



The City of Oklahoma City  
Development Services Department, Subdivision and Zoning  
420 West Main Street, Suite 910, Oklahoma City, Oklahoma, 73102  
Phone: (405) 297-2623 – Web: <https://www.okc.gov>

## APPLICATION FOR SPUD ReZONING

Simplified Planned Unit Development District  
1915 N. McKinley Ave.

Project Name

1915 N. McKinley Ave.

Address / Location of Property (Provide County name & parcel no. if unknown)

Residential development.

Summary Purpose Statement / Proposed Development

Staff Use Only

Case No.: SPUD - 1533

File Date: 11MAY'23

Ward No.: 6

Nbhd. Assoc.: GATEWOOD UCD

School District: OKC

Extg Zoning: R-1

Overlay: GATEWOOD UCD

0.11 acres

ReZoning Area (Acres or Square Feet)

### REQUIREMENTS FOR SUBMITTAL:

- ☐ One (1) Typed Legal Description of Proposed Rezoning area in MS Word file (.doc or .docx) format.
- ☐ One (1) copy of Recorded Deed(s), with Exhibit(s), listing current Property Owner in .pdf format.
- ☐ One (1) copy of Letter of Authorization from Property Owner listing Designated Representative if Applicant is not the Property Owner of record.
- ☐ One (1) copy of Property Owners Report listing all property owners who own property within a 300-foot buffer area of the property to be rezoned. The list **MUST** include the mailing address and the legal description of their property and **MUST** be current to within 30 days of the date of submittal of the application. A minimum of 10 separate individual property owners is required. If there are less than 10 individual owners within the 300-foot buffer, the radius must be extended by increments of 100 feet until the list contains no less than 10 owners. Provide One (1) PDF (.pdf) file version, AND one (1) MS Excel (.xls or .xlsx) file version.
- ☐ One (1) Signed and Notarized copy of "Affirmation" that the Property Owners Report listings are true and correct unless the list is prepared by a Certified Abstractor or County official.
- ☐ One (1) Typed Prepared copy of Proposed Master Design Statement in an MS Word file (.doc or .docx) file format.
- ☐ One (1) Proposed Master Development Plan Map in a PDF (.pdf) file format. Reference Submittal checklist for specific details.
- ☐ Maps, Site Plan, Survey Exhibits, Photographs, or other supporting illustrations must be 600dpi minimum resolution, and in a .pdf file format. Photographic file formats (.jpeg, .png, .tiff, etc.) of drawings, maps, or other documents will not be accepted.
- ☐ A filing fee of \$1800.00 must be remitted within One (1) business day of submittal confirmation. (Make check payable to "City Treasurer")

Property Owner Information (if other than Applicant):

Name

Mailing Address

City, State, Zip Code

Phone

Email

Signature of Applicant

David M. Box on behalf of Applicant  
Williams, Box, Forshee & Bullard, P.C.

Applicant's Name (please print)

522 Colcord Dr.

Applicant's Mailing Address

Oklahoma City, OK 73102

City, State, Zip Code

405-232-0080

Phone

dmbbox@wbfbllaw.com / esilberg@wbfbllaw.com

Email

Submit your Application by Email to [Subdivisionandzoning@OKC.gov](mailto:Subdivisionandzoning@OKC.gov)  
Compressed files (.zip, etc.) or links to FileShare services (Dropbox, etc.) can not be accepted for security purposes.

**WARRANTY DEED**  
Statutory Form Individual

2021102201168004 B: 14941 P: 610  
10/22/2021 03:03:40 PM Pgs: 1  
Fee: \$18.00 Doc Stamp: \$222.75  
David B. Hooten, County Clerk  
Oklahoma County - State of Oklahoma



**Know All Men by These Presents:**

THAT, Winifred Enterprises, LLC, duly organized and existing under and by virtue of the laws of the State of Oklahoma party of the first part, in consideration of the sum of TEN and No/100 (\$10.00) and other valuable considerations in hand paid, the receipt of which is hereby acknowledged, does hereby Grant, Bargain, Sell and convey unto Esperanza Real Estate Investments, LLC party of the second part, the following described real property and premises situate in Oklahoma County, State of Oklahoma, to wit:

The South Fifty (50) feet of Lots Thirteen (13), Fourteen (14), Fifteen (15), and Sixteen (16), in Block Fifty-Six (56) of UNIVERSITY ADDITION, to Oklahoma City, Oklahoma County, Oklahoma, according to the recorded plat thereof.

TAX ID No.: 045008489

Grantee's Mailing Address: 12115 Old Mill Road, Oklahoma City, OK 73131

together with all the improvements thereon and the appurtenances thereunto belonging, and warrant the title to the same.

TO HAVE AND TO HOLD said described premises unto the said party of the second part, its heirs and assigns forever, free, clear and discharged of and from all former grants, charges, taxes, judgments, mortgages and other liens and encumbrances of whatsoever nature. SUBJECT to existing zoning, easements, right-of-ways and restrictive covenants of record.

IN WITNESS WHEREOF, the said party of the first part has caused these presents to be signed in its name by its Manager this 22nd day of October, 2021.

WINIFRED ENTERPRISES, LLC

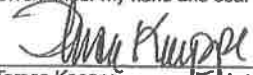
  
\_\_\_\_\_  
Jerry A Day  
Manager

2110275  
Doc Stamps: \$222.75  
CORPORATION OR LLC ACKNOWLEDGMENT

State of Oklahoma  
County of Oklahoma

Before me, the undersigned, a Notary Public in and for said County and State on this 22nd day of October, 2021, personally appeared, Jerry A Day, to me known to be the identical person who subscribed the name of the maker thereof to the foregoing instrument as its Manager and acknowledged to me that same was executed as the free and voluntary act and deed of such entity for the uses and purposes therein set forth.

Given under my hand and seal the day and year last above written.

  
\_\_\_\_\_  
Teresa Koepp  
Commission Expires: 5/19/2025

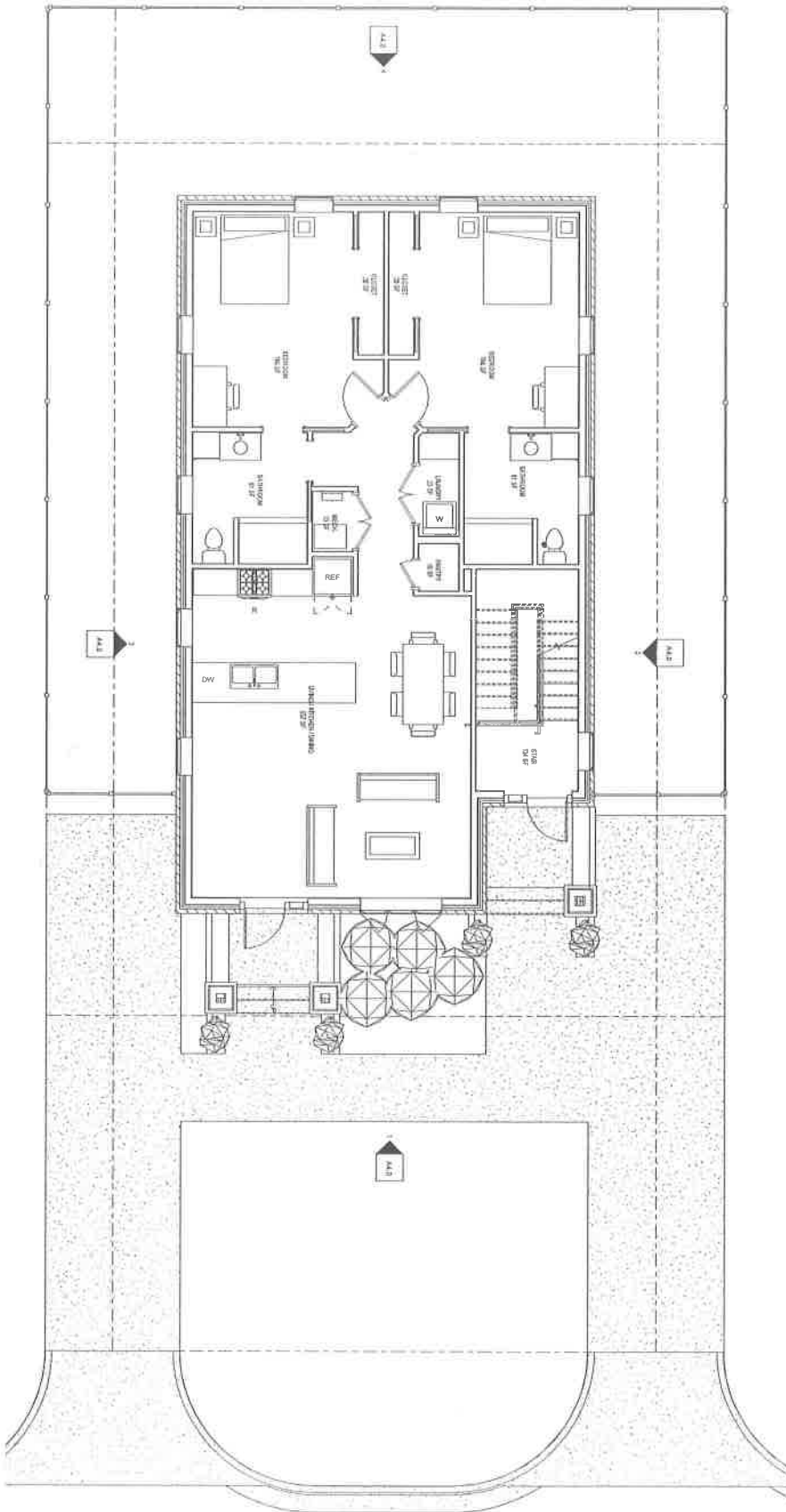


RETURN TO:  
Oklahoma City Abstract & Title Co.  
1900 N.W. Expressway, Suite 210  
Oklahoma City, OK 73118

Exhibit A  
Legal Description

The South Fifty (50) feet of Lots Thirteen (13), Fourteen (14), Fifteen (15), and Sixteen (16), in Block Fifty-Six (56) of UNIVERSITY ADDITION, to Oklahoma City, Oklahoma County, according to the recorded plat thereof.

LEVEL 1  
1/4" = 1'-0"



## McKinley Avenue Duplex Esperanza Real Estate Investing

1915 N. McKinley Avenue  
Oklahoma City, Oklahoma

#	Description	Area
1	Living Room	11.00
2	Dining Room	11.00
3	Kitchen	11.00
4	Bedroom	11.00
5	Bedroom	11.00
6	Bathroom	11.00
7	Hallway	11.00
8	Staircase	11.00
9	Entry	11.00
10	Front Porch	11.00
11	Back Porch	11.00
12	Garage	11.00
13	Driveway	11.00
14	Landscaping	11.00
15	Other	11.00

Project Number: 1915  
Project Name: McKinley Avenue Duplex  
Project Location: Oklahoma City, Oklahoma

Project Date: 11/22/2022  
Project Status: In Progress


Project ID: A2.1  
Project Code: 08115722

ARCHITECTURE  
815 NORTH WALKER, SUITE 100  
OKLAHOMA CITY, OKLAHOMA 73102  
PHONE: 405.661.1234  
WWW.STUDIO10.COM

PRELIMINARY  
DRAWINGS  
NOT FOR  
CONSTRUCTION

## LETTER OF AUTHORIZATION

Susan Binkowski, for Esperanza Real Estate Investments, LLC, (the property owner of record) or (an agent of the property owner of record) authorize(s) David M. Box, Mason J. Schwartz, Cooper T. Hahn, and the firm of Williams, Box, Forshee & Bullard P.C., to make application for municipal approvals and to do all things necessary for the advancement of such application with respect to the property at the following location 1915 N. McKinley, Oklahoma City, OK 73106.

By: \_\_\_\_\_

Susan Binkowski, Esperanza Real Estate Investments, LLC

Title: Manager

Date: 11/22/23

STATE OF OKLAHOMA )  
 )  
 ) §:  
COUNTY OF OKLAHOMA )

By: Steven Jakowski  
Steven Jakowski  
Abstractor License No. 4192  
OAB Certificate of Authority # 0049  
File No. 2807469-OK99

Exhibit A  
Legal Description

The South Fifty (50) feet of Lots Thirteen (13), Fourteen (14), Fifteen (15), and Sixteen (16), in Block Fifty-Six (56) of UNIVERSITY ADDITION, to Oklahoma City, Oklahoma County, according to the recorded plat thereof.

OWNERSHIP REPORT  
ORDER 2807469-OK99

DATE PREPARED: APRIL 18, 2023  
EFFECTIVE DATE: APRIL 12, 2023 AT 7:30 AM

MAP NO	ACCOUNT NO	NAME 1	NAME 2	MAILING ADDRESS	CITY	STATE	ZIP CODE	SUB NAME	BLOCK	LOT	LEGAL	LOCATION
2713	R045006489	ESPERANZA REAL ESTATE INVESTMENTS LLC		12601 DUTCH FOREST LN	EDMOND	OK	73013	UNIVERSITY ADDITION	056	000	UNIVERSITY ADDITION 056 000 S50FT LOTS 13 THRU 16 (SUBJECT PROPERTY)	1915 N MCKINLEY AVE OKLAHOMA CITY
2713	R045162600	DODD CHRISTOPHER MORGAN		1512 NW 18TH ST	OKLAHOMA CITY	OK	73106-4214	NICHOLS UNIV PLACE	002	004	NICHOLS UNIV PLACE 002 004	1512 NW 18TH ST OKLAHOMA CITY
2713	R045162800	RED PRAIRIE LLC		500 WAR ADMIRAL CT	EDMOND	OK	73025-7913	NICHOLS UNIV PLACE	002	005	NICHOLS UNIV PLACE 002 005	1514 NW 18TH ST OKLAHOMA CITY
2713	R045163000	ROSE DAVID & ANNA FAYE TRUST		PO BOX 322	OKLAHOMA CITY	OK	73101	NICHOLS UNIV PLACE	002	006	NICHOLS UNIV PLACE 002 006	1520 NW 18TH ST OKLAHOMA CITY
2713	R045164600	COFFMAN WILLIAM MALONE		1504 NW 19TH ST	OKLAHOMA CITY	OK	73106	NICHOLS UNIV PLACE	003	002	NICHOLS UNIV PLACE 003 002	1504 NW 19TH ST OKLAHOMA CITY
2713	R045164800	KMT INVESTMENTS I LLC		1645 SARATOGA WAY	EDMOND	OK	73003	NICHOLS UNIV PLACE	003	003	NICHOLS UNIV PLACE 003 003	1508 NW 19TH ST OKLAHOMA CITY
2713	R045165000	THORDAL CHRISTENSEN ERIK		532 NW 45TH ST	OKLAHOMA CITY	OK	73118	NICHOLS UNIV PLACE	003	004	NICHOLS UNIV PLACE 003 004	1512 NW 19TH ST OKLAHOMA CITY
2713	R045165200	PARSONS WILLIAM D III & ANNA EMILY V		1516 NW 19TH ST	OKLAHOMA CITY	OK	73106	NICHOLS UNIV PLACE	003	005	NICHOLS UNIV PLACE 003 005	1516 NW 19TH ST OKLAHOMA CITY
2713	R045165400	DALMAN GERRIT H		440 SPRING ST	COLORADO SPRINGS	CO	80904	NICHOLS UNIV PLACE	003	006	NICHOLS UNIV PLACE 003 006	1520 NW 19TH ST OKLAHOMA CITY
2713	R045165600	MCCARTY RON D	SCOTT BRYAN	1521 NW 18TH ST	OKLAHOMA CITY	OK	73106-4213	NICHOLS UNIV PLACE	003	007	NICHOLS UNIV PLACE 003 007	1521 NW 18TH ST OKLAHOMA CITY



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2713	R045165800	FURBER DEVON		1519 NW 18TH ST	OKLAHOMA CITY	OK	73106	NICHOLS UNIV PLACE	003	008	NICHOLS UNIV PLACE 003 008	1519 NW 18TH ST OKLAHOMA CITY
2713	R045166000	ROOKER HOLLY J		1513 NW 18TH ST	OKLAHOMA CITY	OK	73106-4213	NICHOLS UNIV PLACE	003	009	NICHOLS UNIV PLACE 003 009	1513 NW 18TH ST OKLAHOMA CITY
2713	R045166200	DIMSKI MARK C TRS	DIMSKI MARK C TRUST	1511 NW 18TH ST	OKLAHOMA CITY	OK	73106	NICHOLS UNIV PLACE	003	010	NICHOLS UNIV PLACE 003 010	1511 NW 18TH ST OKLAHOMA CITY
2713	R045166400	NULL HUGH		1505 NW 18TH ST	OKLAHOMA CITY	OK	73106-4213	NICHOLS UNIV PLACE	003	011	NICHOLS UNIV PLACE 003 011	1507 NW 18TH ST OKLAHOMA CITY
2713	R045004554	GRESHAM SAM L		400 NW 23RD ST	OKLAHOMA CITY	OK	73103-1508	UNIVERSITY ADDITION	041	000	UNIVERSITY ADDITION 041 000 S100FT LOTS 19 & 20	1607 NW 19TH ST OKLAHOMA CITY
2713	R045004608	BLACKWELDER 19 LLC		1 NE 7TH ST	OKLAHOMA CITY	OK	73104	UNIVERSITY ADDITION	041	000	UNIVERSITY ADDITION 041 000 LOTS 31 & 32	2000 N BLACKWELDER AVE OKLAHOMA CITY
2713	R045004599	PERREIRA DANIEL E & TEMPE L		128 NW 147TH ST	EDMOND	OK	73013-2456	UNIVERSITY ADDITION	041	000	UNIVERSITY ADDITION 041 000 LOTS 29 & 30	1625 NW 19TH ST OKLAHOMA CITY
2713	R045004590	SYLKE STEVEN & MARGARET		1621 NW 19TH ST	OKLAHOMA CITY	OK	73106	UNIVERSITY ADDITION	041	000	UNIVERSITY ADDITION 041 000 LOTS 27 & 28	1621 NW 19TH ST OKLAHOMA CITY
2713	R045004581	HEXEBERG TOR		1619 NW 19TH ST	OKLAHOMA CITY	OK	73106	UNIVERSITY ADDITION	041	000	UNIVERSITY ADDITION 041 000 LOTS 25 & 26	1619 NW 19TH ST OKLAHOMA CITY
2713	R045004563	GRESHAM SAM L		400 NW 23RD ST	OKLAHOMA CITY	OK	73103-1508	UNIVERSITY ADDITION	041	000	UNIVERSITY ADDITION BLK 041 LOTS 21 THRU 24	1607 NW 19TH ST OKLAHOMA CITY
2713	R045004536	GRESHAM SAM L		400 NW 23RD ST	OKLAHOMA CITY	OK	73103-1508	UNIVERSITY ADDITION	041	000	UNIVERSITY ADDITION 041 000 S100FT LOTS 17 & 18 PLUS N40FT LOTS 17 THRU 20	1607 NW 19TH ST OKLAHOMA CITY

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2713	R045006498	LUNA RAO	LUNA JUAN ANTONIO	2812 N WINDSOR TER	OKLAHOMA CITY	OK	73127-1931	UNIVERSITY ADDITION	056	000	UNIVERSITY ADDITION 056 000 S90.6FT LOTS 17 & 18	1601 NW 18TH ST OKLAHOMA CITY
2713	R045006561	CONE STEPHANIE		2593 WESTCHESTER DR ST	DENVER	CO	80457-0674	UNIVERSITY ADDITION	056	000	UNIVERSITY ADDITION 056 000 LOTS 31 & 32	1629 NW 18TH ST OKLAHOMA CITY
2713	R045006552	KELLOW KAREN J		1625 NW 18TH ST	OKLAHOMA CITY	OK	73106-4215	UNIVERSITY ADDITION	056	000	UNIVERSITY ADDITION 056 000 LOTS 29 & 30	1625 NW 18TH ST OKLAHOMA CITY
2713	R045006543	MUNKELWITZ MATTHEW	RICKERT CAROLINE	1621 NW 18TH ST	OKLAHOMA CITY	OK	73106	UNIVERSITY ADDITION	056	000	UNIVERSITY ADDITION 056 000 LOTS 27 & 28	1621 NW 18TH ST OKLAHOMA CITY
2713	R045006534	WILSON JASON E		1619 NW 18TH ST	OKLAHOMA CITY	OK	73106	UNIVERSITY ADDITION	056	000	UNIVERSITY ADDITION 056 000 LOTS 25 & 26	1619 NW 18TH ST OKLAHOMA CITY
2713	R045006525	CURRY WILLIAM H IV		1613 NW 18TH ST	OKLAHOMA CITY	OK	73106	UNIVERSITY ADDITION	056	000	UNIVERSITY ADDITION 056 000 LOTS 23 & 24	1613 NW 18TH ST OKLAHOMA CITY
2713	R045006516	WALKER 3E PROPERTIES LLC		2428 NW 55TH ST	OKLAHOMA CITY	OK	73112	UNIVERSITY ADDITION	056	000	UNIVERSITY ADDITION 056 000 LOTS 21 & 22	1609 NW 18TH ST OKLAHOMA CITY
2713	R045006507	SERVIN LORENZO GAMEZ	RICO REYNA R	1605 NW 18TH ST	OKLAHOMA CITY	OK	73106-4215	UNIVERSITY ADDITION	056	000	UNIVERSITY ADDITION 056 000 LOTS 19 & 20	1605 NW 18TH ST OKLAHOMA CITY
2713	R045006500	SHADY OAKS COTTAGES LLC		3702 E KACHINA DR	PHOENIX	AZ	85044	UNIVERSITY ADDITION	056	000	UNIVERSITY ADDITION 056 000 N49.4FT LOTS 17 & 18	1909 N MCKINLEY AVE OKLAHOMA CITY
2713	R045006471	KARR DAVID LEE JR		1917 N MCKINLEY AVE	OKLAHOMA CITY	OK	73106-4256	UNIVERSITY ADDITION	056	000	UNIVERSITY ADDITION 056 000 S25FT OF N90FT LTS 13 THRU 16	1917 N MCKINLEY AVE OKLAHOMA CITY
2713	R045006417	AGUINAGA REGINA		1630 NW 19TH ST	OKLAHOMA CITY	OK	73106-3819	UNIVERSITY ADDITION	056	000	UNIVERSITY ADDITION 056 000 LOTS 1 & 2	1630 NW 19TH ST OKLAHOMA CITY

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2713	R045006426	CABALLERO DANIEL		2649 W PARK PL	OKLAHOMA CITY	OK	73107-5433	UNIVERSITY ADDITION	056	000	UNIVERSITY ADDITION 056 000 LOTS 3 & 4	1624 NW 19TH ST OKLAHOMA CITY
2713	R045006435	JOHNSON BROOKELYN A & DYMON		1620 NW 19TH ST	OKLAHOMA CITY	OK	73106	UNIVERSITY ADDITION	056	000	UNIVERSITY ADDITION 056 000 LOTS 5 & 6	1620 NW 19TH ST OKLAHOMA CITY
2713	R045006444	RIOS MARCELINO & MARTHA		1616 NW 19TH ST	OKLAHOMA CITY	OK	73106-3819	UNIVERSITY ADDITION	056	000	UNIVERSITY ADDITION 056 000 LOTS 7 & 8	1616 NW 19TH ST OKLAHOMA CITY
2713	R045006453	LIN ZHIWEI CALVIN		1612 NW 19TH ST	OKLAHOMA CITY	OK	73106-3819	UNIVERSITY ADDITION	056	000	UNIVERSITY ADDITION 056 000 LOTS 9 & 10	1612 NW 19TH ST OKLAHOMA CITY
2713	R045006462	SANROMAN DEANNA K	SANROMAN ARMANDO L JR	1608 NW 19TH ST	OKLAHOMA CITY	OK	73106-3819	UNIVERSITY ADDITION	056	000	UNIVERSITY ADDITION 056 000 LOTS 11 & 12	1608 NW 19TH ST OKLAHOMA CITY
2713	R045006480	ROSS TOBIN P & SANDEE		15801 STERLING CANYON DR	OKLAHOMA CITY	OK	73165-3013	UNIVERSITY ADDITION	056	000	UNIVERSITY ADDITION 056 000 N65FT LOTS 13 THRU 16	1925 N MCKINLEY AVE OKLAHOMA CITY
2713	R045006741	HLEBOWICZ ROBERT F & PATTI L		1622 NW 18TH ST	OKLAHOMA CITY	OK	73106-4216	UNIVERSITY ADDITION	061	000	UNIVERSITY ADDITION 061 000 LOTS 5 & 6	1622 NW 18TH ST OKLAHOMA CITY
2713	R045006750	PAHL MARK		3535 NW 58TH ST STE 800E	OKLAHOMA CITY	OK	73112-4804	UNIVERSITY ADDITION	061	000	UNIVERSITY ADDITION 061 000 LOTS 7 & 8	1620 NW 18TH ST OKLAHOMA CITY
2713	R045006759	MCDOWELL DENNIS E	MCDOWELL GAIL L	1612 NW 18TH ST	OKLAHOMA CITY	OK	73106-4216	UNIVERSITY ADDITION	061	000	UNIVERSITY ADDITION 061 000 LOTS 9 & 10	1612 NW 18TH ST OKLAHOMA CITY
2713	R045006768	HEIM NICHOLAS R & AMMIEL R		1608 NW 18TH ST	OKLAHOMA CITY	OK	73106	UNIVERSITY ADDITION	061	000	UNIVERSITY ADDITION 061 000 LOTS 11 & 12	1608 NW 18TH ST OKLAHOMA CITY
2713	R045006777	JONES TAYLOR & SARA		947 15TH ST SE	WASHINGTON	DC	20003	UNIVERSITY ADDITION	061	000	UNIVERSITY ADDITION 061 000 N 1/2 LOTS 13 THRU 16	1600 NW 18TH ST OKLAHOMA CITY
2713	R062145120	POWERS INVESTMENTS LLC		118 NW 1ST ST	MOORE	OK	73160	UNIVERSITY PLACE ADD	004	014	UNIVERSITY PLACE ADD 004 014	1527 NW 19TH ST OKLAHOMA CITY

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2713	R062145200	MCCRAY KEVIN C		1521 NW 19TH ST	OKLAHOMA CITY	OK	73106- 4011	UNIVERSITY PLACE ADD	004	015	UNIVERSITY PLACE ADD 004 015	1521 NW 19TH ST OKLAHOMA CITY
2713	R062145280	SMALL SUSAN V		1517 NW 19TH ST	OKLAHOMA CITY	OK	73106- 4011	UNIVERSITY PLACE ADD	004	016	UNIVERSITY PLACE ADD 004 016	1517 NW 19TH ST OKLAHOMA CITY
2713	R062145360	HUYNH FRANK CHUNG		4032 NW 15TH ST	OKLAHOMA CITY	OK	73107- 4321	UNIVERSITY PLACE ADD	004	017	UNIVERSITY PLACE ADD 004 017	1515 NW 19TH ST OKLAHOMA CITY

THE CITY OF OKLAHOMA CITY  
SIMPLIFIED PLANNED UNIT DEVELOPMENT

SPUD-\_\_\_\_\_

MASTER DESIGN STATEMENT FOR

1915 N. McKinley Ave.

April 26, 2023

**PREPARED BY:**

WILLIAMS, BOX, FORSHEE & BULLARD P.C.

David Box

522 Colcord Drive

Oklahoma City, OK 73102

405-232-0080 Phone

405-236-5814 Fax

[dmbox@wbfbllaw.com](mailto:dmbox@wbfbllaw.com)

## **SPUD- MASTER DESIGN STATEMENT**

This document serves as the Master Design Statement and fulfills the ordinance requirements for the Simplified Planned Unit Development (Chapter 59, Section 14150.B of the Oklahoma City Municipal Code, 2020, as amended).

### **I. Special Development Regulations:**

The following Special Development Regulations and/or limitations are placed upon the development of the Simplified Planned Unit Development. Planning and zoning regulations will be those that are in effect at the time of development of this Simplified Planned Unit Development; provided, however, that the density and or intensity of the SPUD shall not be increased. Development is when a permit is issued for any construction or addition to any structure on a development tract. Certain zoning districts are referred to as a part of the Special Development Regulations of this Simplified Planned Unit Development. For purposes of interpretation of these Special Development Regulations, the operative and controlling language and regulations of such zoning districts shall be the language and regulations applicable to the referenced zoning districts as contained in the City of Oklahoma City's Planning and Zoning Code as such exists at the time of development of this Simplified Planned Unit Development. In the event of conflict between provisions of this SPUD and any of the provisions of the Oklahoma City Municipal Code, as amended ("Code"), in effect at the time a permit is applied for with respect to any lot, block, tract and/or parcel of land subject to this SPUD, the provisions of the Code shall prevail and be controlling; provided however, that in the event of a conflict between the Special Use and Development Regulations specifically negotiated as a part of this SPUD and the provisions of the Code in effect at the time a permit is applied for with respect to any lot, block, tract and/or parcel of land subject to this SPUD, such Special Use and Development Regulations of this SPUD shall prevail and be controlling.

1. This site will be developed in accordance with the regulations of the **R-1 Single-Family Residential District** and all applicable guidelines and regulations of the Urban Design Overlay District (UD), including issuance of a Certificate of Approval when required (OKC Zoning Ordinance, 2020, as amended), except that the following restrictions will apply:

In addition to all uses permitted under R-1, the following shall also be permitted:

8200.16 Two-Family Residential

2. **Maximum Building Height:**

The maximum building height shall be in accordance with the base zoning district.

3. **Maximum Building Size:**

The maximum building size shall be 2 ½ stories, or 35 feet in height.

4. **Maximum Number of Buildings:**

There shall be a maximum of one (1) building with two (2) units within this SPUD.

**5. Building Setback Lines**

Front Yard: 25 feet

Rear Yard: 10 feet

Side Yard: 5 feet

Corner Side Yard: 15 feet

**6. Sight-proof Screening:**

Sight-proof screening shall be in accordance with the base zoning district.

**7. Landscaping:**

The subject parcel shall meet all requirements of the City of Oklahoma City's Landscaping Ordinance in place at the time of development.

**8. Signs:**

**8.1 Free Standing Accessory Signs**

Freestanding signs will be in accordance with the base zoning district regulations.

**8.2 Attached Signs**

Attached signs will be in accordance with the base zoning district regulations.

**8.3 Non-Accessory Signs**

Non-Accessory signs will be prohibited.

**8.4 Electronic Message Display Signs**

Electronic Message Display signs will be prohibited.

**9. Access:**

There shall be a maximum of two (2) access points from N. McKinley Ave.

**10. Sidewalks**

Five (5) foot sidewalks shall be constructed on the arterial street with each development parcel, or six (6) foot sidewalks shall be required if the sidewalk is constructed adjacent to the curb, subject to the policies and procedures of the Public Works Department. Four (4) foot sidewalks shall be constructed on the interior streets prior to any occupancy certificates being issued.

## **II. Other Development Regulations:**

### **1. Architecture:**

Exterior building wall finish on all main structures, exclusive of windows and doors, shall consist of a minimum 70% brick veneer, rock or stone masonry, stucco, and cementitious siding (including, but not limited to, the brand commonly known as James Hardie). No more than 30% EIFS (Exterior Insulation Finish System) shall be permitted. Exposed metal or exposed concrete block buildings shall not be permitted.

### **2. Open Space:**

Open space shall be in accordance with the base zoning district.

### **3. Street Improvements:**

N/A.

### **4. Site Lighting:**

The site lighting in this SPUD shall be in accordance with Chapter 59, Article XII, Section 59-12350 of the Oklahoma City Municipal Code, 2020, as amended.

### **5. Dumpsters:**

Dumpsters shall be located within an area screened by a fence or masonry wall of sufficient height that screens the dumpster from public streets and residences and shall be placed no closer than 50 feet from all property lines adjacent to residential zoning district or use.

Trash collection facilities in this SPUD shall be in accordance with Chapter 49 of the Oklahoma City Municipal Code, 2020, as amended.

### **6. Parking:**

The design and number of all parking facilities in this SPUD shall be in accordance with Chapter 59, Article X of the Oklahoma City Municipal Code, 2020, as amended.

### **7. Maintenance:**

Maintenance of the common areas in the development shall be the responsibility of the property owner or Property Owners Association. No structures, storage of material, grading, fill, or other obstructions, including fences, either temporary or permanent, that shall cause a blockage of flow or an adverse effect on the functioning of the storm water facility, shall be placed within the common areas intended for the use of conveyance of storm water, and/or drainage easements shown. Certain amenities such as, but not limited to, walks, benches, piers, and docks, shall be permitted if installed in a manner to meet the requirements specified above.



**8. Drainage:**

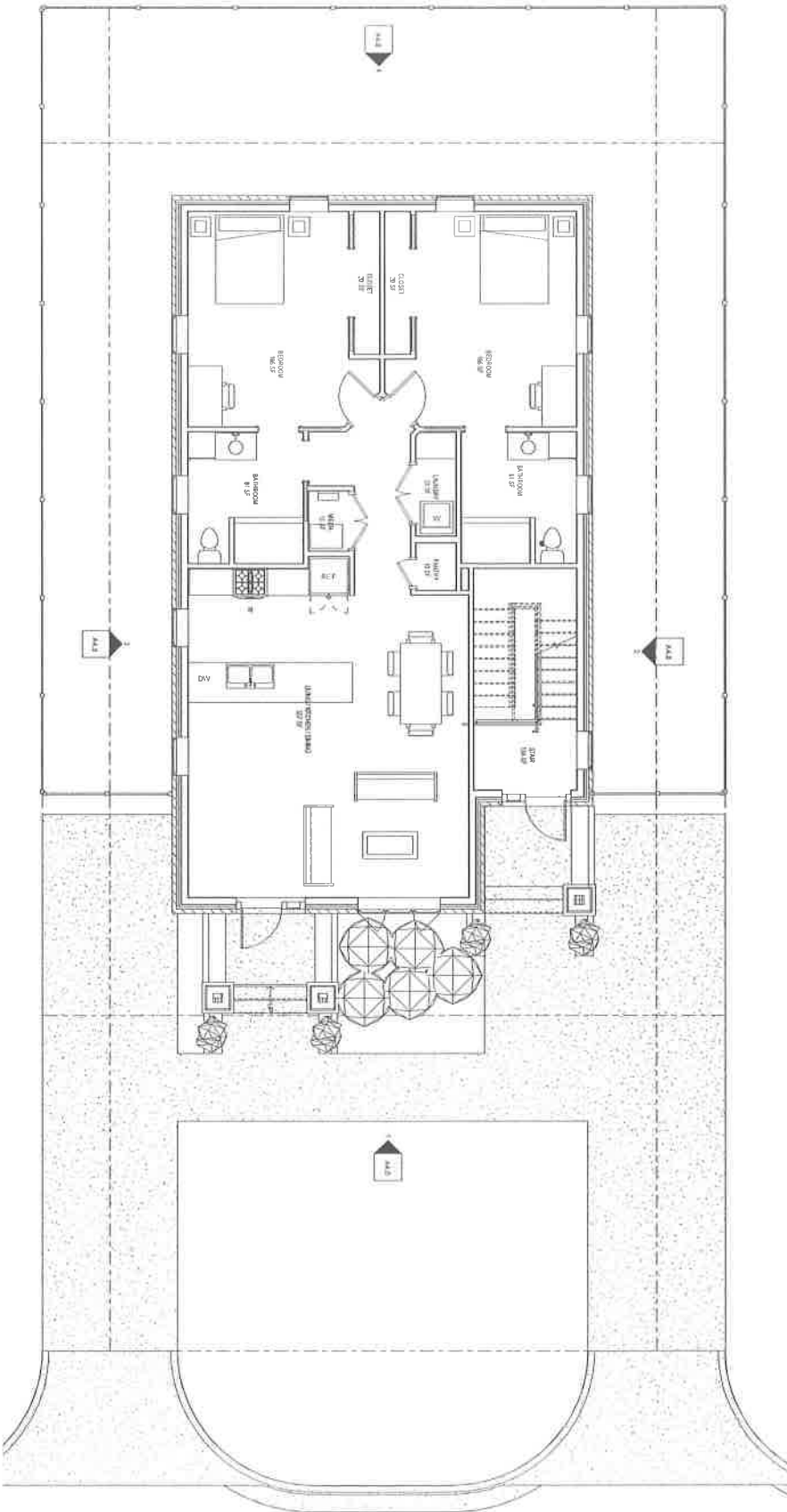
Development of this parcel will comply with Chapter 16 of the Oklahoma City Municipal Code, 2020, as amended.

**III. Supporting Documents:**

Exhibit A: Legal Description  
Exhibit B: Conceptual Site Plan  
Exhibit C: Renderings

Exhibit A  
Legal Description

The South Fifty (50) feet of Lots Thirteen (13), Fourteen (14), Fifteen (15), and Sixteen (16), in Block Fifty-Six (56) of UNIVERSITY ADDITION, to Oklahoma City, Oklahoma County, according to the recorded plat thereof.



LEVEL 1  
1/8" = 1'-0"

## McKinley Avenue Duplex

### Esperanza Real Estate Investing

1915 N. McKinley Avenue  
Oklahoma City, Oklahoma

**STUDIO**

ARCHITECTURE

814 NORTH WALKER, SUITE 100  
OKLAHOMA CITY, OK 73102  
PHONE: 405.565.1644  
WWW.STUDIOARCH.COM

PRELIMINARY  
DRAWINGS  
NOT FOR  
CONSTRUCTION

Revised

Project Name

Project Number

Sheet Number

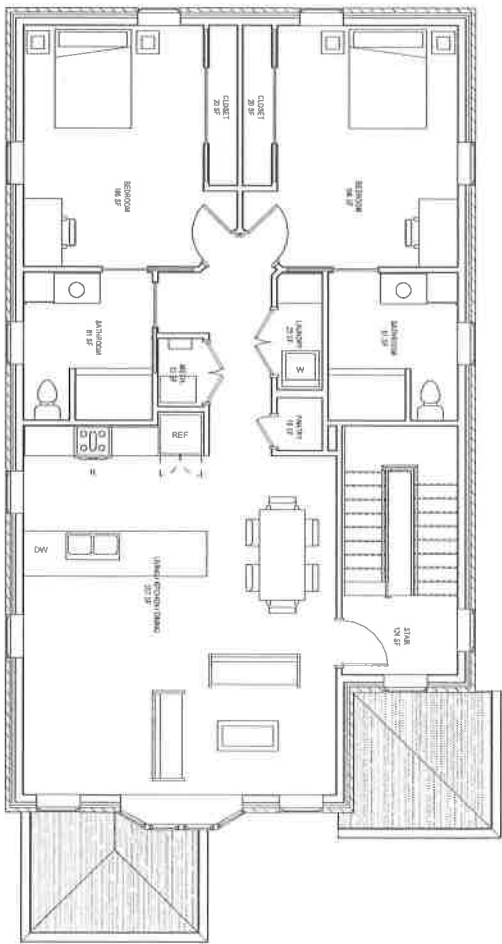
First Floor

Date

08/15/22

A2.1

1 LEVEL 2  
1/4" = 1'-0"



## McKinley Avenue Duplex

### Esperanza Real Estate Investing

1915 N. McKinley Avenue  
Oklahoma City, Oklahoma

Room	Area	Notes
Bedroom	10' x 12'	
Bathroom	5' x 7'	
Kitchen	10' x 12'	
Dining	10' x 12'	
Living	10' x 12'	
Closet	2' x 4'	
Linen Closet	1' x 2'	
REF		
STOVE		
DW		
HVAC		

Project Number	
Project Name	
Project Location	
Project Date	
Project Status	
Project Notes	

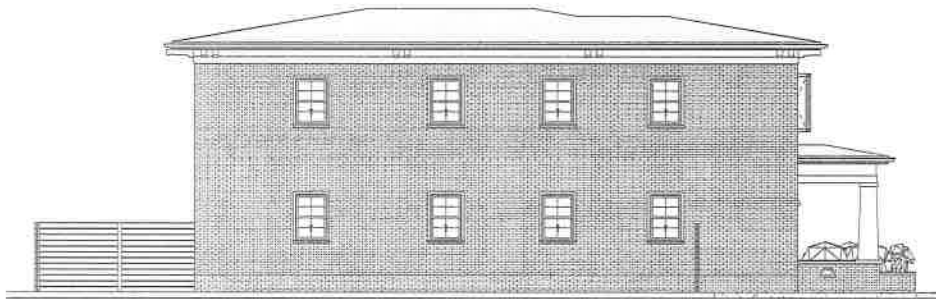
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PRELIMINARY  
DRAWINGS  
NOT FOR  
CONSTRUCTION

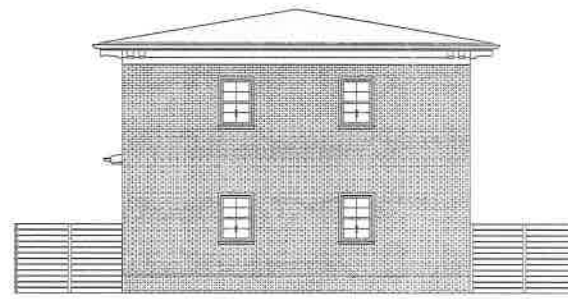
ARCHITECTURE  
814 NORTH WILSON STREET, 100  
OKLAHOMA CITY, OK 73102  
PHONE: 405.661.1644  
WWW.STUDIOARCH.COM

STUDIO

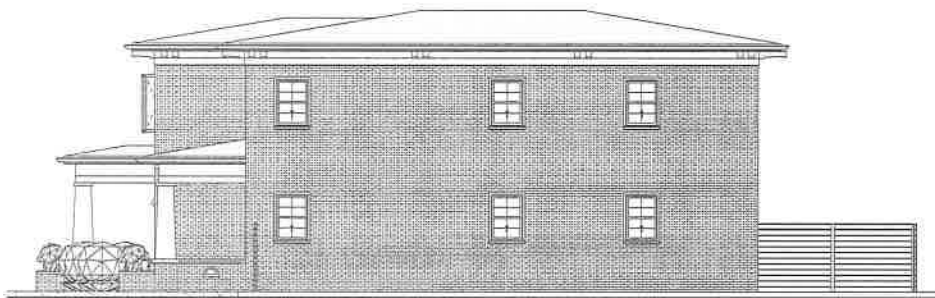
PRELIMINARY  
DRAWINGS  
NOT FOR  
CONSTRUCTION



3 | SOUTH ELEVATION  
3/16" = 1'-0"



4 | WEST ELEVATION  
3/16" = 1'-0"



2 | NORTH ELEVATION  
3/16" = 1'-0"



1 | EAST ELEVATION  
3/16" = 1'-0"

**McKinley Avenue Duplex**  
**Esperanza Real Estate Investing**  
1915 N. McKinley Avenue  
Oklahoma City, Oklahoma

Revision	Description	Date

Project Number  
Project Number Here  
Sheet Title  
EXTERIOR  
ELEVATIONS

Scale  
08/15/22

A4.0



Esperanza Real Estate Investing

McKinley Avenue Duplex

1915 N. McKinley Avenue  
Oklahoma City, Oklahoma

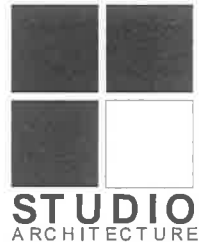
08/15/22

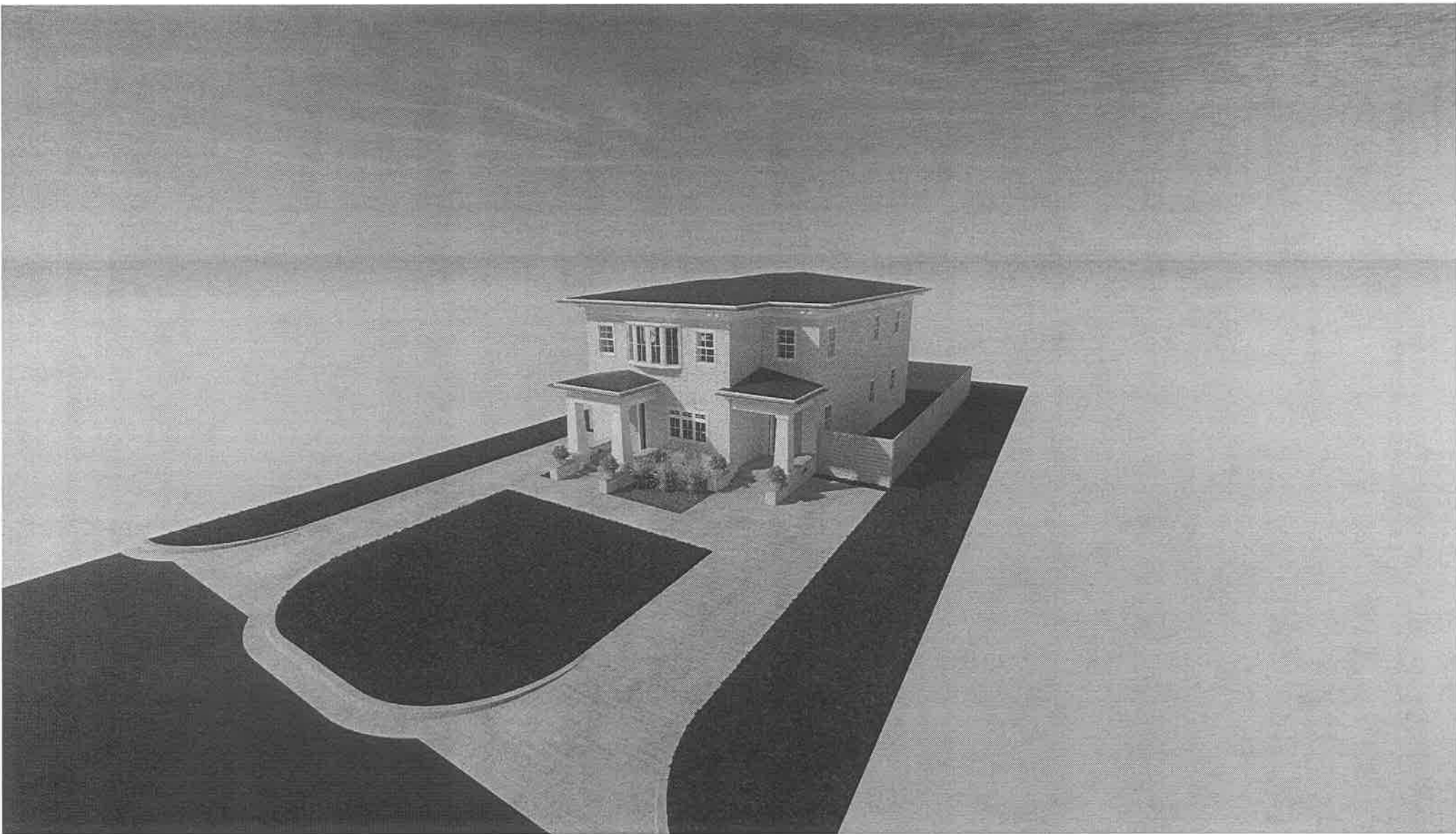
Conceptual Design

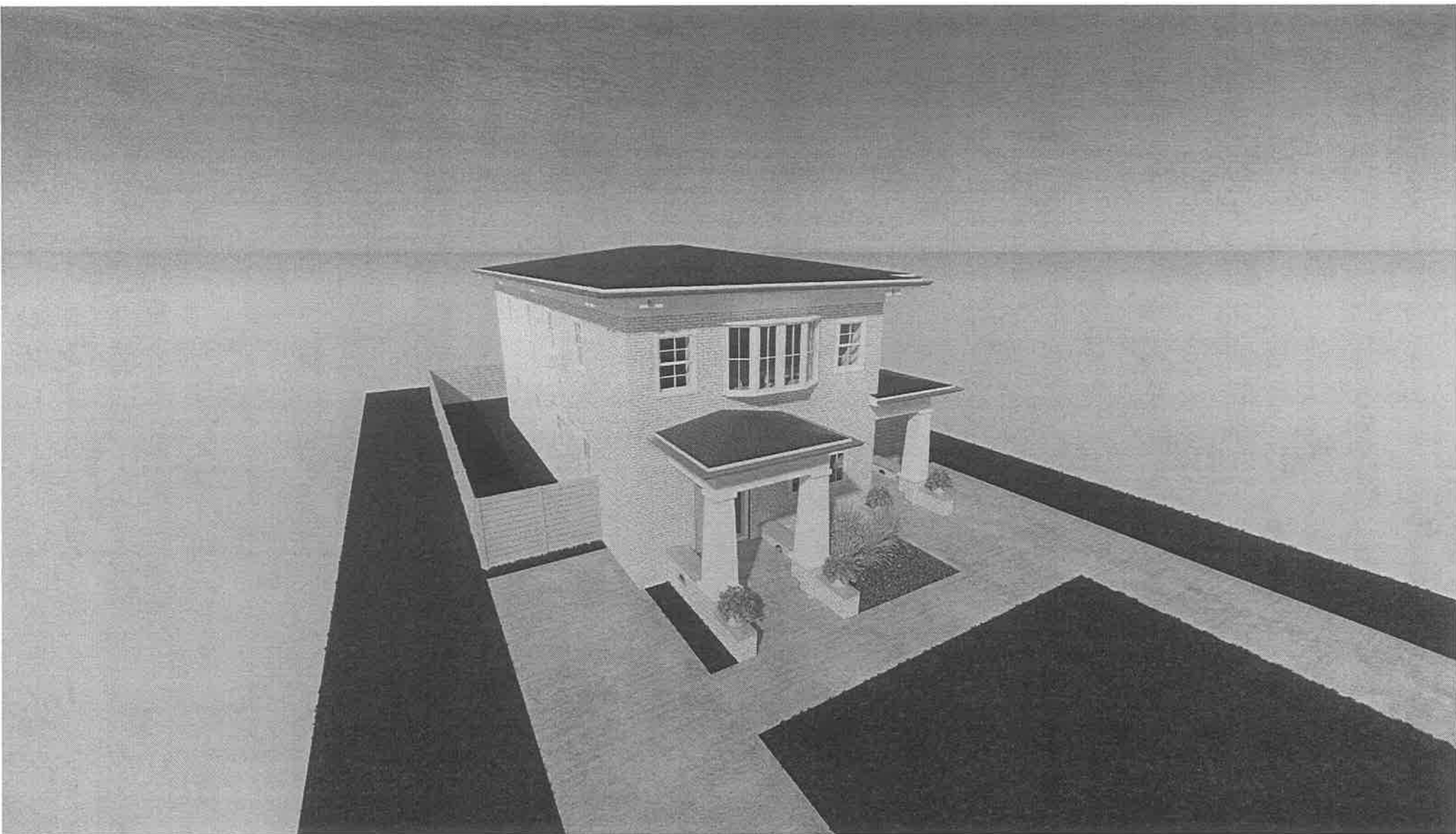
ARCHITECTURE

STUDIO ARCHITECTURE, P.C.  
816 N. Walker Ave., Suite 100  
Oklahoma City, Oklahoma 73102  
TEL: 405-605-1044

PROJECT LOCATION











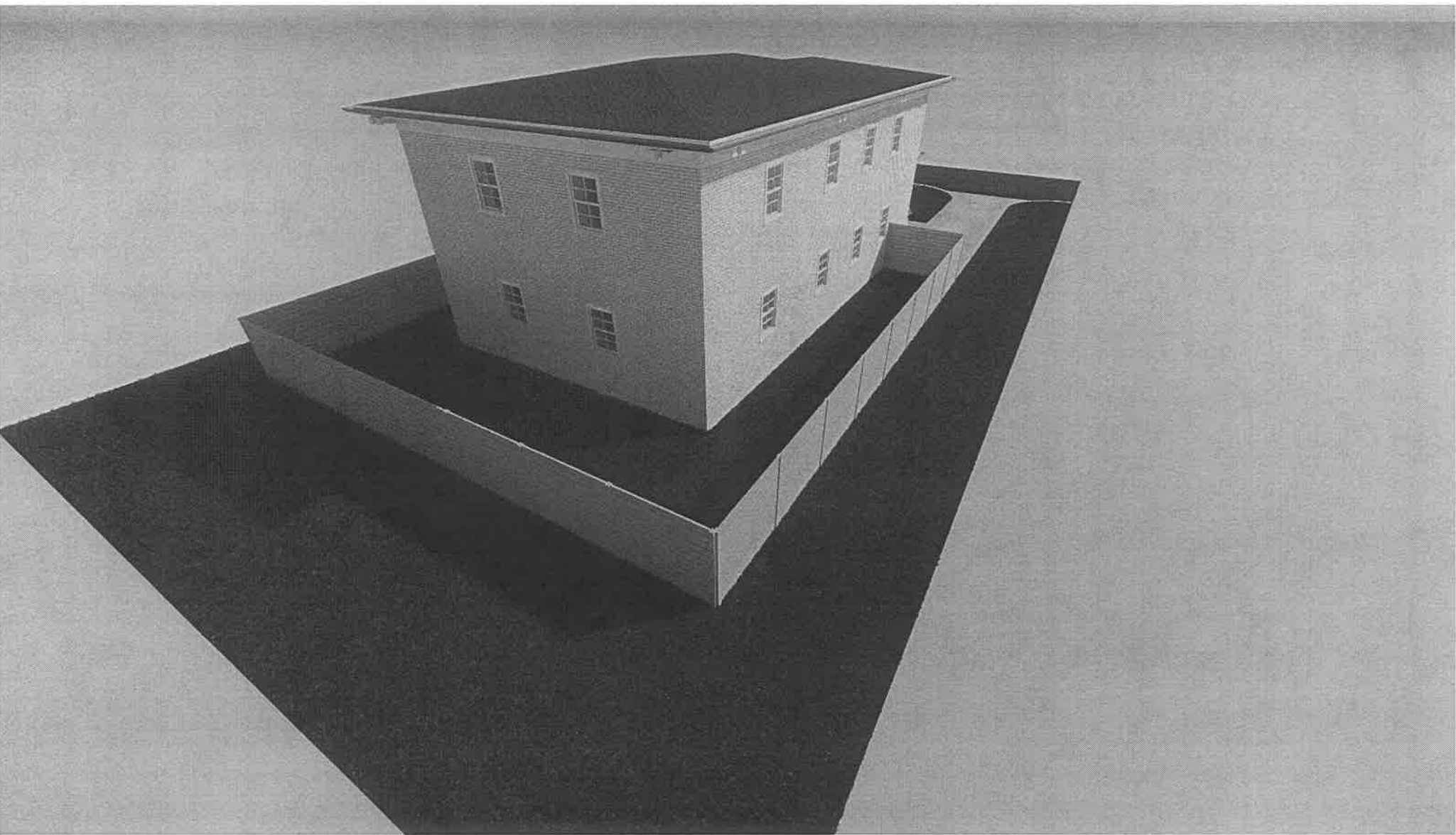
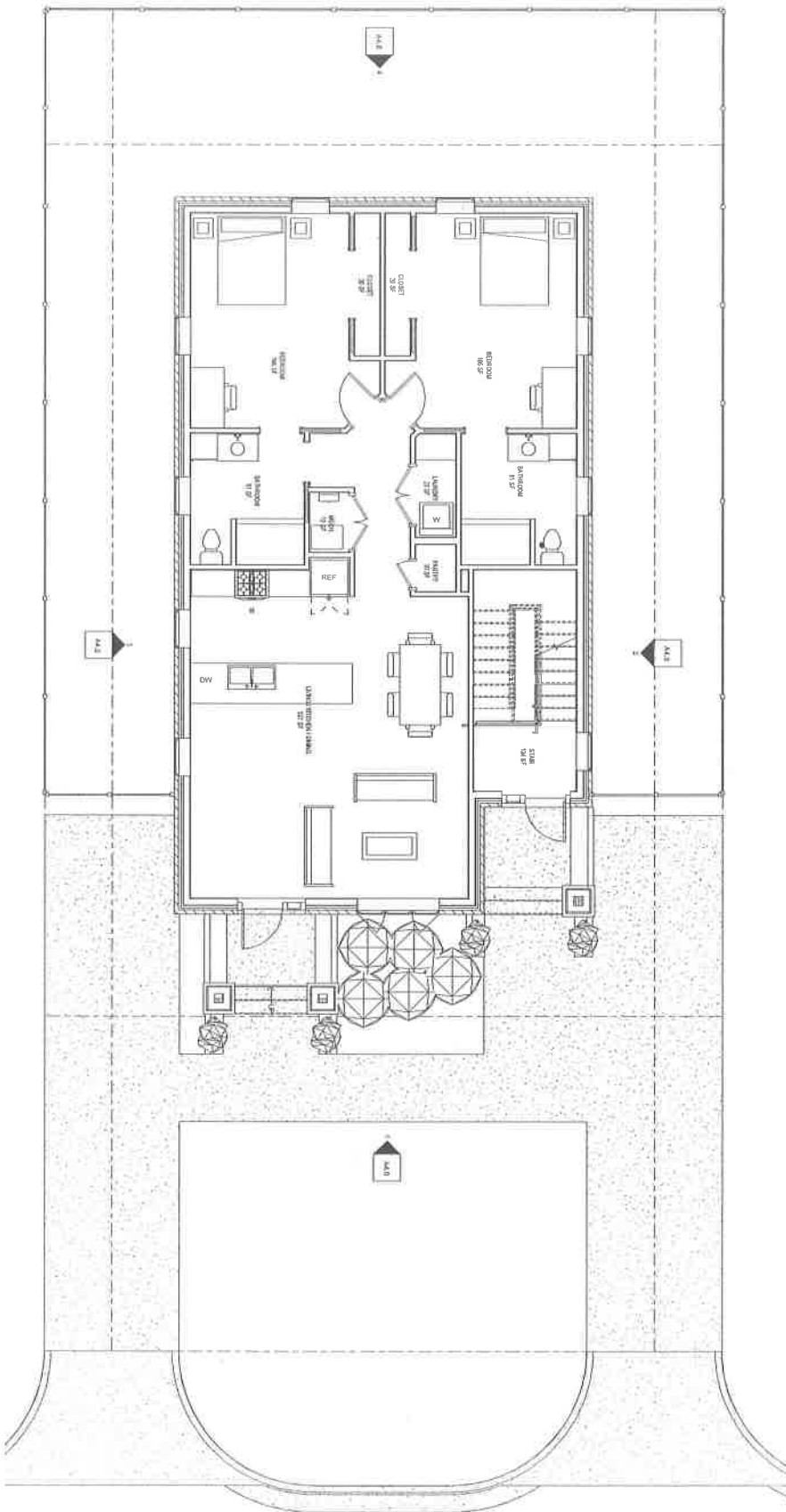


Exhibit A  
Legal Description

The South Fifty (50) feet of Lots Thirteen (13), Fourteen (14), Fifteen (15), and Sixteen (16), in Block Fifty-Six (56) of UNIVERSITY ADDITION, to Oklahoma City, Oklahoma County, according to the recorded plat thereof.

1 LEVEL 1  
11/22/2022



STUDIO

ARCHITECTURE

814 NORTH WALKER, SUITE 100  
OKLAHOMA CITY, OK 73101  
VOICE 405.667.1844  
WWW.STUDIOAC.COM

PRELIMINARY  
DRAWINGS  
NOT FOR  
CONSTRUCTION

## McKinley Avenue Duplex Esperanza Real Estate Investing

1915 N. McKinley Avenue  
Oklahoma City, Oklahoma

Rev	Description	Date
1	Initial Design	11/22/2022

Project Number:  
1111111111  
Project Name:  
McKinley Avenue Duplex

Sheet Title:  
FIRST FLOOR  
Date:  
08/15/22

A2.1



914 NORTH WALKER, SUITE 100  
OKLAHOMA CITY, OK 73102  
VOICE: 405.605.1644  
WWW.STUDIOARC.COM

PRELIMINARY  
DRAWINGS  
NOT FOR  
CONSTRUCTION

# McKinley Avenue Duplex Esperanza Real Estate Investing

1915 N. McKinley Avenue  
Oklahoma City, Oklahoma



1 | LEVEL 2  
1/4" = 1'-0"

Revisions		
#	Description	Date
Project Number		
Project Number Here		
Sheet Title		
SECOND FLOOR		
Date		
08/15/22		

A2.2



1115 NORTH WALTON, SUITE 100  
OKLAHOMA CITY, OK 73102  
PHONE: 405.462.1844  
WWW.STUDIOARC.COM

PRELIMINARY  
DRAWINGS  
NOT FOR  
CONSTRUCTION

**McKinley Avenue Duplex**  
Esperanza Real Estate Investing  
1915 N. McKinley Avenue  
Oklahoma City, Oklahoma

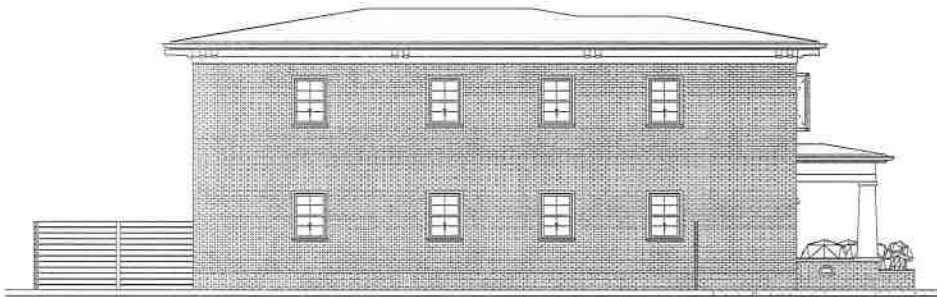
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Project Number:  
Project Number Here

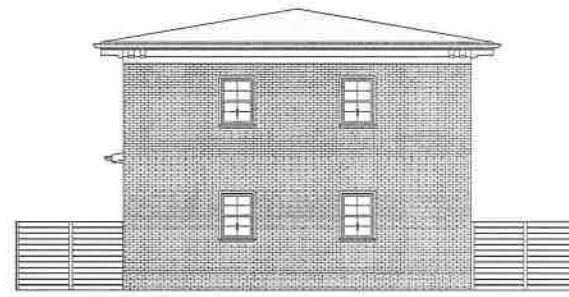
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EXTERIOR ELEVATIONS

Date:  
08/15/22

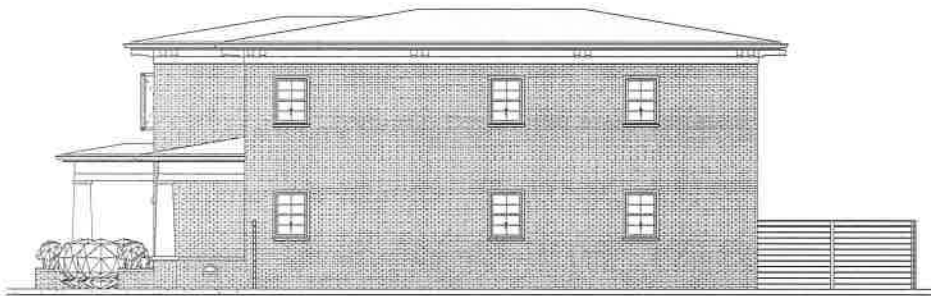
A4.0



3 | SOUTH ELEVATION  
3/16" = 1'-0"



4 | WEST ELEVATION  
3/16" = 1'-0"



2 | NORTH ELEVATION  
3/16" = 1'-0"



1 | EAST ELEVATION  
3/16" = 1'-0"



Esperanza Real Estate Investing

McKinley Avenue Duplex

1915 N. McKinley Avenue  
Oklahoma City, Oklahoma

08/15/22

Conceptual Design

ARCHITECTURE

STUDIO ARCHITECTURE, P.C.  
816 N. Walker Ave., Suite 100  
Oklahoma City, Oklahoma 73102  
TEL: 405-605-1044

PROJECT LOCATION

