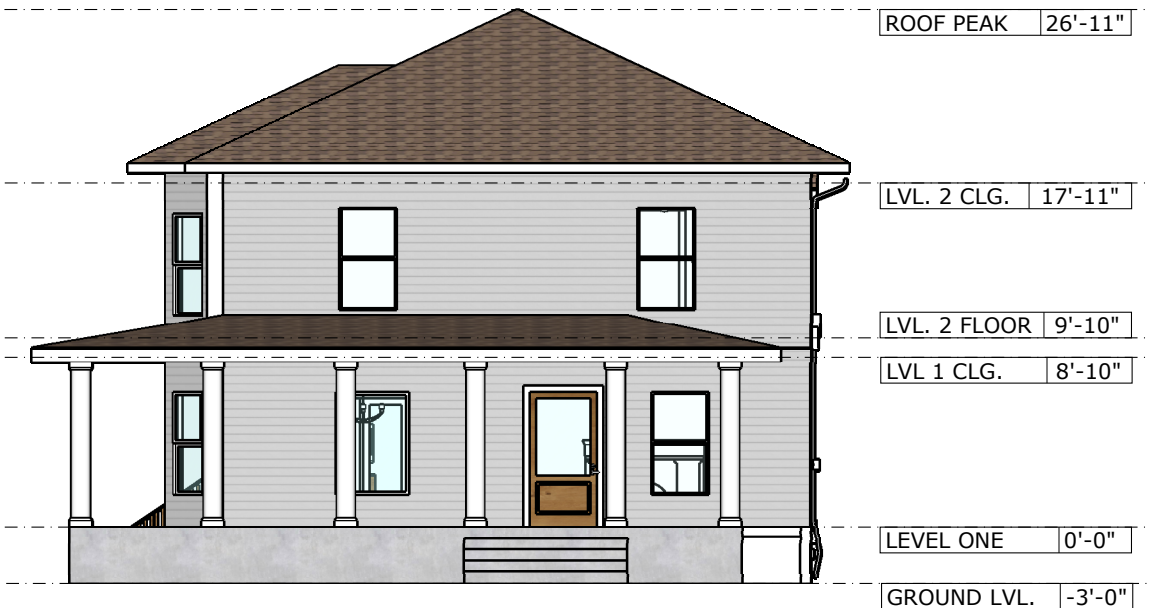
MAIN HOUSE -
EXTERIOR
ELEVATIONS



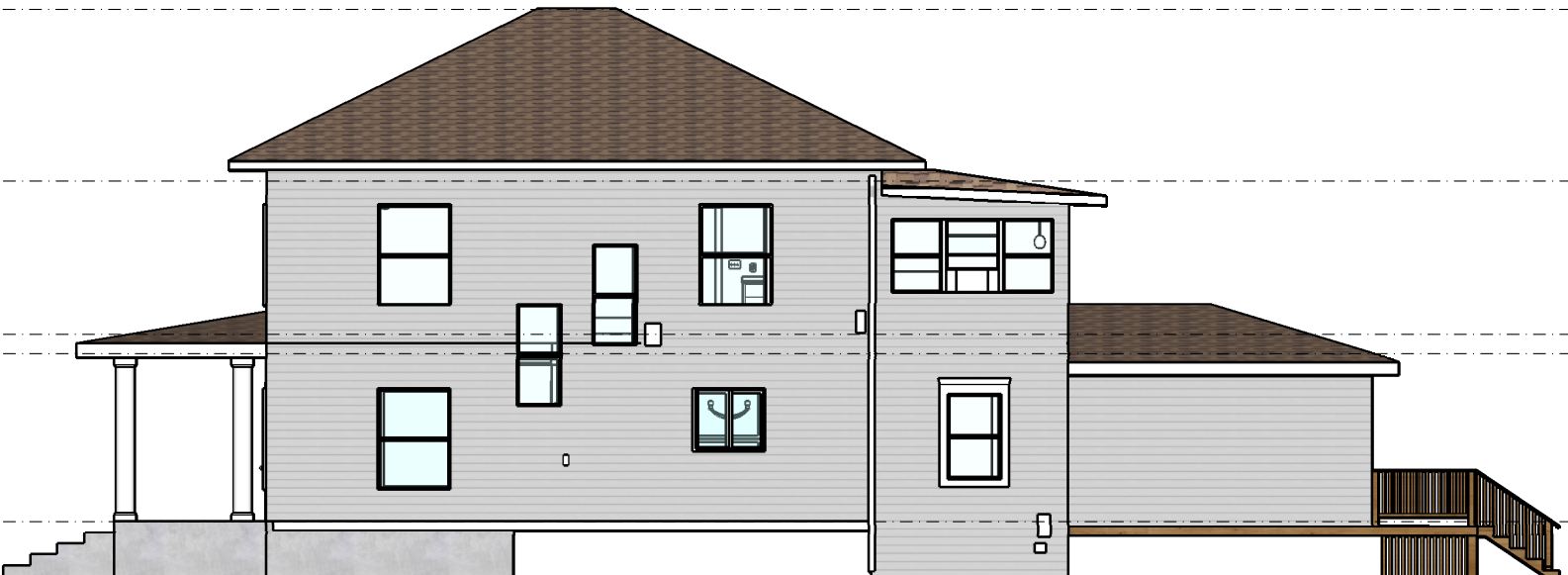
1 NORTH EXTERIOR ELEVATION
Scale: 1" = 10'-0"



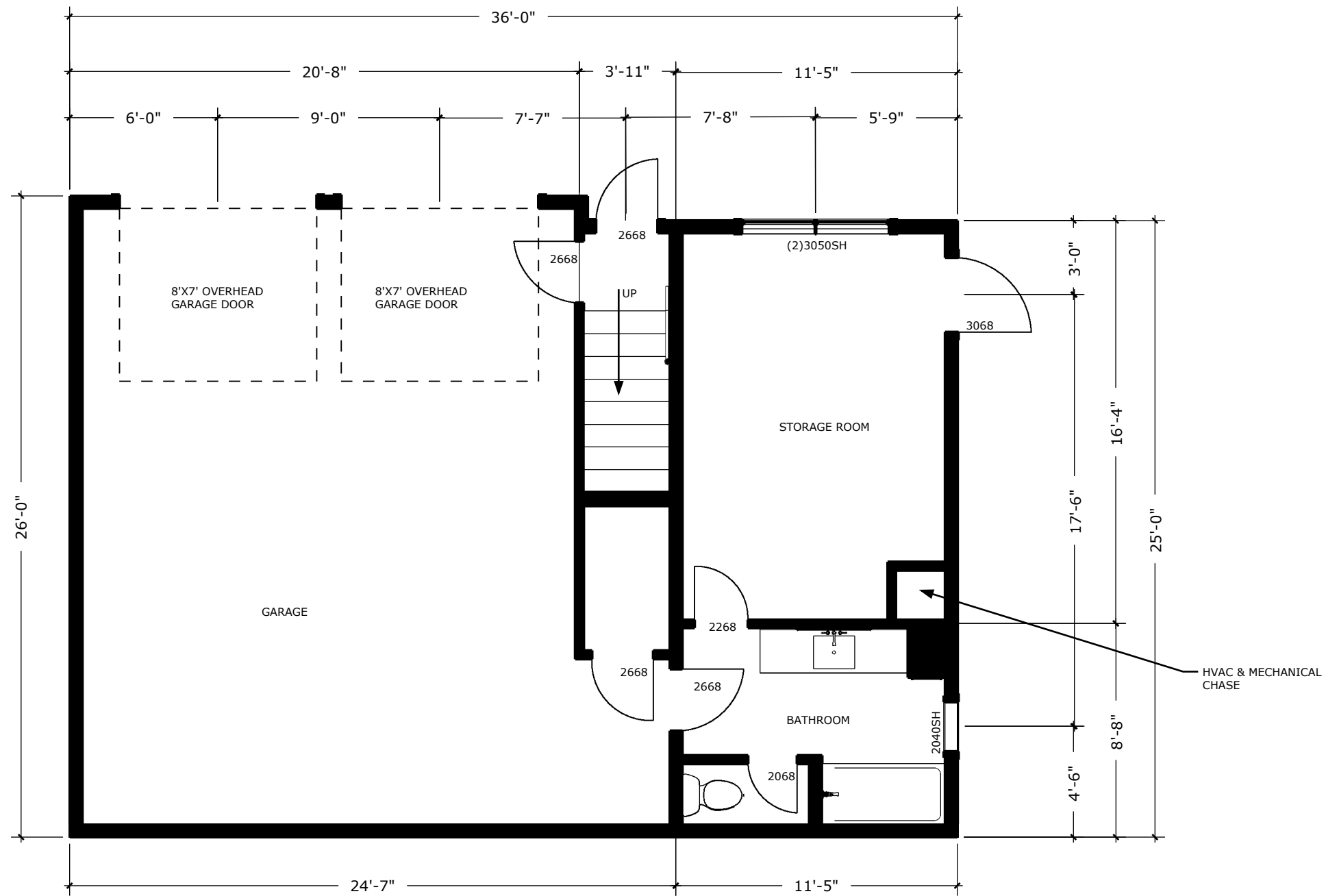
2 EAST EXTERIOR ELEVATION
Scale: 1" = 10'-0"



3 SOUTH EXTERIOR ELEVATION
Scale: 1" = 10'-0"



4 WEST EXTERIOR ELEVATION
Scale: 1" = 10'-0"



1

LEVEL 1 PLAN - DETACHED GARAGE

Scale: 3/16" = 1'-0"



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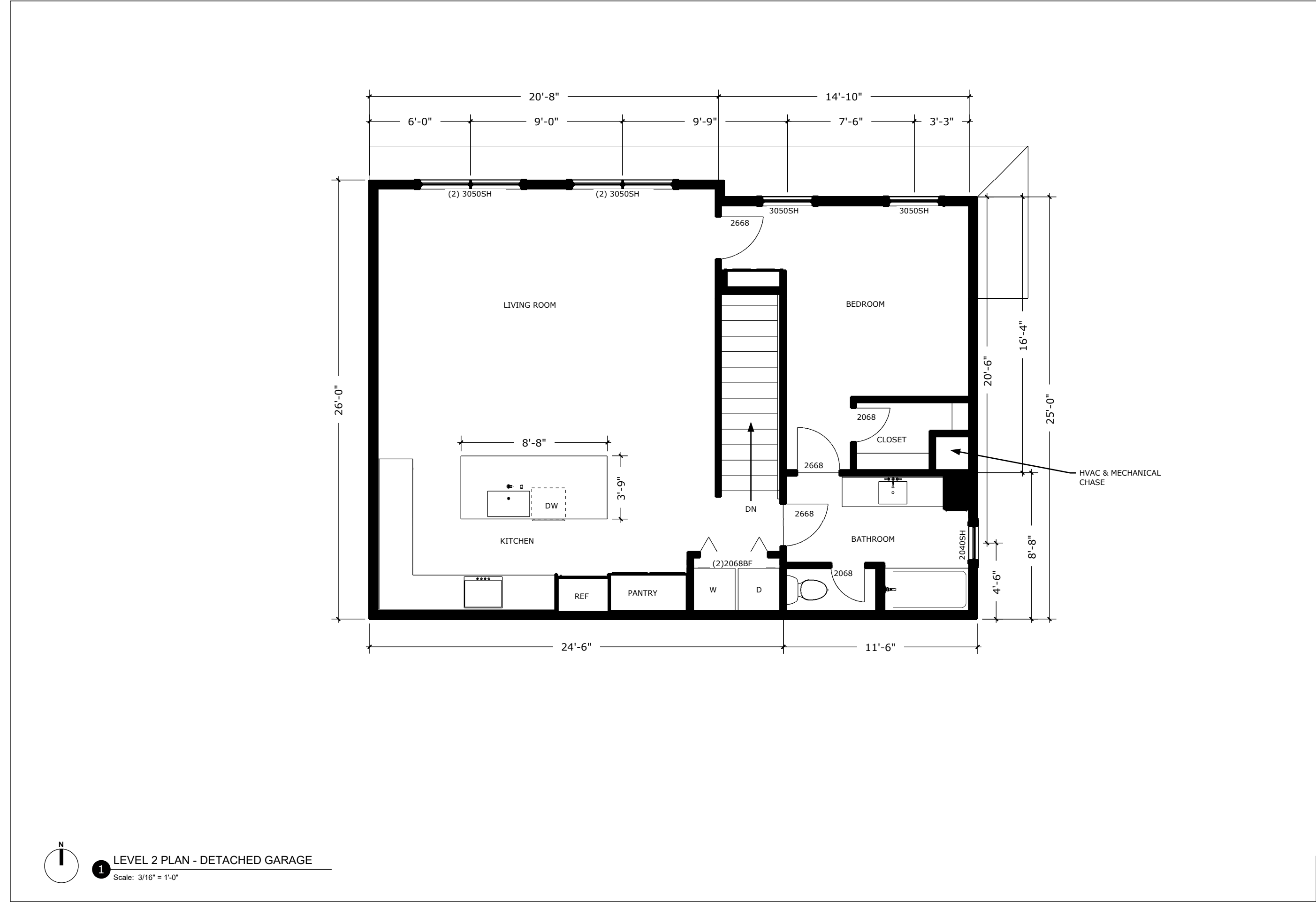
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INITIAL: _____

DATE: _____

FLOOR PLANS -
LVL. 1 DETACHED
GARAGE





**JAMES
GREY**

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Drawn By: MVT

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INITIAL: _____

DATE: _____

FLOOR PLANS -
LVL. 2 DETACHED
GARAGE

9

MATERIAL SYMBOL LEGEND



GENERAL NOTES

- 1) ALL NEW EXTERIOR PAINT TO MATCH EXISTING AS MUCH AS IS FEASIBLE
- 2) NEW ROOFING TO MATCH EXISTING.
- 3) ALL NEW FASCIA, RAKES, FRIEZE BOARDS, EAVES, & SOFFITS TO MATCH EXISTING.



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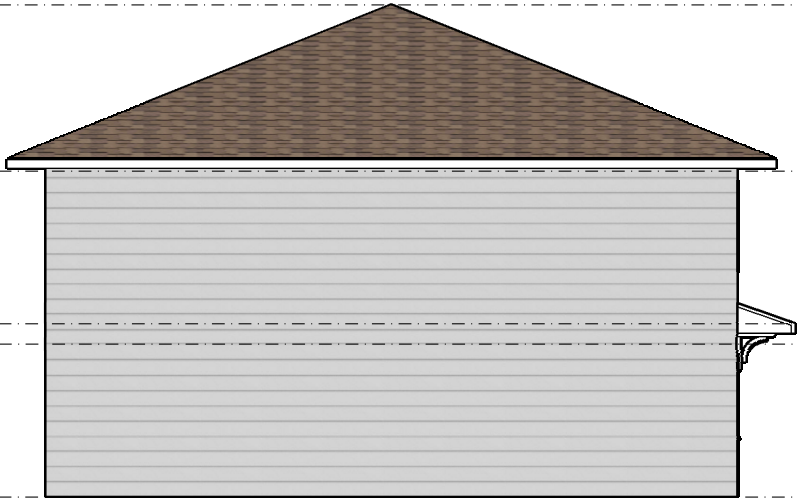
Drawn By: MVT

CLIENT APPROVAL

INITIAL: _____

DATE: _____

DETACHED
GARAGE -
EXTERIOR
ELEVATIONS



ROOF PEAK 25'-8"

LVL. 2 CLG. 17'-0"

LVL. 2 FLOOR 9'-0"

LVL 1 CLG. 8'-0"

LEVEL ONE 0'-0"

1 NORTH EXTERIOR ELEVATION
Scale: 1" = 10'-0"



2 EAST EXTERIOR ELEVATION
Scale: 1" = 10'-0"



ROOF PEAK 25'-8"

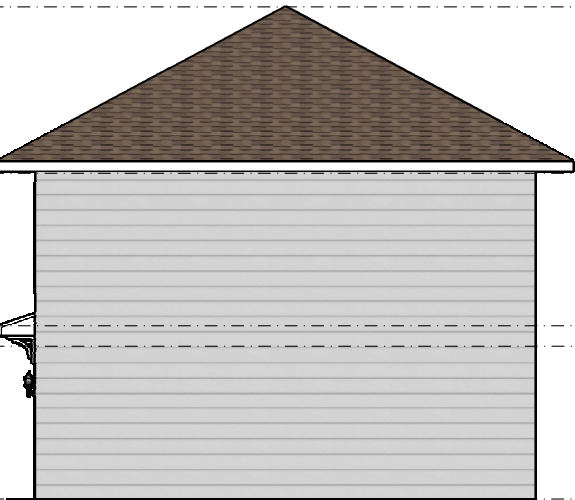
LVL. 2 CLG. 17'-0"

LVL. 2 FLOOR 9'-0"

LVL 1 CLG. 8'-0"

LEVEL ONE 0'-0"

3 SOUTH EXTERIOR ELEVATION
Scale: 1" = 10'-0"



4 WEST EXTERIOR ELEVATION
Scale: 1" = 10'-0"