



The City of Oklahoma City
Planning Department, Subdivision and Zoning
420 West Main Street, Suite 910, Oklahoma City, Oklahoma, 73102
Phone: (405) 297-2623 – Web: <https://www.okc.gov>

APPLICATION FOR PUD ReZONING

Planned Unit Development District

Belle Isle Enterprise Development

Name of Development or Applicant 451 E Wilshire Blvd

~~TBD~~ East Wilshire Boulevard

Address / Location of Property (Provide County name & parcel no. if unknown)

65.53

ReZoning Area (Acres or Square Feet)

Request to rezone to allow moderate impact institution use and/or other uses as listed.

Summary Purpose Statement / Proposed Development

Staff Use Only:
Case No.: PUD 1973
File Date: 9-28-23
Ward No.: W7
Nbhd. Assoc.: Musgrave NA/Hope Crossing CA/Mustard Seed Dev. Corp
School District: OKC
Extg Zoning: R-1/PUD-936
Overlay:

REQUIREMENTS FOR SUBMITTAL:

- ☐ 1.) One (1) Typed Legal Description of Proposed Rezoning area in MS Word file (.doc or .docx) format.
- ☐ 2.) One (1) copy of Recorded Deed(s), with Exhibit(s), listing current Property Owner in .pdf format.
- ☐ 3.) One (1) copy of Letter of Authorization from Property Owner listing Designated Representative if Applicant is not the Property Owner of record.
- ☐ 4.) One (1) copy of Property Owners Report listing all property owners who own property within a 300-foot buffer area of the property to be rezoned. The list **MUST** include the mailing address and the legal description of their property and **MUST** be current to within 30 days of the date of submittal of the application. A minimum of 10 separate individual property owners is required. If there are less than 10 individual owners within the 300-foot buffer, the radius must be extended by increments of 100 feet until the list contains no less than 10 owners. Provide One (1) PDF (.pdf) file version, AND one (1) MS Excel (.xls or .xlsx) file version.
- ☐ 5.) One (1) Signed and Notarized copy of "Affirmation" that the Property Owners Report listings are true and correct unless the list is prepared by a Certified Abstractor or County official.
- ☐ 6.) One (1) Typed Prepared copy of Proposed Master Design Statement in an MS Word file (.doc or .docx) file format.
- ☐ 7.) One (1) Proposed Master Development Plan Map in a PDF (.pdf) file format. Reference Submittal checklist for specific details.
- ☐ 8.) Maps, Site Plan, Survey Exhibits, Photographs, or other supporting illustrations must be 600dpi minimum resolution, and in a .pdf file format. Photographic file formats (.jpeg, .png, .tiff, etc..) of drawings, maps, or other documents will not be accepted.
- ☐ A filing fee of \$2700.00 must be remitted within One (1) business day of submittal confirmation. (Online payment preferred.)

Property Owner Information (if other than Applicant):

Tom Blalock

Name

P.O.Box 18756

Mailing Address

OKC, OK 73154

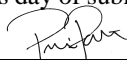
City, State, Zip Code

405.608.5727

Phone

tom.blalock@arcap-okc.com

Email


Signature of Applicant

Purvi Patel/Kaitlyn Turner

Applicant's Name (please print)

410 N Walnut, 200 /522 Colcord

Applicant's Mailing Address

OKC, OK 73104/73102

City, State, Zip Code

405.536.2032/405.323.0080

Phone

Purvi.Patel@wallace.design/kturner@wbflaw.com

Email

Submit your Application by Email to Subdivisionandzoning@OKC.gov
Compressed files (.zip, etc..) or links to FileShare services (Dropbox, etc..) can not be accepted for security purposes.



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 State of Oklahoma
 County of Oklahoma
 Oklahoma County Clerk
 Carolyn Caudill

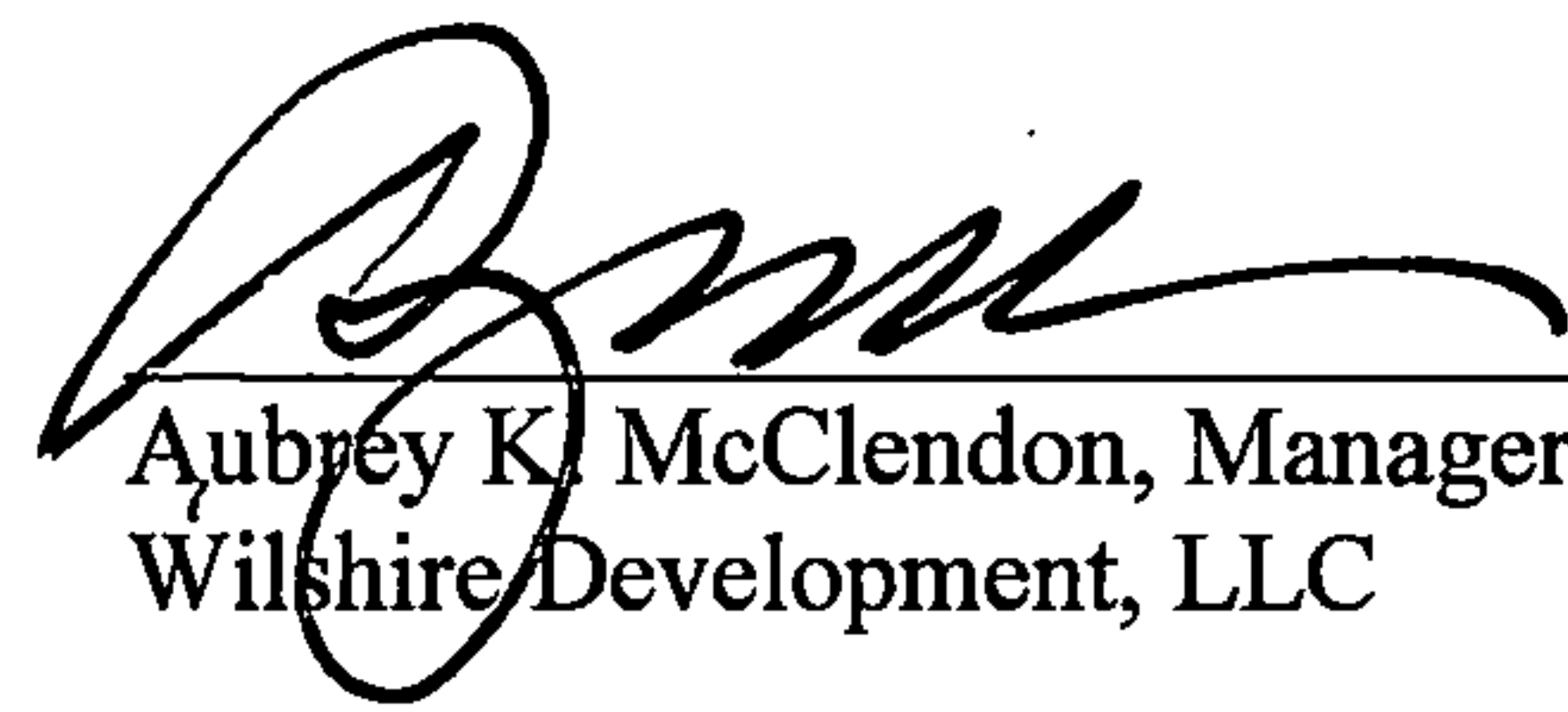
AFFIDAVIT OF IDENTITY AND ENTITY SUCCESSORSHIP

STATE OF OKLAHOMA)
)
 COUNTY OF OKLAHOMA) SS

I, Aubrey K. McClendon, as Manager of Wilshire Development, LLC, upon my oath do depose and state as follows:

1. I am Manager of **Wilshire Development, LLC**, an Oklahoma limited liability company, Post Office Box 18756, Oklahoma City, Oklahoma 73154. I offer this Affidavit on behalf of **Wilshire Development, LLC**, to provide the fact of merger to which, **Wilshire Development, LLC** is the successor to merger with **LaBar Wilshire, LLC**, an Oklahoma limited liability company.
2. This Affidavit affects and relates to **LaBar Wilshire, LLC'S** ownership in real property situated in Oklahoma County, Oklahoma, described at Exhibit "A" attached as a part hereof and is offered in order to give third parties notice thereof. This Affidavit is based upon my personal knowledge of the matters stated herein.
3. On July 28, 2015, **LaBar Wilshire, LLC**, an Oklahoma limited liability company, merged with **Wilshire Development, LLC**, an Oklahoma limited liability company, with **Wilshire Development, LLC** being the surviving entity. A copy of the Certificate of Merger is attached hereto as Exhibit "B" and by reference made a part hereof.
4. Any additional information or inquires concerning the above entities should be directed to Scott Hartman, Wilshire Development, LLC, Post Office Box 18756, Oklahoma City, Oklahoma 73154.

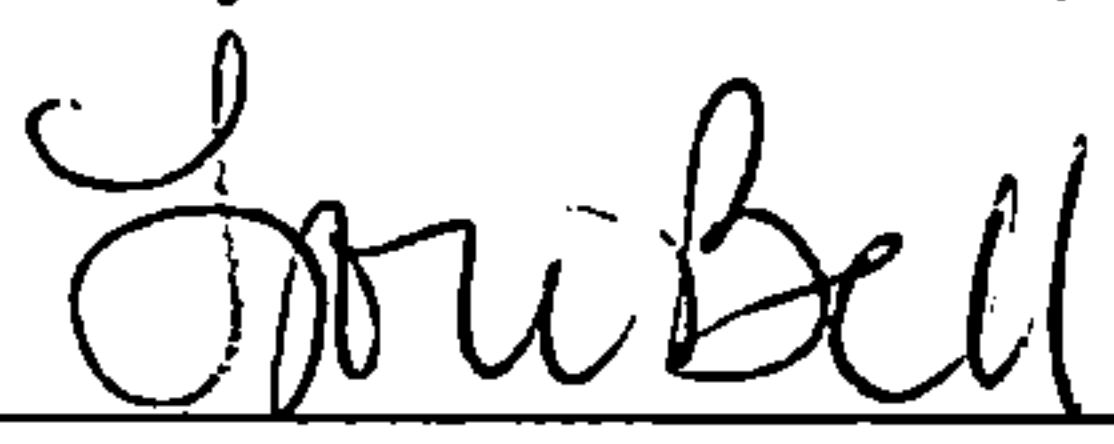
Further, Affiant sayeth not.


 Aubrey K. McClendon, Manager of
 Wilshire Development, LLC

STATE OF OKLAHOMA)
)
 COUNTY OF OKLAHOMA) SS:

Subscribed and sworn to before me, by Aubrey K. McClendon, as Manager of Wilshire Development, LLC, on this 16th day of December, 2015.

My Commission Expires:
January 19, 2018


 Notary Public

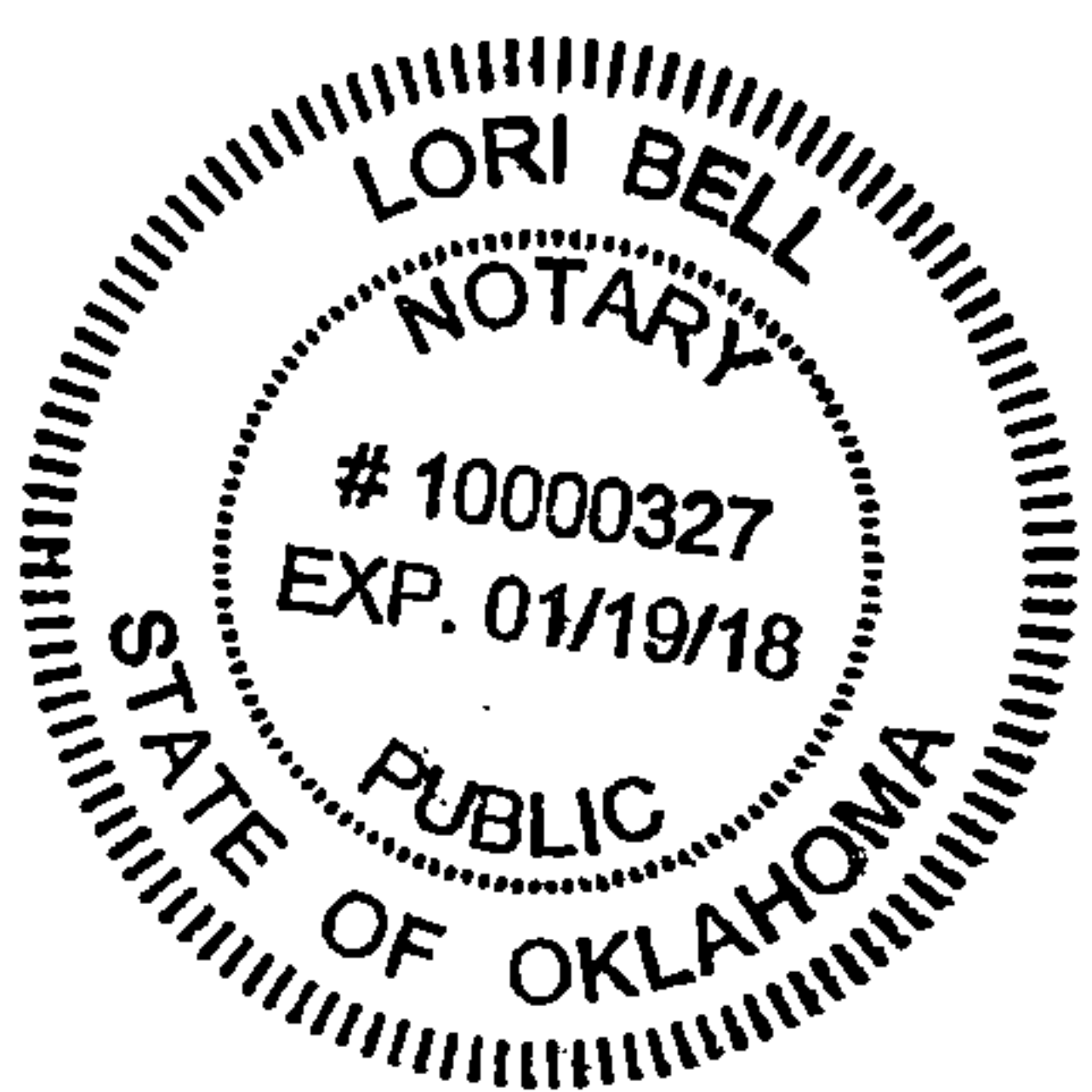


EXHIBIT "A"

Lot Seven (7), in Block Twenty-Four (24), Replat of Block 24, of MUSGRAVE'S GOLD MEDAL HILLS ADDITION to Oklahoma City, Oklahoma County, Oklahoma, according to the recorded plat thereof.

W1 Porter Hedges LLP
1000 Main St Ste 36
Houston, TX 77002

OFFICE OF THE SECRETARY OF STATE



CERTIFICATE OF MERGER

WHEREAS,

WILSHIRE DEVELOPMENT, LLC

a limited liability company organized under the laws of the State of OKLAHOMA, has filed in the office of the Secretary of State duly authenticated evidence of a merger whereby said limited liability company is the survivor, as provided by the laws of the State of Oklahoma.

NOW THEREFORE, I, the undersigned Secretary of State of Oklahoma, by virtue of the powers vested in me by law, do hereby issue this Certificate evidencing such merger.

IN TESTIMONY WHEREOF, I have hereunto set my hand and caused to be affixed the Great Seal of the State of Oklahoma.



*Filed in the City of Oklahoma City this
28th day of July, 2015.*

Chris Benge

Secretary Of State



SOS



28007720002

ARTICLES OF MERGER
Merging
LaBar Wilshire, LLC,
an Oklahoma limited liability company
with and into
Wilshire Development, LLC,
an Oklahoma limited liability company

In accordance with the provisions of Title 18, Section 2054 and other applicable provisions of the Oklahoma Limited Liability Company Act (the "Act"), Wilshire Development, LLC, an Oklahoma limited liability company, does hereby adopt the following for the purpose of merging LaBar Wilshire, LLC, an Oklahoma limited liability company, with and into Wilshire Development, LLC.

1. The name and jurisdiction of formation or organization of each of the entities to merge is as follows:

<u>Name</u>	<u>Jurisdiction</u>
Wilshire Development, LLC	Oklahoma
LaBar Wilshire, LLC	Oklahoma

2. An agreement of merger (the "Merger Agreement") has been approved and executed by each of Wilshire Development, LLC and LaBar Wilshire, LLC.

3. The name of the surviving entity (the "Surviving Entity") shall be Wilshire Development, LLC.

4. The merger (the "Merger") shall be effective on the date of filing of these Articles of Merger.

5. The Merger Agreement is on file at the following place of business of Wilshire Development, LLC: 301 Northwest 63rd, Suite 600, Oklahoma City, Oklahoma 73116.

6. A copy of the Merger Agreement will be furnished by Wilshire Development, LLC, the surviving limited liability company, on request and without cost, to any member of Wilshire Development, LLC or to any member of LaBar Wilshire, LLC.

7. The Articles of Organization of Wilshire Development, LLC as in effect immediately prior to the effective time of the Merger shall be the Articles of Organization of the Surviving Entity.

[Signatures follow on next page]

IN WITNESS WHEREOF, these Articles of Merger has been duly executed as of the 28 day of July, 2015, and are being filed in accordance with Section 18-2054 of the Act by the member of Wilshire Development, LLC thereunto duly authorized.

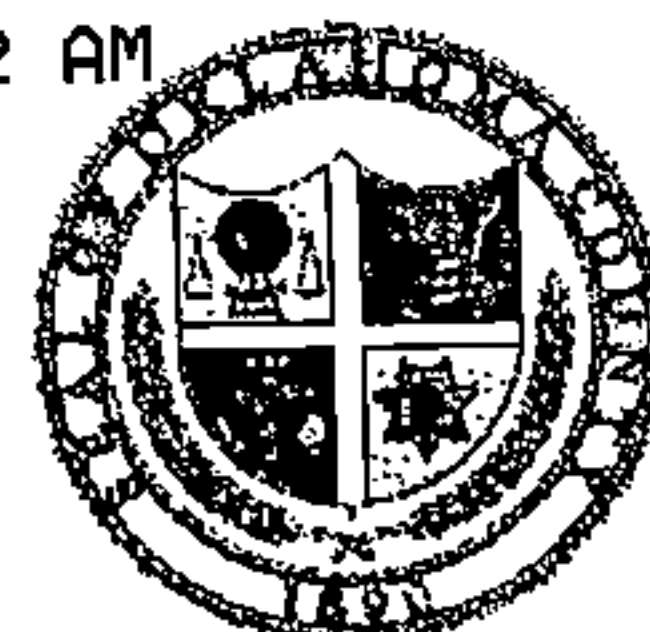
WILSHIRE DEVELOPMENT, LLC, an
Oklahoma limited liability company

By

Aubrey K. McClendon
Manager

20151218011680700
Filing Fee: \$21.00

12/18/2015 10:45:52 AM
AFF



IN THE DISTRICT COURT OF OKLAHOMA COUNTY
STATE OF OKLAHOMA

IN THE MATTER OF

ADELE HEIGHTS, PHILLIP'S ADDITION, KNEEN'S
SUBDIVISION, COMPTON'S SUBDIVISION,
NORWOODS SHADYSIDE ADDITION, NORTH
BROADWAY HEIGHTS, AND EAST BROADWAY
HEIGHTS, OKLAHOMA CITY, OKLAHOMA COUNTY,
OKLAHOMA

WILSHIRE DEVELOPMENT, LLC, an Oklahoma limited
liability company, and 9000 BROADWAY LLC, an
Oklahoma limited liability company,

Petitioners,

v.

CITY OF OKLAHOMA CITY, a municipal corporation;
CITY OF NICHOLS HILLS, a municipal corporation,
BOARD OF COUNTY COMMISSIONERS OF
OKLAHOMA COUNTY, OKLAHOMA GAS AND
ELECTRIC COMPANY, a Corporation, ONEOK, INC., a
corporation, SOUTHWESTERN BELL TELEPHONE
COMPANY, a corporation, AT&T Corp.; COX
COMMUNICATIONS, a limited liability company,

Defendants.

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State of Oklahoma
County of Oklahoma
Oklahoma County Clerk
Carolynn Caudill

Case No. CV-2011-1977

SUPPLEMENTAL JOURNAL ENTRY OF JUDGMENT

On this 18th day of December, 2015, comes on for hearing the above-styled and
numbered cause, and the follow parties appear: Wilshire Development, LLC, an Oklahoma
limited liability company ("Wilshire"), by and through its attorney, Mitchell D. Blackburn of
~~Conner & Winters, LLP~~, 9000 Broadway LLC, an Oklahoma limited liability company
("Broadway"), by and through its attorney, Richard A. Riggs of McAfee & Taft (the
"Petitioners"), and the City of Nichols Hills, a municipal corporation, by and through its

Return to:
Paul Lefebvre
Williams, Box, Forshee & Bullard
522 Colcord Drive
Oklahoma City, OK 73102

11/33

attorneys of record, Paul Lefebvre of Williams, Box, Forshee & Ballard, P.C., and after review of the record, and the presentation of evidence by stipulation of the parties, the Court FINDS:

On January 5, 2012, a Journal Entry of Judgment (the "Journal Entry") was entered in this case disposing of the claims of Petitioners and the defenses of Defendants except for the City of Nichols Hills (the "City"), whose rights were not affected by the terms of the Journal Entry. A copy of the Journal Entry is attached hereto.

The Court has been advised by counsel for the Petitioners and the City that the Petitioners and the City have entered an agreement (the "Relocation Agreement") which resolves the City's objections to the Petitioners' Application filed in this case, and the City has agreed to withdraw all objections or reservations to the findings and decrees in the Journal Entry.

The Court has further been advised by counsel for the Petitioners and the City that the Petitioners and the City have agreed the legal descriptions of their respective property resulting from the Court's grant of the relief requested by the Petitioners and agreed to by the City, are as follows:

1. The property owned by Petitioner, Wilshire, is described on Attachment 1 and depicted on Attachment 2, both attached hereto and made a part hereof (the "Wilshire Property").
2. The property owned by Petitioner, Broadway, is described on Attachment 3, attached hereto and made a part hereof, and depicted on Attachment 2 (the "Broadway Property").
3. The property owned by the City, is described on Attachment 4, attached hereto and made a part hereof, and depicted on Attachment 2 (the "City Property").

IT IS THEREFORE ORDERED, ADJUDGED AND DECREED that except as otherwise provided herein, the relief granted in the Journal Entry in favor of Petitioners and against the Defendants other than the City, is hereby granted in favor of Petitioners and against the City; provided that until such time as the City's currently used access ways and easements for vehicular access and water pipelines (the "Access Ways And Easements") are relocated in accordance with the terms of the Relocation Agreement, the City will retain and continue to have interim easements to use such currently used Access Ways And Easements pursuant to and in accordance with certain interim water line easement instruments and interim access easement instruments executed by Broadway and Wilshire in favor of the City in accordance with the provisions of the Relocation Agreement, until the relocation thereof is complete at which time such interim easements will be released.

IT IS FURTHER ORDERED, ADJUDGED AND DECREED that the description of the Wilshire Property, the Broadway Property and the City Property, inclusive of vacated rights of ways reverting to Wilshire, Broadway and the City, are as respectively described on Attachment 1, Attachment 3, and Attachment 4, and as collectively depicted on Attachment 2.

THOMAS E. PRICE

JUDGE OF THE DISTRICT COURT

APPROVED:

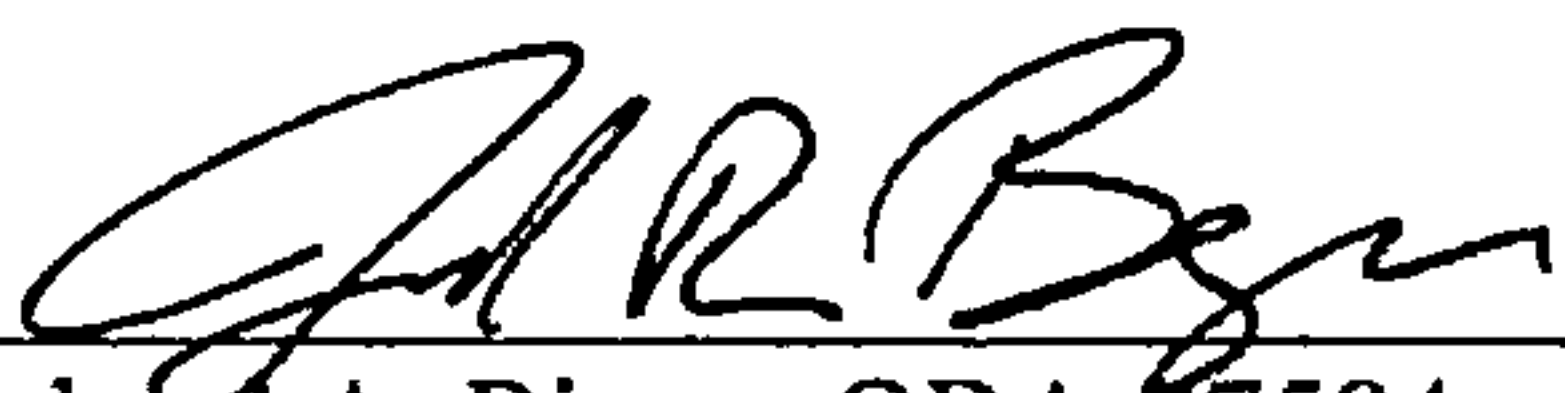
Mitchell D. Blackburn, OBA#12217
CONNER & WINTERS, LLP
1700 One Leadership Square
211 North Robinson
Oklahoma City, OK 73102
(405) 272-5740
mblackburn@cwlaw.com
Attorneys for Wilshire Development, LLC

CERTIFIED COPY
AS FILED OF RECORD
IN DISTRICT COURT

DEC 18 2015

TIM RHODES Court Clerk
Oklahoma County

APPROVED:



Richard A. Riggs, OBA #7584

Jared R. Boyer, OBA #30495

McAFEE & TAFT

211 North Robinson, 10th Floor

Oklahoma City, Oklahoma 73102

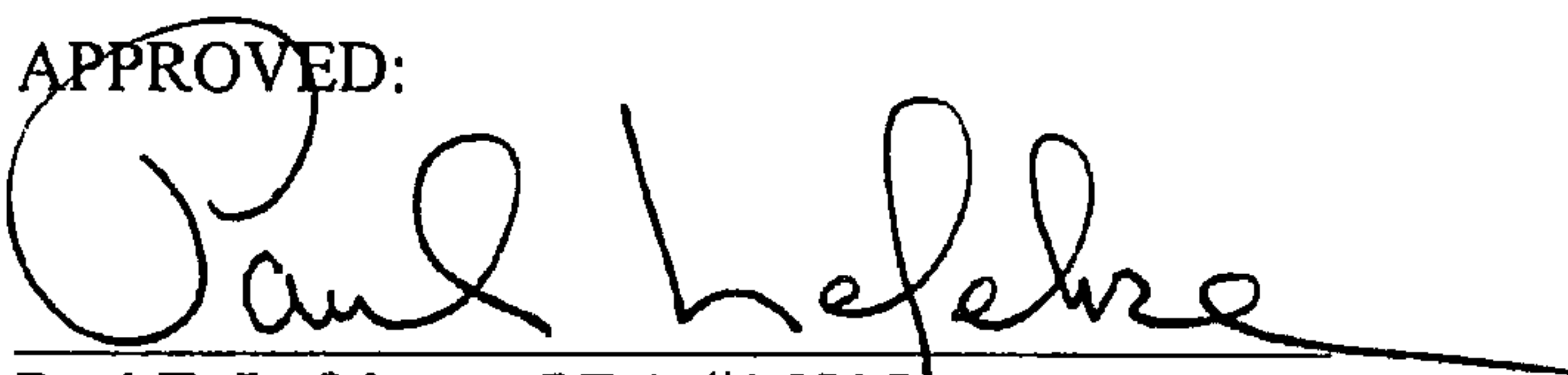
(405) 235-9621

Richard.riggs@mcafeetaft.com

Attorney for 9000 Broadway LLC

UNOFFICIAL

APPROVED:



Paul E. Lefebvre, OBA #16515

WILLIAMS, BOX, FORSHEE & BALLARD, P.C.

522 Colcord Drive

Oklahoma City, OK 73102

(405) 232-0080

Lefebvre@wbfbllaw.com

Attorneys for the City of Nichols Hills

UNOFFICIAL

EXHIBIT "M"

ATTACHMENT 1

A tract of land being a part of the Southwest Quarter (SW/4) of Section Thirty-four (34), Township Thirteen (13) North, Range Three (3) West of the Indian Meridian, Oklahoma City, Oklahoma County, Oklahoma, being more particularly described as:

Commencing at the Southwest (SW) Corner of said Southwest Quarter (SW/4);

THENCE North 89°49'20" East, along and with the South line of said Southwest Quarter (SW/4), a distance of 158.00 feet;

THENCE North 00°09'17" West, a distance of 60.00 feet to the POINT OF BEGINNING;

THENCE along and with the East right-of-way line of Broadway Extension the following fourteen (14) calls:

1. North 45°09'59" West, a distance of 70.70 feet;
2. North 00°09'17" West, a distance of 243.00 feet;
3. South 89°49'20" West, a distance of 25.00 feet;
4. North 00°09'17" West, a distance of 175.00 feet;
5. South 89°49'20" West, a distance of 12.50 feet;
6. North 00°09'17" West, distance of 715.00 feet;
7. North 89°49'20" East, a distance of 6.56 feet;
8. North 00°09'17" West, a distance of 165.00 feet;
9. North 89°49'20" East, a distance of 12.34 feet;
10. North 00°09'17" West, a distance of 32.54 feet;
11. South 89°51'42" West, a distance of 16.40 feet;
12. North 00°09'17" West, a distance of 252.85 feet;
13. North 89°51'42" East, a distance of 9.84 feet;
14. North 00°09'17" West, a distance of 132.59 feet;

THENCE North 89°49'20" East, departing said right-of-way line, a distance of 1,600.16 feet;

THENCE North 00°09'17" West, a distance of 806.94 feet to a point on the North line of said Southwest Quarter (SW/4);

THENCE North 89°41'29" East, along and with the North line of said Southwest Quarter (SW/4), a distance of 951.73 feet to the Northeast (NE) Corner of said Southwest Quarter (SW/4);

THENCE South 00°31'47" East, along and with the East line of said Southwest Quarter (SW/4), a distance of 1,135.80 feet;

THENCE South 89°49'20" West, departing said East line, a distance of 49.14 feet;

THENCE South 00°09'17" East, a distance of 166.50 feet;

THENCE North 89°49'20" East, a distance of 50.23 feet to a point on the East line of said Southwest Quarter (SW/4);

THENCE South 00°31'47" East, along and with the East line of said Southwest Quarter (SW/4), a distance of 1,299.84 feet to a point 33.00 feet North of the South line of said Southwest Quarter (SW/4);

THENCE South 89°49'20" West, parallel to and 33.00 feet North of the South line of said Southwest Quarter (SW/4), a distance of 1,048.75 feet;

THENCE North 00°09'17" West, a distance of 7.00 feet;

THENCE South 89°49'20" West, parallel to and 40.00 feet North of the South line of said Southwest Quarter (SW/4), a distance of 100.00 feet;

THENCE South 00°09'17" East, a distance of 7.00 feet;

THENCE South 89°49'20" West, parallel to and 33.00 feet North of the South line of said Southwest Quarter (SW/4), a distance of 410.00 feet;

THENCE North 00°09'17" West, a distance of 27.00 feet;

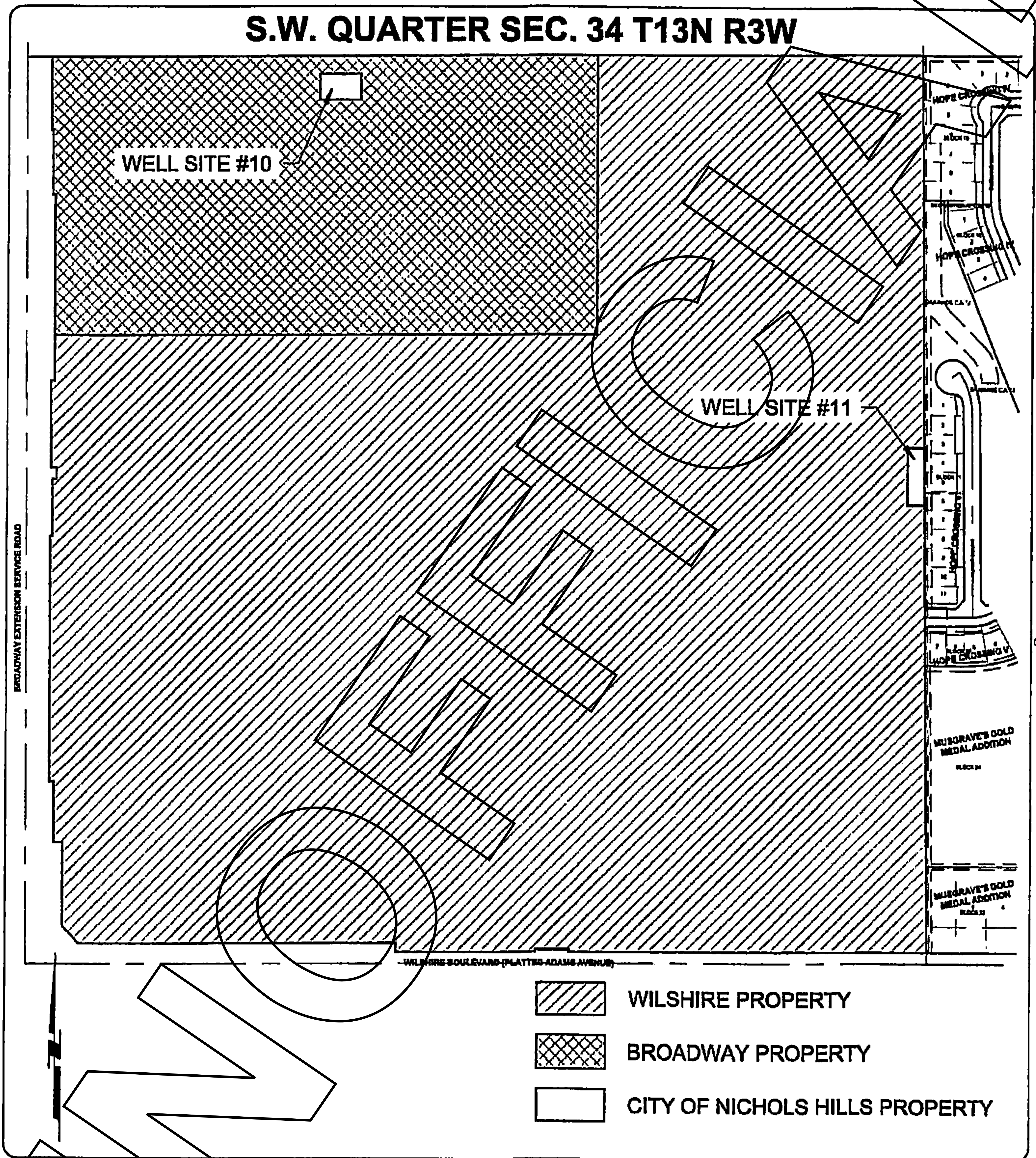
THENCE South 89°49'20" West, parallel to and 60.00 feet North of the South line of said Southwest Quarter (SW/4), a distance of 935.00 feet to the POINT OF BEGINNING.

Containing 5,333,811 square feet or 122.4475 acres, more or less.

Basis of Bearing: Grid North as established by state plane datum (Oklahoma State Plane North Zone NAD83)

EXHIBIT "M"
ATTACHMENT 2

S.W. QUARTER SEC. 34 T13N R3W



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Copyright © 2015 Johnson & Associates, Inc.

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Date: 10-13-15
Scale: 1"=400'

PROPERTY EXHIBIT



Johnson & Associates, Inc.
1 E. Sheridan Ave., Suite 200
Oklahoma City, OK 73104
(405) 335-6475 FAX (405) 335-6477
Certificate of Authorization 01484 Exp. Date: 06-30-2015
• ENGINEERS • SURVEYORS • PLANNERS •

EXHIBIT "M"
ATTACHMENT 3

A tract of land being a part of the Southwest Quarter (SW/4) of Section Thirty-four (34), Township Thirteen (13) North, Range Three (3) West of the Indian Meridian, Oklahoma City, Oklahoma County, Oklahoma, being more particularly described as follows:

Commencing at the Southwest (SW) Corner of said Southwest Quarter (SW/4);

THENCE North $00^{\circ}09'17''$ West, along and with the West line of said Southwest Quarter (SW/4), a distance of 1,825.98 feet;

THENCE North $89^{\circ}49'20''$ East, a distance of 82.84 feet to a point on the East right-of-way line of Broadway Extension, said point being the POINT OF BEGINNING;

THENCE along and with the East right-of-way line of the Broadway Extension the following five (5) calls:

1. North $00^{\circ}09'17''$ West, a distance of 402.98 feet;
2. South $89^{\circ}49'20''$ West, a distance of 6.56 feet;
3. North $00^{\circ}09'17''$ West, a distance of 186.45 feet;
4. South $89^{\circ}51'42''$ West, a distance of 3.28 feet;
5. North $00^{\circ}09'17''$ West, a distance of 213.83 feet to a point on the North line of said Southwest Quarter (SW/4);

THENCE North $89^{\circ}41'29''$ East, along and with the North line of said Southwest Quarter (SW/4), a distance of 1,610.01 feet;

THENCE South $00^{\circ}09'17''$ East, a distance of 806.94 feet;

THENCE South $89^{\circ}49'20''$ West, a distance of 1,600.16 feet to the POINT OF BEGINNING.

LESS & EXCEPT

A tract of land being a part of the Southwest Quarter (SW/4) of Section Thirty-four (34), Township Thirteen (13) North, Range Three (3) West of the Indian Meridian, Oklahoma City, Oklahoma County, Oklahoma, being more particularly described as follows:

Commencing at the Southwest (SW) Corner of said Southwest Quarter (SW/4);

THENCE North $00^{\circ}09'17''$ West, along and with the West line of said Southwest Quarter (SW/4), a distance of 2,503.96 feet;

THENCE North $89^{\circ}49'20''$ East, departing said West line, a distance of 863.00 feet to the

Prepared by Johnson & Associates, Inc. (Matthew Johnson P.L.S. 1807)

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POINT OF BEGINNING;

THENCE North 00°09'17" West, a distance of 75.00 feet;

THENCE North 89°49'20" East, a distance of 120.00 feet;

THENCE South 00°09'17" East, a distance of 75.00 feet;

**THENCE South 89°49'20" West, a distance of 120.00 feet to the POINT OF
BEGINNING.**

Containing 1,282,633 square feet or 29.4452 acres, more or less.

**Basis of Bearing: Grid North as established by state plane datum (Oklahoma State
Plane North Zone NAD83)**

EXHIBIT "M"
ATTACHMENT 4

A tract of land being a part of the Southwest Quarter (SW/4) of Section Thirty-four (34), Township Thirteen (13) North, Range Three (3) West of the Indian Meridian, Oklahoma City, Oklahoma County, Oklahoma, being more particularly described as follows:

Commencing at the Southwest (SW) Corner of said Southwest Quarter (SW/4);

THENCE North 00°09'17" West, along and with the West line of said Southwest Quarter (SW/4), a distance of 2,503.96 feet;

THENCE North 89°49'20" East, departing said West line, a distance of 863.00 feet to the POINT OF BEGINNING;

THENCE North 00°09'17" West, a distance of 75.00 feet;

THENCE North 89°49'20" East, a distance of 120.00 feet;

THENCE South 00°09'17" East, a distance of 75.00 feet;

THENCE South 89°49'20" West, a distance of 120.00 feet to the POINT OF BEGINNING.

Containing 9,000 square feet or 0.2066 acres, more or less.

AND

A tract of land being a part of the Southwest Quarter (SW/4) of Section Thirty-four (34), Township Thirteen (13) North, Range Three (3) West of the Indian Meridian, Oklahoma City, Oklahoma County, Oklahoma, being more particularly described as follows:

Commencing at the Southeast (SE) Corner of said Southwest Quarter (SW/4);

THENCE North 00°31'47" West, along and with the East line of said Southwest Quarter (SW/4), a distance of 1,332.84 feet to the POINT OF BEGINNING;

THENCE South 89°49'20" West, a distance of 50.23 feet;

THENCE North 00°09'17" West, a distance of 166.50 feet;

THENCE North 89°49'20" East, a distance of 49.14 feet to a point on the East line of said Southwest Quarter (SW/4);

THENCE South 00°31'47" East, along and with the East line of said Southwest Quarter (SW/4), a distance of 166.50 feet to the POINT OF BEGINNING.

Containing 8,273 square feet or 0.1899 acres, more or less.

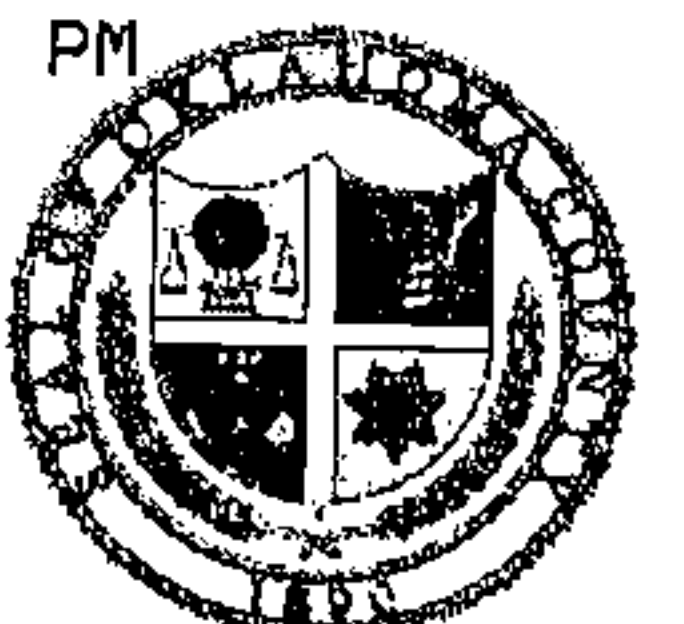
Basis of Bearing: Grid North as established by state plane datum (Oklahoma State Plane North Zone NAD83)

Prepared by Johnson & Associates, Inc. (Matthew Johnson P.L.S. 1807)

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LEGAL DESCRIPTION

A tract of land being a part of the southwest quarter and the southeast quarter of Section 34 Township 13 North, Range 3 West of the Indian Meridian, Oklahoma City, Oklahoma County, Oklahoma, being more particularly described as:

COMMENCING at the southwest corner of said southwest quarter;

THENCE North 89°49'20" East, along and with the south line of said southwest quarter, a distance of 158.00 feet;

THENCE North 00°09'17" West, a distance of 60.00 feet to the POINT OF BEGINNING;

THENCE along and with the east right-of-way line of Broadway Extension the following fourteen (14) calls:

1. North 45°09'59" West, a distance of 70.70 feet;
2. North 00°09'17" West, a distance of 243.00 feet;
3. South 89°49'20" West, a distance of 25.00 feet;
4. North 00°09'17" West, a distance of 175.00 feet;
5. South 89°49'20" West, a distance of 12.50 feet;
6. North 00°09'17" West, a distance of 715.00 feet;
7. North 89°49'20" East, a distance of 6.56 feet;
8. North 00°09'17" West, a distance of 165.00 feet;
9. North 89°49'20" East, a distance of 12.34 feet;
10. North 00°09'17" West, a distance of 32.54 feet;
11. South 89°51'42" West, a distance of 16.40 feet;
12. North 00°09'17" West, a distance of 252.85 feet;
13. North 89°51'42" East, a distance of 9.84 feet;
14. North 00°09'17" West, a distance of 132.59 feet;

THENCE North 89°49'20" East, departing said right-of-way line, a distance of 1,600.16 feet;

THENCE North 00°09'17" West, a distance of 806.94 feet to a point on the north line of said southwest quarter;

THENCE North 89°41'29" East, along and with the north line of said southwest quarter, a distance of 951.73 feet to the northeast corner of said southwest quarter;

THENCE South 00°31'47" East, along and with the east line of said southwest quarter, a distance of 1,135.80 feet;

THENCE South 89°49'20" West, departing said east line, a distance of 49.14 feet;

THENCE South 00°09'17" East, a distance of 166.50 feet;

THENCE North 89°49'20" East, a distance of 50.23 feet to a point on the east line of said southwest quarter;

THENCE South 00°31'47" East, along and with the east line of said southwest quarter, a distance of 463.52 feet to the northwest corner of Lot 7, Block 24 as shown on said plat REPLAT OF BLOCK 24 OF MUSGRAVE'S GOLD MEDAL HILLS ADDITION;

THENCE North 89°50'43" East (North 89°59' East record), along and with the north line of said Lot 7, Block 24 as shown on said plat REPLAT OF BLOCK 24 OF MUSGRAVE'S GOLD MEDAL HILLS ADDITION, a distance of 120.02 feet (120.05 feet record);

THENCE continuing along and with the north line of said Lot 7, Block 24 as shown on said plat REPLAT OF BLOCK 24 OF MUSGRAVE'S GOLD MEDAL HILLS ADDITION on a curve to the left having a radius of 433.91 feet, a chord bearing of North 67°21'13" East, a chord length of 331.98 feet and an arc length of 340.67 feet;

THENCE North 44°51'43" East (North 45°00' East record), continuing along and with the north line of said Lot 7, Block 24 as shown on said plat REPLAT OF BLOCK 24 OF MUSGRAVE'S GOLD MEDAL HILLS ADDITION, a distance of 18.00 feet to the northeast corner of said Lot 7, Block 24 as shown on said plat REPLAT OF BLOCK 24 OF MUSGRAVE'S GOLD MEDAL HILLS ADDITION;

THENCE South 45°08'17" East (South 45°00' East record), along and with the east line of said Lot 7, Block 24 as shown on said plat REPLAT OF BLOCK 24 OF MUSGRAVE'S GOLD MEDAL HILLS ADDITION, a distance of 362.00 feet;

THENCE continuing along and with the east line of said Lot 7, Block 24 as shown on said plat REPLAT OF BLOCK 24 OF MUSGRAVE'S GOLD MEDAL HILLS ADDITION on a curve to the right having a radius of 18.00 feet, a chord bearing of South 00°08'17" East, a chord length of 25.46 feet and an arc length of 28.27 feet;

THENCE continuing along and with the east line of said Lot 7, Block 24 as shown on said plat REPLAT OF BLOCK 24 OF MUSGRAVE'S GOLD MEDAL HILLS ADDITION on a reverse curve to the left having a radius of 489.46 feet, a chord bearing of South 22°21'13" West, a chord length of 374.75 feet and an arc length of 384.56 feet;

THENCE South 00°09'17" East (South 00°01' East record), continuing along and with the east line of said Lot 7, Block 24 as shown on said plat REPLAT OF BLOCK 24 OF MUSGRAVE'S GOLD MEDAL HILLS ADDITION, a distance of 80.00 feet to the southeast corner of said Lot 7, Block 24 as shown on said plat REPLAT OF BLOCK 24 OF MUSGRAVE'S GOLD MEDAL HILLS ADDITION;

THENCE South 89°50'43" West (South 89°59' West record), along and with the south line of said Lot 7, Block 24 as shown on said plat REPLAT OF BLOCK 24 OF MUSGRAVE'S GOLD MEDAL HILLS ADDITION, a distance of 548.19 feet to a point on the west line of said southeast quarter;

THENCE South 00°31'47" East, along and with the west line of said southeast quarter, a distance of 268.33 feet to a point 33.00 feet north of the south line of said southwest quarter;

THENCE South 89°49'20" West, parallel with and 33.00 feet north of the south line of said

southwest quarter, a distance of 1,048.75 feet;

THENCE North 00°09'17" West, a distance of 7.00 feet;

THENCE South 89°49'20" West, parallel with and 40.00 feet north of the south line of said southwest quarter, a distance of 100.00 feet;

THENCE South 00°09'17" East, a distance of 7.00 feet;

THENCE South 89°49'20" West, parallel with and 33.00 feet north of the south line of said southwest quarter, a distance of 410.00 feet;

THENCE North 00°09'17" West, a distance of 27.00 feet;

THENCE South 89°49'20" West, parallel with and 60.00 feet north of the south line of said southwest quarter, a distance of 935.00 feet to the POINT OF BEGINNING.

LESS AND EXCEPT:

A tract of land being a part of the southwest quarter of Section 34, Township 13 North, Range 3 West of the Indian Meridian, Oklahoma County, Oklahoma, and being all of Blocks 10 and 11 and a portion of Block 12 as shown on the plat of ADELE HEIGHTS recorded in Book 7 of plats, Page 76 and the north half of N.E. 82nd Street (platted Jackson Avenue) as shown on said plat ADELE HEIGHTS and as shown on the plat NORTH BROADWAY HEIGHTS recorded in Book 7 of Plats, page 66 from the east right-of-way line of the Broadway Extension to the centerline of Walnut Avenue as shown on said plat NORTH BROADWAY HEIGHTS, being more particularly described as follows:

COMMENCING at the southwest corner of said southwest quarter;

THENCE North 00°09'17" West, along and with the west line of said southwest quarter, a distance of 1408.00 feet to the centerline of N.E. 82nd Street (platted Jackson Avenue);

THENCE North 89°49'20" East, along and with the centerline of N.E. 82nd Street (platted Jackson Avenue), a distance of 89.40 feet to a point on the East right-of-way line of the Broadway Extension, said point being the POINT OF BEGINNING;

THENCE along and with the east right-of-way line of the Broadway Extension the following five (5) calls:

1. North 00°09'17" West, a distance of 32.54 feet;
2. South 89°51'42" West, a distance of 16.40 feet;
3. North 00°09'17" West, a distance of 252.85 feet;
4. North 89°51'42" East, a distance of 9.84 feet;
5. North 00°09'17" West, a distance of 132.59 feet to a point on the north line of said Block 12;

THENCE North 89°49'20" East, along and with the north line of said Blocks 12 through 10, a distance of 1600.16 feet to the northeast corner of said Block 10;

THENCE South 00°09'17" East, along and with the east line extended of said Block 10, a distance of 417.98 feet to the centerline of said N.E. 82nd Street (platted Jackson Avenue);

THENCE South 89°49'20" West, along and with the centerline of said N.E. 82nd Street (platted Jackson Avenue), a distance of 1593.60 feet to the POINT OF BEGINNING.

AND LESS AND EXCEPT

A tract of land being a part of the southwest quarter of Section 34, Township 13 North, Range 3 West of the Indian Meridian, Oklahoma City, Oklahoma County, Oklahoma, being more particularly described as:

Commencing at the southwest corner of said southwest quarter;

THENCE North 89°49'20" East, along and with the south line of said southwest quarter, a distance of 158.00 feet;

THENCE North 00°09'17" West, a distance of 60.00 feet to a point on the east right-of-way line of Broadway Extension and the north right-of-way line of Wilshire Boulevard, said point being the POINT OF BEGINNING;

THENCE along and with the east right-of-way line of Broadway Extension the following eight (8) calls:

1. North 45°09'59" West, a distance of 70.70 feet;
2. North 00°09'17" West, a distance of 243.00 feet;
3. South 89°49'20" West, a distance of 25.00 feet;
4. North 00°09'17" West, a distance of 175.00 feet;
5. South 89°49'20" West, a distance of 12.50 feet;
6. North 00°09'17" West, distance of 715.00 feet;
7. North 89°49'20" East, a distance of 6.56 feet;
8. North 00°09'17" West, a distance of 165.00 feet to a point on the extended south line of the recorded plat 9000 BROADWAY;

THENCE North 89°49'20" East, along and with the south line extended of said plat 9000 BROADWAY, a distance of 1,605.94 feet to the southeast corner of said plat 9000 BROADWAY and a point on the centerline of vacated Walnut Avenue as shown on the vacated plat NORTH BROADWAY HEIGHTS;

THENCE South 00°09'17" East, departing said south line, along and with the centerline of said vacated WALNUT AVENUE, a distance of 1,375.00 feet to the north right-of-way line of Wilshire Boulevard;

THENCE along and with the north right-of-way line of Wilshire Boulevard the following seven (7) calls:

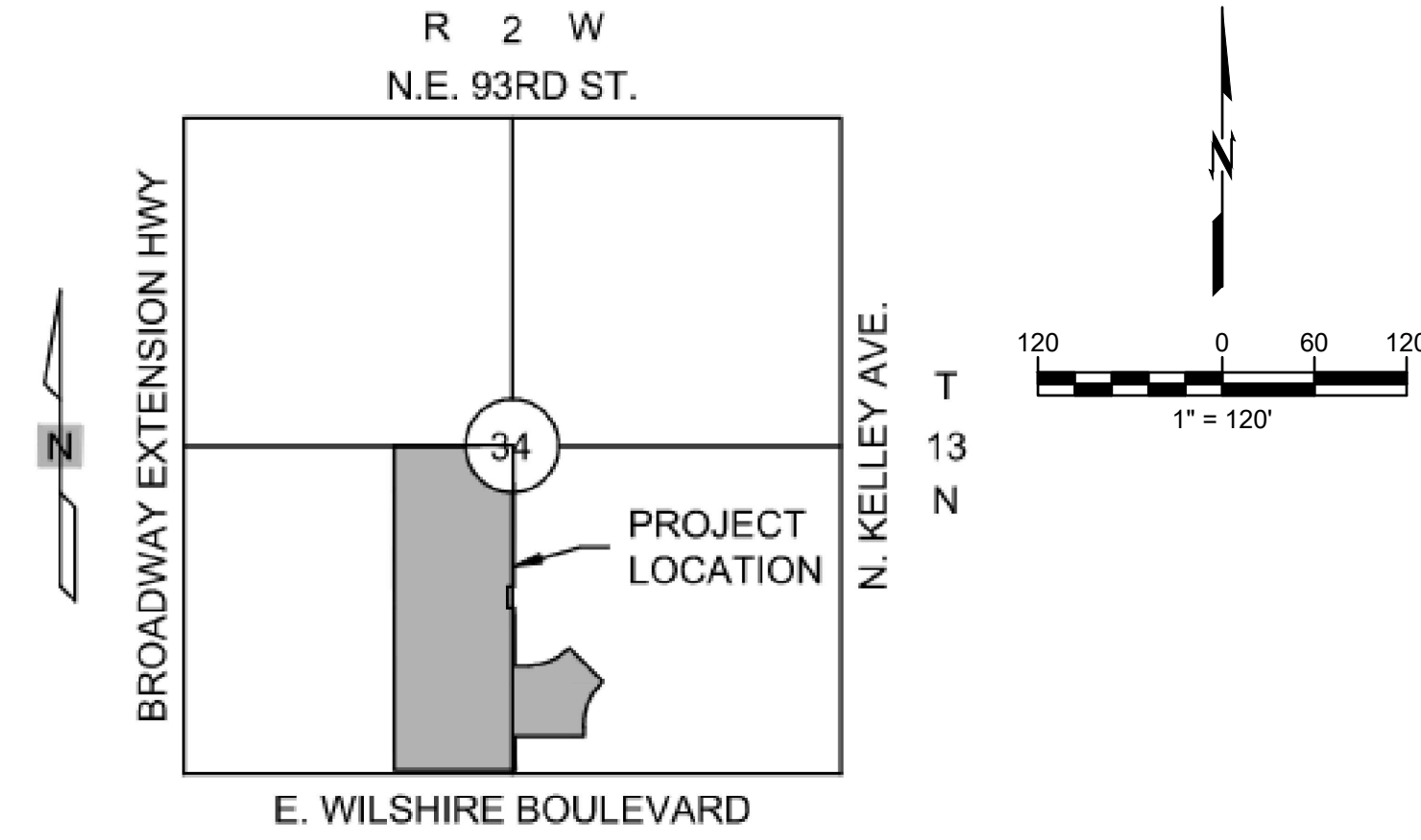
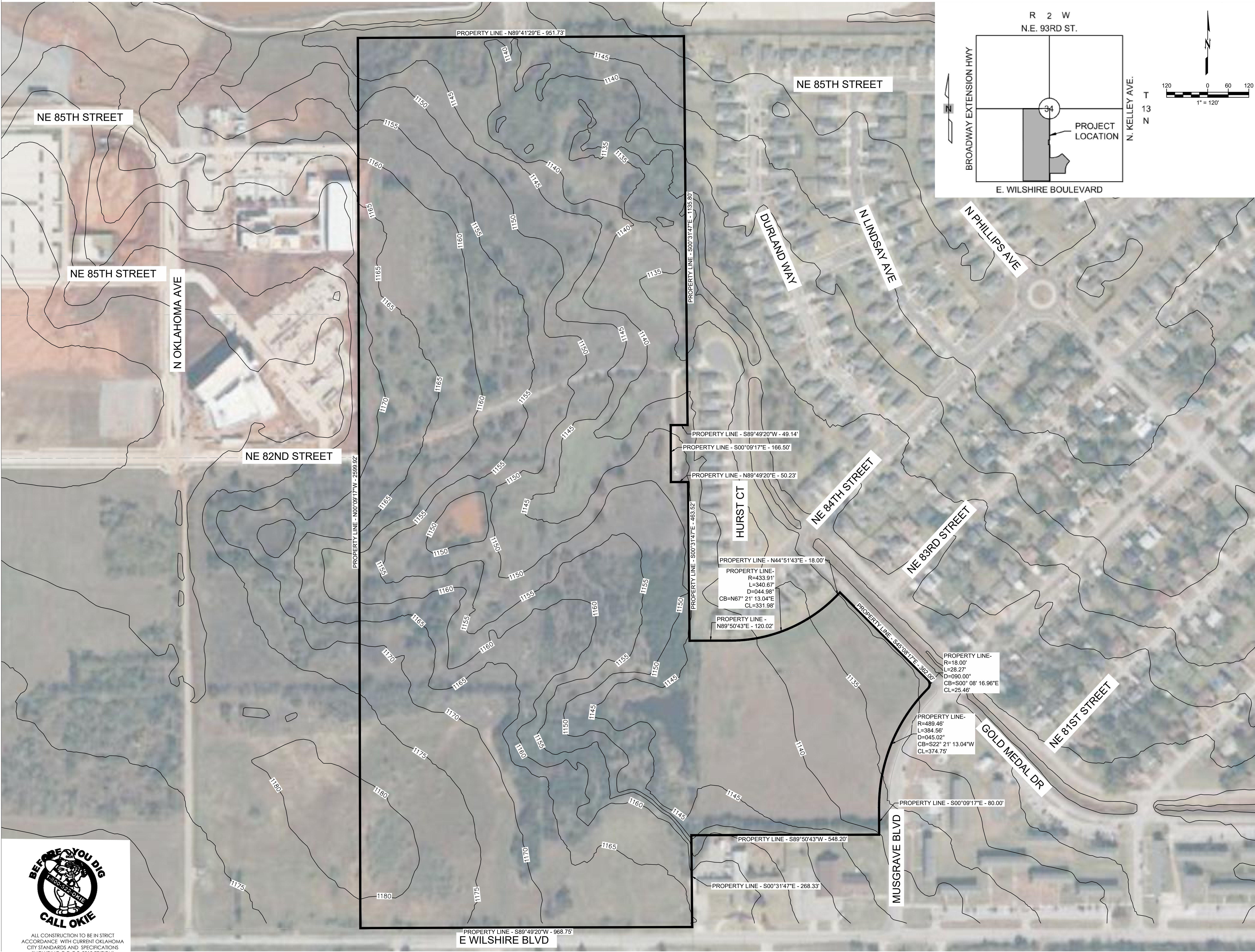
1. South 89°49'20" West, a distance of 80.00 feet;
2. North 00°09'17" West, a distance of 7.00 feet;

3. South $89^{\circ}49'20''$ West, a distance of 100.00 feet;
4. South $00^{\circ}09'17''$ East, a distance of 7.00 feet;
5. South $89^{\circ}49'20''$ West, a distance of 410.00 feet;
6. North $00^{\circ}09'17''$ West, a distance of 27.00 feet;
7. South $89^{\circ}49'20''$ West, a distance of 935.00 feet to the POINT OF BEGINNING.

\\Cvii-Server\Projects\2240430 OKC PS Belle Isle Enterprise High School\Drawings\TOPO Exhibit.dwg PLOT: 9/25/2023 1:24:41 PM ORIG SIZE: 24"x36"



ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH CURRENT OKLAHOMA CITY STANDARDS AND SPECIFICATIONS (INCLUDING O.D.O.T. 2019 EDITION)



INTERIM REVIEW ONLY

THESE DOCUMENTS ARE INCOMPLETE. THEY ARE NOT INTENDED TO BE USED FOR PERMIT, BIDDING, OR CONSTRUCTION.



wallace design collective

wallace design collective, pc
structural · civil · landscape · survey
123 north martin luther king jr. boulevard
tulsa, oklahoma 74103
918.584.5858 · 800.344.5858
oklahoma ca #1460 exp 6/30/25

OKCPS - OKCPS Belle Isle Enterprise HS

E Wilshire Boulevard

EXHIBIT B TOPOGRAPHY MAP

GH2ARCHITECTS

GH2.COM

GH2 PROJECT NUMBER:
20220089.02

ISSUE DATE:
TBD

ISSUE:
CONCEPT/ SCHEMATIC DESIGN

OTHER ISSUE DATES:
NO. DESCRIPTION DATE

SHEET NAME:
TOPOGRAPHY MAP

SHEET NUMBER:

EXHIBIT B

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September 12, 2023

City of Oklahoma City
Planning Department, Subdivision & Zoning
420 West Main Street, Suite 910
Oklahoma City, OK 73102

RE: Letter of Authorization for a PUD Rezoning Application

To Whom It May Concern,

This letter is to authorize Wallace Design Collective, PC to submit a PUD rezoning application with the City of Oklahoma City for the following location: Oklahoma County Account # R103820100 and R146451060.

Sincerely,

A handwritten signature in black ink, appearing to read 'T. Blalock', written in a cursive style.

Wilshire Development, LLC
By: Tom Blalock, COO
(405) 608-5727
tom.blalock@arcap-okc.com

LETTER OF AUTHORIZATION

Wilshire Development, LLC, (the property owner of record) or (an agent of the property owner of record) authorize the firm of Williams, Box, Forshee & Bullard P.C., to make application for municipal approvals and to do all things necessary for the advancement of such application with respect to the property at the following location approximately 65 acres along and north of East Wilshire Road and east of I-235.

Wilshire Development, LLC

By: 

Tom Blalock, COO

Date: September 5, 2023

Larry Stein Oklahoma County Assessor's Office



Ownership Radius Report

This Non-Official Report is for Account Number **R103820100 R146451060** and is a 300-foot radius from the outside of the polygon. If the minimum number of different owners was not reached it was extended by 100-foot increments until the required number of different owners was reached, or the maximum distance was reached. This report does not constitute a legal survey or document, for definitive description of real property and ownership; consult the deeds recorded in the Oklahoma County Clerks Office. **Official Record of this Certified Radius Report will expire 30 days from the date of creation stamped on the back of this sheet.**

STATE OF OKLAHOMA }
COUNTY OF OKLA. } ss:

I, the duly elected, qualified and acting
County Assessor, in and for the County
and State aforesaid, do hereby certify that
the within and foregoing is a full, true and
complete copy of SOOFA. Reliance
filed in the office of the County Assessor
on the 29th day of August, 2023
Given under my hand and official seal this
29th day of August, 2023
K. Burch County Assessor
Deputy

Oklahoma County Assessor
300 ft. Radius Report
8/29/2023

accountno	name1	name2	mailingaddress1	Shape	city	state	zipcode	subname	block	lot	legal	location	
R146433640	CHURCH OF LIVING GOD	TEMPLE 290	555 E WILSHIRE BLVD		OKLAHOMA CITY	OK	73105-1011	MUSGRAVES GOLD MEDAL HILLS	023	000	MUSGRAVES GOLD MEDAL HILLS 023 000 LOT 1 & E 1/2 OF LOT 2 EXEMPT	0 UNKNOWN OKLAHOMA CITY	
R146433645	CHURCH OF THE LIVING GOD	TEMPLE 290	555 E WILSHIRE BLVD		OKLAHOMA CITY	OK	73105-1011	MUSGRAVES GOLD MEDAL HILLS	023	000	MUSGRAVES GOLD MEDAL HILLS 023 000 W 1/2 LOT 2 EXEMPT	555 E WILSHIRE BLVD OKLAHOMA CITY	
R146433650	CHURCH OF THE LIVING GOD		555 E WILSHIRE BLVD		OKLAHOMA CITY	OK	73105-1011	MUSGRAVES GOLD MEDAL HILLS	023	000	MUSGRAVES GOLD MEDAL HILLS 023 000 LOT 3 EXEMPT	0 UNKNOWN OKLAHOMA CITY	
R146433655	REWILSHIRE LLC		PO BOX 22845		OKLAHOMA CITY	OK	73123	MUSGRAVES GOLD MEDAL HILLS	023	000	MUSGRAVES GOLD MEDAL HILLS 023 000 LOTS 4 THRU 6	505 E WILSHIRE BLVD OKLAHOMA CITY	
R146433335	RNGD WILSHIRE LLC		3141 S BROADWAY, Unit A		ENGLEWOOD	CO	80113	MUSGRAVES GOLD MEDAL HILLS	000	000	MUSGRAVES GOLD MEDAL HILLS 000 000 LOTS 14 THRU 22 BLK 18 & LOTS 1 THRU 8 BLK 21 & LOTS 1 THRU 16 BLK 22	701 E WILSHIRE BLVD OKLAHOMA CITY	
R146432575	RENTIE CLIFFORD	RENTIE BERNESTINE JANOCYCE	701 NE 81ST ST		OKLAHOMA CITY	OK	73114-4001	MUSGRAVES GOLD MEDAL HILLS	012	015	MUSGRAVES GOLD MEDAL HILLS 012 015	701 NE 81ST ST OKLAHOMA CITY	
R146432570	WRIGHTS MCARTHUR		700 MUSGRAVE BLVD		OKLAHOMA CITY	OK	73114-4009	MUSGRAVES GOLD MEDAL HILLS	012	014	MUSGRAVES GOLD MEDAL HILLS 012 014	700 MUSGRAVE BLVD OKLAHOMA CITY	
R146432565	DAVIS CONSTANCE R		704 MUSGRAVE BLVD		OKLAHOMA CITY	OK	73114-4009	MUSGRAVES GOLD MEDAL HILLS	012	013	MUSGRAVES GOLD MEDAL HILLS 012 013	704 MUSGRAVE BLVD OKLAHOMA CITY	
R146432560	WINSTON ALONZO L & M A		708 MUSGRAVE BLVD		OKLAHOMA CITY	OK	73114-4009	MUSGRAVES GOLD MEDAL HILLS	012	012	MUSGRAVES GOLD MEDAL HILLS 012 012	708 MUSGRAVE BLVD OKLAHOMA CITY	
R146432435	LLAMAS ESVIN A & MARITZA N		701 MUSGRAVE BLVD		OKLAHOMA CITY	OK	73114-4008	MUSGRAVES GOLD MEDAL HILLS	011	015	MUSGRAVES GOLD MEDAL HILLS 011 015	701 MUSGRAVE BLVD OKLAHOMA CITY	
R209831220	SHODIQ MUSTOFA	SARI DEWIK	604 NE 84TH ST		OKLAHOMA CITY	OK	73114-3917	HOPE CROSSING V	020	000	HOPE CROSSING V 020 000 LOTS 6 & 7	604 NE 84TH ST OKLAHOMA CITY	
R209831210	CARVER ANITA J		608 NE 84TH ST		OKLAHOMA CITY	OK	73114-3917	HOPE CROSSING V	020	005	HOPE CROSSING V 020 005	608 NE 84TH ST OKLAHOMA CITY	
R146432440	GLEN NICKELBERRY FAMILY LTD PARTNERSHIP		4300 BUTLER PL		OKLAHOMA CITY	OK	73118-5030	MUSGRAVES GOLD MEDAL HILLS	011	016	MUSGRAVES GOLD MEDAL HILLS 011 016	705 MUSGRAVE BLVD OKLAHOMA CITY	
R209831200	OSBORNE DANA J		612 NE 84TH ST		OKLAHOMA CITY	OK	73114-3917	HOPE CROSSING V	020	004	HOPE CROSSING V 020 004	612 NE 84TH ST OKLAHOMA CITY	

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R146451060	WILSHIRE DEVELOPMENT LLC		PO BOX 18756		OKLAHOMA CITY	OK	73154-0756	MUSGRAVE GOLD MEDAL HILLS B24	024	007	MUSGRAVE GOLD MEDAL HILLS B24 024 007	8301 GOLD MEDAL DR OKLAHOMA CITY	
R209831190	BENTON JONATHON S & KATHLEEN M		616 NE 84TH ST		OKLAHOMA CITY	OK	73114-3917	HOPE CROSSING V	020	003	HOPE CROSSING V 020 003	616 NE 84TH ST OKLAHOMA CITY	
R146432430	JONES ARCHIE L JR & ADDIE F		700 NE 83RD ST		OKLAHOMA CITY	OK	73114-3910	MUSGRAVES GOLD MEDAL HILLS	011	014	MUSGRAVES GOLD MEDAL HILLS 011 014	700 NE 83RD ST OKLAHOMA CITY	
R146432445	DAVIS CONSTANCE		709 MUSGRAVE BLVD		OKLAHOMA CITY	OK	73114-4008	MUSGRAVES GOLD MEDAL HILLS	011	017	MUSGRAVES GOLD MEDAL HILLS 011 017	709 MUSGRAVE BLVD OKLAHOMA CITY	
R209831340	WILLIAMS CARLEEN S		8501 HURST CT		OKLAHOMA CITY	OK	73114-4402	HOPE CROSSING V	021	011	HOPE CROSSING V 021 011	8501 HURST CT OKLAHOMA CITY	
R146432425	BINKLEY NATHAN	BINKLEY JOANNA	704 NE 83RD ST		OKLAHOMA CITY	OK	73114	MUSGRAVES GOLD MEDAL HILLS	011	013	MUSGRAVES GOLD MEDAL HILLS 011 013	704 NE 83RD ST OKLAHOMA CITY	
R209831180	GRAY RASHETTA N		620 NE 84TH ST		OKLAHOMA CITY	OK	73114-3917	HOPE CROSSING V	020	002	HOPE CROSSING V 020 002	620 NE 84TH ST OKLAHOMA CITY	
R209831170	NGUYEN THAO A & YEN THI LE NGOC		624 NE 84TH ST		OKLAHOMA CITY	OK	73114-3917	HOPE CROSSING V	020	001	HOPE CROSSING V 020 001	624 NE 84TH ST OKLAHOMA CITY	
R146432420	ESSENTIAL PROPERTIES OKTX LLC		3225 MCLEOD DR STE 100		LAS VEGAS	NV	89121	MUSGRAVES GOLD MEDAL HILLS	011	012	MUSGRAVES GOLD MEDAL HILLS 011 012	708 NE 83RD ST OKLAHOMA CITY	
R209831330	SILVA REYNA		8933 N TRIPLE X RD		JONES	OK	73049	HOPE CROSSING V	021	010	HOPE CROSSING V 021 010	8505 HURST CT OKLAHOMA CITY	
R146431890	OWENS GENEVA A ETAL	JOHNSON CLAUDIA	701 NE 83RD ST		OKLAHOMA CITY	OK	73114	MUSGRAVES GOLD MEDAL HILLS	008	015	MUSGRAVES GOLD MEDAL HILLS 008 015	701 NE 83RD ST OKLAHOMA CITY	
R209831320	RAINES KERWYN B & POLLIE D		8509 HURST CT		OKLAHOMA CITY	OK	73114-4402	HOPE CROSSING V	021	009	HOPE CROSSING V 021 009	8509 HURST CT OKLAHOMA CITY	
R146431895	BROOM LESTER G TRS	BROOM LESTER G LIV TRUST	705 NE 83RD ST		OKLAHOMA CITY	OK	73114-3909	MUSGRAVES GOLD MEDAL HILLS	008	016	MUSGRAVES GOLD MEDAL HILLS 008 016	705 NE 83RD ST OKLAHOMA CITY	
R209831310	JAMISON PATRICIA A		8513 HURST CT		OKLAHOMA CITY	OK	73114-4402	HOPE CROSSING V	021	008	HOPE CROSSING V 021 008	8513 HURST CT OKLAHOMA CITY	
R209831160	ALEXANDER DEVIN M		700 NE 84TH ST		OKLAHOMA CITY	OK	73114-3913	HOPE CROSSING V	019	014	HOPE CROSSING V 019 014	700 NE 84TH ST OKLAHOMA CITY	
R146431900	HURTE CLEOLA J		709 NE 83RD ST		OKLAHOMA CITY	OK	73114-3909	MUSGRAVES GOLD MEDAL HILLS	008	017	MUSGRAVES GOLD MEDAL HILLS 008 017	709 NE 83RD ST OKLAHOMA CITY	
R209831150	LASLEY STACY L		704 NE 84TH ST		OKLAHOMA CITY	OK	73114-3913	HOPE CROSSING V	019	013	HOPE CROSSING V 019 013	704 NE 84TH ST OKLAHOMA CITY	
R209831300	NORWOOD BERNADETTE TRS	NORWOOD BERNADETTE TRUST	8517 HURST CT		OKLAHOMA CITY	OK	73114	HOPE CROSSING V	021	007	HOPE CROSSING V 021 007	8517 HURST CT OKLAHOMA CITY	
R209831140	ROBINSON JANICE M		708 NE 84TH ST		OKLAHOMA CITY	OK	73114-3913	HOPE CROSSING V	019	012	HOPE CROSSING V 019 012	708 NE 84TH ST OKLAHOMA CITY	

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R104405600	CITY OF NICHOLS HILLS		6407 AVONDALE DR		NICHOLS HILLS	OK	73116-6431	PHILLIPS ADDITION	003	000	UNPLTD PT SEC 34 13N 3W BLK 000 LOT 000 PT SW4 SEC 34 13N 3W BEG 1332.84FT N OF SE/C SW4 TH W50.23FT N166.50FT E49.14FT S166.50FT TO BEG (FORMERLY PT OF BLK 4 EAST BROADWAY HTS ADDN) PLUS A TR	0 UNKNOWN OKLAHOMA CITY	
R209831290	NESBIT JANE D		8521 HURST CT		OKLAHOMA CITY	OK	73114-4402	HOPE CROSSING V	021	006	HOPE CROSSING V 021 006	8521 HURST CT OKLAHOMA CITY	
R209831020	BRADY QUINSWELLA S		701 NE 84TH ST		OKLAHOMA CITY	OK	73114-3914	HOPE CROSSING V	018	003	HOPE CROSSING V 018 003	701 NE 84TH ST OKLAHOMA CITY	
R209831010	HARRIS KENTREL		705 NE 84TH ST		OKLAHOMA CITY	OK	73114	HOPE CROSSING V	018	002	HOPE CROSSING V 018 002	705 NE 84TH ST OKLAHOMA CITY	
R209831280	WILSON KALIN PAXTON TRS	RUGGED PEAKS TRUST 2019	1755 COLGATE DR		COLORADO SPRINGS	CO	80918	HOPE CROSSING V	021	005	HOPE CROSSING V 021 005	8525 HURST CT OKLAHOMA CITY	
R217721100	9000 BROADWAY OWNERS ASSOCIATION LLC	C/O AMERICAN FIDELITY PROPERTY COMPANY	5100 N CLASSEN BLVD		OKLAHOMA CITY	OK	73118	9000 BROADWAY	000	000	9000 BROADWAY BLK 000 LOT 000 COMMON AREAS A B & C (COMMON AREA A INCLUDES PRIVATE ST NE 83RD ST)	UNKNOWN	
R209831270	COOPER ROCKEFELLER F & COMFORT K		8529 HURST CT		OKLAHOMA CITY	OK	73114-4402	HOPE CROSSING V	021	004	HOPE CROSSING V 021 004	8529 HURST CT OKLAHOMA CITY	
R209831260	BERRY GLORIA F		8533 HURST CT		OKLAHOMA CITY	OK	73114-4402	HOPE CROSSING V	021	003	HOPE CROSSING V 021 003	8533 HURST CT OKLAHOMA CITY	
R209831350	HOPE CROSSING COMMUNITY ASSOCIATION INC		PO BOX 721233		OKLAHOMA CITY	OK	73172	HOPE CROSSING V	000	000	HOPE CROSSING V 000 000 COMMON AREAS H I & K	0 UNKNOWN OKLAHOMA CITY	
R209831250	PETE OSCAR R & GENEVA		8537 HURST CT		OKLAHOMA CITY	OK	73114-4402	HOPE CROSSING V	021	002	HOPE CROSSING V 021 002	8537 HURST CT OKLAHOMA CITY	
R209831240	STEELE VALERIE N		8541 HURST CT		OKLAHOMA CITY	OK	73114-4402	HOPE CROSSING V	021	001	HOPE CROSSING V 021 001	8541 HURST CT OKLAHOMA CITY	
R210361350	BROWN ELMERINE N		8517 DURLAND WAY		OKLAHOMA CITY	OK	73114-8801	HOPE CROSSING IV	017	002	HOPE CROSSING IV 017 002	8517 DURLAND WAY OKLAHOMA CITY	
R210361340	SALLIS KATHERINE A		8521 DURLAND WAY		OKLAHOMA CITY	OK	73114-8801	HOPE CROSSING IV	017	001	HOPE CROSSING IV 017 001	8521 DURLAND WAY OKLAHOMA CITY	

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R210361400	HOPE CROSSING COMMUNITY ASSOCIATION INC		PO BOX 721233		OKLAHOMA CITY	OK	73172	HOPE CROSSING IV	000	000	HOPE CROSSING IV 000 000 COMMON AREAS G & F	0 UNKNOWN OKLAHOMA CITY	
R210361330	ZUBEK FRANTISEK	ZUBEK FRANTISEK JR	8525 DURLAND WAY		OKLAHOMA CITY	OK	73114-8801	HOPE CROSSING IV	016	009	HOPE CROSSING IV 016 009	8525 DURLAND WAY OKLAHOMA CITY	
R210361320	WALORSKI ERIC J		8529 DURLAND WAY		OKLAHOMA CITY	OK	73114-8801	HOPE CROSSING IV	016	008	HOPE CROSSING IV 016 008	8529 DURLAND WAY OKLAHOMA CITY	
R210361310	KOLBERG JASON A & CRYSTAL N		8533 DURLAND WAY		OKLAHOMA CITY	OK	73114-8801	HOPE CROSSING IV	016	007	HOPE CROSSING IV 016 007	8533 DURLAND WAY OKLAHOMA CITY	
R210361300	BARNETT DERRICK L & STEPHANIE L		8537 DURLAND WAY		OKLAHOMA CITY	OK	73114-8801	HOPE CROSSING IV	016	006	HOPE CROSSING IV 016 006	8537 DURLAND WAY OKLAHOMA CITY	
R210361290	SAVAGE KELLY D		8541 DURLAND WAY		OKLAHOMA CITY	OK	73114-8801	HOPE CROSSING IV	016	005	HOPE CROSSING IV 016 005	8541 DURLAND WAY OKLAHOMA CITY	
R210361280	JONES STACY A		8545 DURLAND WAY		OKLAHOMA CITY	OK	73114-8801	HOPE CROSSING IV	016	004	HOPE CROSSING IV 016 004	8545 DURLAND WAY OKLAHOMA CITY	
R210361080	KHETTABI SAID EL & ZINEB ISAF		8532 DURLAND WAY		OKLAHOMA CITY	OK	73114-8800	HOPE CROSSING IV	014	001	HOPE CROSSING IV 014 001	8532 DURLAND WAY OKLAHOMA CITY	
R210361270	PARTON DYLAN		8549 DURLAND WAY		OKLAHOMA CITY	OK	73114	HOPE CROSSING IV	016	003	HOPE CROSSING IV 016 003	8549 DURLAND WAY OKLAHOMA CITY	
R210361090	DELK LINDSEY		8536 DURLAND WAY		OKLAHOMA CITY	OK	73114	HOPE CROSSING IV	014	002	HOPE CROSSING IV 014 002	8536 DURLAND WAY OKLAHOMA CITY	
R210361260	OMAR CONSUELO C		8553 DURLAND WAY		OKLAHOMA CITY	OK	73114-8801	HOPE CROSSING IV	016	002	HOPE CROSSING IV 016 002	8553 DURLAND WAY OKLAHOMA CITY	
R210361100	SWEETHOME INVESTMENT LLC		2604 SW 136TH ST		OKLAHOMA CITY	OK	73170	HOPE CROSSING IV	014	003	HOPE CROSSING IV 014 003	8540 DURLAND WAY OKLAHOMA CITY	
R210361250	MANNING HAILEY		8557 DURLAND WAY		OKLAHOMA CITY	OK	73114	HOPE CROSSING IV	016	001	HOPE CROSSING IV 016 001	8557 DURLAND WAY OKLAHOMA CITY	
R209831360	HOPE CROSSING COMMUNITY ASSOCIATION INC		PO BOX 721233		OKLAHOMA CITY	OK	73172	HOPE CROSSING V	000	000	HOPE CROSSING V 000 000 COMMON AREA J	0 UNKNOWN OKLAHOMA CITY	
R210361400	HOPE CROSSING COMMUNITY ASSOCIATION INC		PO BOX 721233		OKLAHOMA CITY	OK	73172	HOPE CROSSING IV	000	000	HOPE CROSSING IV 000 000 COMMON AREAS G & F	0 UNKNOWN OKLAHOMA CITY	
R210361110	ROSS TINA A		8544 DURLAND WAY		OKLAHOMA CITY	OK	73114-8800	HOPE CROSSING IV	014	004	HOPE CROSSING IV 014 004	8544 DURLAND WAY OKLAHOMA CITY	
R210361240	GARCIA JOSE L		8561 DURLAND WAY		OKLAHOMA CITY	OK	73114	HOPE CROSSING IV	015	009	HOPE CROSSING IV 015 009	8561 DURLAND WAY OKLAHOMA CITY	

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R210361120	JONES MICHAEL D		8548 DURLAND WAY		OKLAHOMA CITY	OK	73114-8800	HOPE CROSSING IV	014	005	HOPE CROSSING IV 014 005	8548 DURLAND WAY OKLAHOMA CITY	
R217721040	SCF RC FUNDING IV LLC		902 CARNEGIE CENTER BLVD, Unit 520		PRINCETON NJ		08540	9000 BROADWAY	001	005	9000 BROADWAY BLK 001 LOT 005	8400 N OKLAHOMA AVE OKLAHOMA CITY	
R217721100	9000 BROADWAY OWNERS ASSOCIATION LLC	C/O AMERICAN FIDELITY PROPERTY COMPANY	5100 N CLASSEN BLVD		OKLAHOMA CITY	OK	73118	9000 BROADWAY	000	000	9000 BROADWAY BLK 000 LOT 000 COMMON AREAS A B & C (COMMON AREA A INCLUDES PRIVATE ST NE 83RD ST)	UNKNOWN	
R210361230	JOHNSON DESTINY L		8565 DURLAND WAY		OKLAHOMA CITY	OK	73114-8801	HOPE CROSSING IV	015	008	HOPE CROSSING IV 015 008	8565 DURLAND WAY OKLAHOMA CITY	
R210361130	SOULANE NABIL	ASLIMI SANAA	8552 DURLAND WAY		OKLAHOMA CITY	OK	73114-8800	HOPE CROSSING IV	014	006	HOPE CROSSING IV 014 006	8552 DURLAND WAY OKLAHOMA CITY	
R210361220	CHANDLER DASHENA		8569 DURLAND WAY		OKLAHOMA CITY	OK	73114-8801	HOPE CROSSING IV	015	007	HOPE CROSSING IV 015 007	8569 DURLAND WAY OKLAHOMA CITY	
R210361140	WOOTEN DESIREE D		8556 DURLAND WAY		OKLAHOMA CITY	OK	73114-8800	HOPE CROSSING IV	014	007	HOPE CROSSING IV 014 007	8556 DURLAND WAY OKLAHOMA CITY	
R210361210	FINKLEA EVON		8573 DURLAND WAY		OKLAHOMA CITY	OK	73114-8801	HOPE CROSSING IV	015	006	HOPE CROSSING IV 015 006	8573 DURLAND WAY OKLAHOMA CITY	
R210361150	COLLINS LA TONYA M		8560 DURLAND WAY		OKLAHOMA CITY	OK	73114-8800	HOPE CROSSING IV	014	008	HOPE CROSSING IV 014 008	8560 DURLAND WAY OKLAHOMA CITY	
R210361200	GUNN GORDON C & BOBBIE G		8577 DURLAND WAY		OKLAHOMA CITY	OK	73114-8801	HOPE CROSSING IV	015	005	HOPE CROSSING IV 015 005	8577 DURLAND WAY OKLAHOMA CITY	

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R103820100	WILSHIRE DEVELOPMENT LLC		PO BOX 18756		OKLAHOMA CITY	OK	73154-0756	NORTH BROADWAY HGTS	000	000	NORTH BROADWAY HGTS 000 000 PT OF ADELE HTS ADDN PHILLIPS ADDN KNEENS ADDN COMPTONS SUB ADDN NORWOODS SHADYSIDE ADDN NORTH BROADWAY HTS ADDN & EAST BROADWAY HTS ADDN & PT OF VACATED STREETS & ALLEYS D	0 UNKNOWN OKLAHOMA CITY	
R210361190	WILLIAMS WAYNE C III & FAITH E		601 NE 85TH ST		OKLAHOMA CITY	OK	73114	HOPE CROSSING IV	015	004	HOPE CROSSING IV 015 004	601 NE 85TH ST OKLAHOMA CITY	
R210361180	HILL DANICA S		605 NE 85TH ST		OKLAHOMA CITY	OK	73114-3921	HOPE CROSSING IV	015	003	HOPE CROSSING IV 015 003	605 NE 85TH ST OKLAHOMA CITY	
R210361170	DENG HANINA A		609 NE 85TH ST		OKLAHOMA CITY	OK	73114-3921	HOPE CROSSING IV	015	002	HOPE CROSSING IV 015 002	609 NE 85TH ST OKLAHOMA CITY	
R210361160	ALEXANDER DARLENE A		613 NE 85TH ST		OKLAHOMA CITY	OK	73114-3921	HOPE CROSSING IV	015	001	HOPE CROSSING IV 015 001	613 NE 85TH ST OKLAHOMA CITY	
R217721030	9000 BROADWAY APARTMENTS LLC		865 N COWAN AVE		LEWISVILLE	TX	75057	9000 BROADWAY	001	004	9000 BROADWAY BLK 001 LOT 004	N OKLAHOMA AVE OKLAHOMA CITY	
R134605000	9000 BROADWAY LLC		PO BOX 22845		OKLAHOMA CITY	OK	73125	UNPLTD PT SEC 34 13N 3W	000	000	UNPLTD PT SEC 34 13N 3W 000 000 PT NW4 SEC 34 13N 3W BEG 1380.93FT W & 1291.58FT S OF NE/C NW4 TH S364.42FT W1180FT TO E LINE BROADWAY EXTENSION TH S APPROX 75.7FT E20FT S550FT W20FT S350.48FT TO S LI	8800 N BROADWAY EXT OKLAHOMA CITY	

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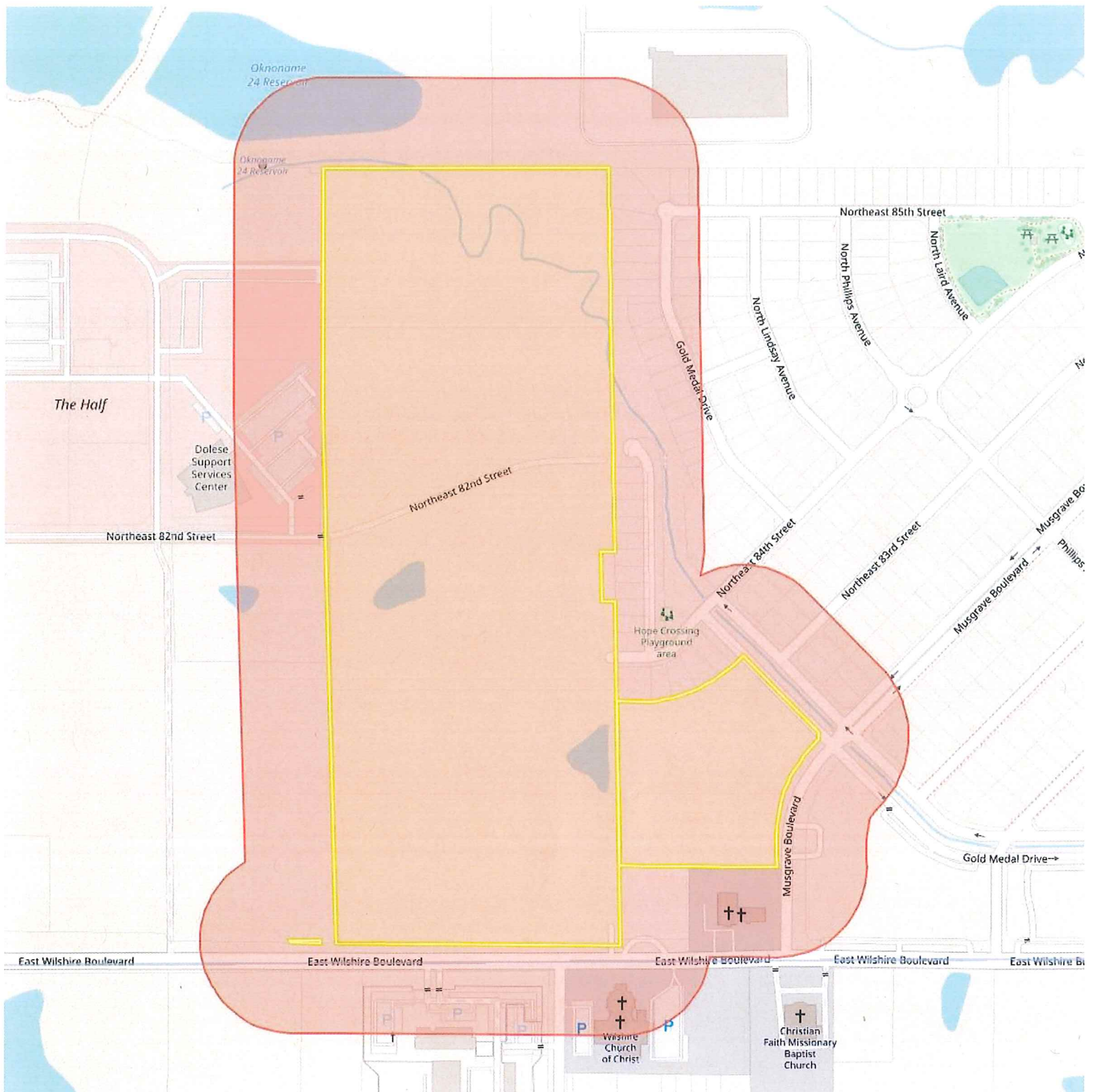
R168512500	MODULAR SERVICES COMPANY		500 E BRITTON RD		OKLAHOMA CITY	OK	73114-7701	BRITTON TOWNSHIP	000	000	BRITTON TOWNSHIP 000 000 PT N/2 SEC 34 13N 3W BEG 20FT W OF NW/C NE4 TH S1315.79FT E1338.21FT S1319.20FT W1316.92FT CONT W407.62FT N845.99FT E206.35FT N1003.75FT E40.01FT N784.86FT E130.48FT TO BEG EX	500 E BRITTON RD OKLAHOMA CITY	
R132941254	AMERICAN FIDELITY ASSURANCE CO		PO BOX 22845		OKLAHOMA CITY	OK	73123-1845	UNPLTD PT SEC 03 12N 3W	000	000	UNPLTD PT SEC 03 12N 3W 000 000 PT NW4 SEC 3 12N 3W BEG 633FT E NW/C SD NW4 TH E474.40FT S1120.83FT E206FT S184.17FT W652.12FT N343FT W30FT N962FT TO BEG AKA LOT 9 THRU 40 BLK 1 LOTS 9 THRU 40 BLK 4 L	0 UNKNOWN OKLAHOMA CITY	
R132941255	AMERICAN FIDELITY ASSURANCE CO		PO BOX 22845		OKLAHOMA CITY	OK	73123-1845	UNPLTD PT SEC 03 12N 3W	000	000	UNPLTD PT SEC 03 12N 3W 000 000 PT NW4 SEC 3 12N 3W BEG 1315FT E & 275FT S NW/C SD NW4 TH S845.83FT W206FT N845.83FT E206FT TO BEG CONT SACRS MORE OR LESS & BEG 1109.50FT E NW/C SD NW4 TH E206FT S275F	UNKNOWN	

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R132941500	O G & E		PO BOX 321		OKLAHOMA CITY	OK	73101-0321	UNPLTD PT SEC 03 12N 3W	000	000	UNPLTD PT SEC 03 12N 3W 000 000 PT NW4 SEC 3 12N 3W BEG 690FT W NE/C SD NW4 TH S295.75FT W55FT S165FT E55FT S1251.25FT MORE OR LESS W630FT N1547FT MORE OR LESS E TO BEG FORMERLY BLK 12 WOOD WHEELER AD	220 E WILSHIRE BLVD OKLAHOMA CITY	
R102810900	NORTHEAST THIRTY SIX ST	CHURCH OF CHRIST INC	1501 NE 36TH ST		OKLAHOMA CITY	OK	73111-5226	INTERURBAN HEIGHTS	001	000	INTERURBAN HEIGHTS 001 000 EX N7FT EXEMPT	400 E WILSHIRE BLVD OKLAHOMA CITY	
R103820100	WILSHIRE DEVELOPMENT LLC		PO BOX 18756		OKLAHOMA CITY	OK	73154-0756	NORTH BROADWAY HGTS	000	000	NORTH BROADWAY HGTS 000 000 PT OF ADELE HTS ADDN PHILLIPS ADDN KNEENS ADDN COMPTONS SUB ADDN NORWOODS SHADYSIDE ADDN NORTH BROADWAY HTS ADDN & EAST BROADWAY HTS ADDN & PT OF VACATED STREETS & ALLEYS D	0 UNKNOWN OKLAHOMA CITY	
R217721050	DOLESE BROS CO		8300 N OKLAHOMA AVE		OKLAHOMA CITY	OK	73114	9000 BROADWAY	001	006	9000 BROADWAY BLK 001 LOT 006	8300 N OKLAHOMA AVE OKLAHOMA CITY	

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R103820105	EAST WILSHIRE BLVD DEVELOPMENT LLC		9211 LAKE HEFNER PARKWAY, Unit 110		OKLAHOMA CITY	OK	73120	NORTH BROADWAY HGTS	000	000	UNPLTD PT SW4 SEC 34 13N 3W BEG 158FT E & 60FT N & 538.75FT E OF SW/C SW4 TH N317.99FT W601FT NW18.03FT N137.26FT W12.5FT N715FT E6.56FT N165FT E1075.94FT S419.19FT E530FT S955.81FT W80FT N7FT W100FT	UNKNOWN	
R103820110	EAST WILSHIRE BLVD DEVELOPMENT LLC		9211 LAKE HEFNER PARKWAY, Unit 110		OKLAHOMA CITY	OK	73120	NORTH BROADWAY HGTS	000	000	UNPLTD PT SW4 SEC 34 13N 3W BEG 1683FT E & 988.81FT N OF THE SW/C SW4 TH W530FT N419.19FT E530FT S419.19FT TO POB		



THE CITY OF OKLAHOMA CITY
PLANNED UNIT DEVELOPMENT DISTRICT

PUD – _____

MASTER DESIGN STATEMENT FOR

Belle Isle Enterprise Development

(TBD East Wilshire Boulevard)

September 27, 2023

PREPARED FOR:

Wilshire Development LLC
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SECTION 1.0 INTRODUCTION

The Planned Unit Development (PUD) of (Belle Isle Enterprise Development), consisting of 65.53 acres is located within the SW/4 of Section 34, Township 13 N, Range 3 W, of the Indian Meridian, Oklahoma County, Oklahoma. The subject property is generally located at north of East Wilshire Boulevard and east of North Oklahoma Avenue. (TBD East Wilshire Boulevard).

SECTION 2.0 LEGAL DESCRIPTION

The legal description of the property comprising this PUD is described in Exhibit A, attached, and is made a part of this Master Design Statement.

SECTION 3.0 OWNER/DEVELOPER

The owner of this property is Wilshire Development LLC. The developer of this property is Wilshire Development LLC and Oklahoma City Public Schools.

SECTION 4.0 SITE AND SURROUNDING AREA

The subject property is presently zoned R-1 District and PUD District (PUD-936). The PUD allows uses permitted in the C-4, O-2, R-1, R-1ZL, R-2 and R-4 Districts (except for certain uses as listed in the PUD) and High Impact Institutional use. The property is currently vacant. Surrounding properties are zoned and used for the following:

- North: PUD District (PUD-1584 and PUD-1011). The existing uses include an office building and the Oknoname 24 Reservoir.
- East: R-1 District and R-4 District. The existing uses include single-family homes, skilled nursing and therapy center and Church of the Living God.
- South: PUD District (PUD-129) and R-1 District. The existing uses include the OG&E North District Campus and the Wilshire Church of Christ.
- West: PUD District (PUD-936, PUD-1770 and PUD-1584). The existing uses include commercial development, multi-family (under construction) and undeveloped land.

SECTION 5.0 PHYSICAL CHARACTERISTICS

The site slopes from west to east with the slopes vary across the site. The overall grade differential is approximately 40 feet across the site. The Fish and Wildlife National Wetlands Inventory Map shows one palustrine system near the northern portion of the site and several freshwater emergent wetlands on the eastern half of the subject site. There is an intermittent stream (blue line) that enters the site near the northeastern portion of this site. No portion of the site is within any FEMA designated floodplain. There are several groupings of trees throughout the site which will be preserved where no development is proposed.

SECTION 6.0 CONCEPT

It is the developer's intent to develop the subject site as an Oklahoma City Public School High School with associated accessory uses; however, due to the market conditions the property owner would prefer to retain the C-3 uses currently permitted on the site. If the site is not developed as high school as shown in the Conceptual Site Plan, the developer will submit a Specific Plan for any other approved uses in this PUD development.

SECTION 7.0 SERVICE AVAILABILITY

7.1 STREETS

This development proposes connections to East Wilshire Boulevard, Musgrave Boulevard and NE 82nd Street. These are all public streets with varying rights-of-way.

There are no proposed streets in this Planned Unit Development; several internal drives are proposed connecting the uses to the existing public streets surrounding the site.

Streets or driveways on adjacent property within 200 feet of this Planned Unit Development shall be shown on the Conceptual Site Plan.

7.2 SANITARY SEWER

Public sanitary sewer facilities for this property are available. Sanitary sewer services will be provided from public mains.

7.3 WATER

Water facilities for this property are available. Water services will be provided from public mains.

7.4 FIRE PROTECTION

The nearest fire station to this property is Station Number 22 located at 333 NW 92nd Street. Approximately 2 miles from this PUD development.

7.5 GAS, ELECTRICAL, AND TELEPHONE SERVICE

Proper coordination with the various utility companies will be made in conjunction with this development.

7.6 PUBLIC TRANSPORTATION

There are no public bus stops in this Planned Unit Development nor are any planned. Private buses associated with the Moderate Impact Institutional use will have access to the PUD development.

7.7 DRAINAGE

The property within this Planned Unit Development is not within or adjacent to a FEMA 100-year flood plain.

7.8 COMPREHENSIVE PLAN

The Land Use Plan identifies this parcel as being in the Urban Low Intensity Typology Area land use topology area. The uses proposed in this Planned Unit Development are consistent and in compliance with the area standards.

SECTION 8.0 SPECIAL DEVELOPMENT REGULATIONS

The following Special Development Regulations and/or limitations are placed upon the development of the PUD. Planning and zoning regulations will be those, which are in effect at the time of development of this PUD, provided, however, that the density and or intensity of the PUD shall not be increased. Development is when a permit is issued for any construction or addition to any structure on a development tract. Certain zoning districts are referred to as a part of the Special Development Regulations of this PUD. For purposes of interpretation of these Special Development Regulations, the operative and controlling language and regulations of such zoning districts shall be the language and regulations applicable to the referenced zoning districts as contained in the City of Oklahoma City's Planning and Zoning Code as such exists at the time of development of this PUD. In the event of conflict between provisions of this PUD and any of the provisions of the Oklahoma City Municipal Code. 2020, as amended, in effect at the time a permit is applied for with respect to any lot, block, tract and/or parcel of land subject to this PUD, the provisions of the Code shall prevail and be controlling; provided however, that in the event of a conflict between the Special Use and Development Regulations specifically negotiated as a part of this PUD and the provisions of the Code in effect at the time a permit is applied for with respect to any lot, block, tract and/or parcel of land subject to this PUD, such Special Use and Development Regulations of this PUD shall prevail and be controlling.

8.1 USE AND DEVELOPMENT REGULATIONS

The use and development regulations of the C-3, Community Commercial District shall govern this PUD, except as herein modified, including conditional, special permit, special exception, alcohol beverage consumption requirements and/or accessory uses subject to their appropriate conditions and review procedures for public hearings where applicable, unless otherwise noted herein.

SECTION 9.0 SPECIAL CONDITIONS

The following special conditions shall be made a part of this PUD:

Permitted Use(s):

- Administrative and Professional Office (8300.1)
- Adult Day Care Facilities (8300.2)
- Alcoholic Beverage Retail Sales (8300.5)
- Animal Sales and Services: Grooming (8300.8)
- Animal Sales and Services: Kennels and Veterinary, Restricted (8300.11)
- Automotive: Parking Garages (8300.12)
- Automotive: Parking Lots, as a Principal Use (8300.13)
- Bingo Parlors (8300.22)
- Building Maintenance Services (8300.23)
- Business Support Services (8300.24)
- Child Care Centers (8300.25)
- Communication Services: Limited (8300.29)
- Community Recreation: General (8250.2)
- Community Recreation: Property Owners Association (8250.3)
- Community Recreation: Restricted (8250.4)
- Convenience Sales and Personal Services (8300.32)
- Cultural Exhibits (8250.5)
- Custom Manufacturing (8350.3)
- Dwelling Units and Mixed Uses (8200.2)
- Drinking Establishments: Sitdown, Alcohol Permitted (8300.33) (Subject to review and approval of a Special Permit)
- Eating Establishments: Drive-In (8300.34)
- Eating Establishments: Fast Food (8300.35)
- Eating establishments: Fast Food with Drive-thru Order Window (8300.36)
- Eating Establishments: Sitdown (8300.37)
- Eating Establishments: Sitdown, Alcohol Permitted (8300.38)
- Eating Establishments: Sitdown, Limited Alcohol Permitted (8300.39)
- Food and Beverage Retail Sales (8300.41)
- Gasoline Sales, Large (8300.45)
- Greenhouse (8150.6.3)
- Hoop House (8150.6.5)
- Laundry Services (8300.48)
- Library Services and Community Centers (8250.11)
- Light Public Protection and Utility: General (8250.12)
- Light Public Protection and Utility: Restricted (8250.13)
- Live/Work Units (8200.4)
- Lodging Accommodations: Bed and Breakfast (8300.49)
- Lodging Accommodations: Commercial Lodging (8300.51)

- Low Impact Institutional: Neighborhood Related (8250.14)
- Medical Services: General (8300.52)
- Medical Services: Restricted (8300.53)
- Moderate Impact Institutional (8250.15)
- Multiple-Family Residential (8200.12)
- Murals (8250.16)
- Participant Recreation and Entertainment: Indoor (8300.55)
- Participant Recreation and Entertainment: Outdoor (8300.56)
- Personal Services: General (8300.58)
- Personal Services: Restricted (8300.59)
- Repair Services: Consumer (8300.61)
- Research Services: Restricted (8300.62)
- Retail Sales and Services: General (8300.63)
- Senior Independent Living (8200.13)
- Single-Family Residential (8200.14)
- Spectator Sports and Entertainment: High Impact (8300.68) (This use is limited to accessory uses in conjunction with the Moderate Impact Use).
- Spectator Sports and Entertainment: Restricted (8300.69)
- Three- and Four-Family Residential (8200.15)
- Two Family Residential (8200.16)

9.1 FAÇADE REGULATIONS

Exterior building wall finish on all structures, exclusive of windows and doors, shall consist of a minimum 70% brick veneer, masonry, rock, stone, concrete, stucco, concrete-board, architectural metal or wood, or other similar type finish. A maximum of 30% EIFS (Exterior Insulation Finish System) material shall be permitted. Exposed non-architectural metal or exposed concrete block shall not be permitted. Buildings are permitted to be constructed of tilt-up concrete or colored split face block.

Buildings shall be oriented such that the backs of buildings are not facing towards any street.

Rooftop mechanical equipment shall be screened from view from the street.

9.2 LANDSCAPING REGULATIONS

The subject parcel shall meet all requirements of the City of Oklahoma City's Landscaping Ordinance in place at the time of development, except as otherwise noted.

A 25-foot open/green space shall be provided along the eastern boundary of this development as shown on the Conceptual Site Plan; driveways shall be permitted within this buffer. No additional buffer shall be required.

9.3 LIGHTING REGULATIONS

The site lighting in this PUD shall be in accordance with Chapter 59, Article XII, Section 59-12350 of the Oklahoma City Municipal Code, (2020), as amended.

To minimize light spillover on residential uses, outdoor lights within any office, institutional or commercial tracts or uses will be directed away from any adjacent residential properties. To accomplish this, lights shall utilize shields, shades, or other appropriate methods of directing light beams.

Sports field lighting shall be permitted in association with the Moderate Impact Use and accessory uses. These light fixtures shall be at least 25 feet from any property line and will meet the requirements listed above.

9.4 SCREENING REGULATIONS

There shall be no screening requirements for this development. A 25-foot open/green space shall be provided along the eastern boundary of this development as shown on the Conceptual Site Plan; driveways shall be permitted within this buffer.

9.5 PLATTING REGULATIONS

Platting shall not be required.

9.6 DRAINAGE REGULATIONS

Development of this parcel will comply with Chapter 16 of the Oklahoma City Municipal Code, (2020), as amended.

9.7 DUMPSTER REGULATIONS

Dumpsters shall be located within an area screened by a fence or masonry wall of sufficient height that screens the dumpster from public streets.

9.8 ACCESS REGULATIONS

There shall be 4 access points from East Wilshire Boulevard, 1 access point from Musgrave Boulevard and 1 access point from NE 82nd Street in this PUD.

Driveways within and adjacent to this tract/parcel shall have a minimum of two hundred (200) feet of separation from driveway centerline to driveway centerline and shall meet all City design standards.

Streets or driveways on adjacent property within two hundred (200) feet of this Planned Unit Development shall be shown on the Conceptual Site Plan.

A pedestrian system shall be organized and shown in the PUD Conceptual Site Plan to provide adequate and continuous safe pedestrian circulation within the development by defining walkways and distinguishing areas of foot traffic from vehicular movements. Pedestrian connections with adjacent sidewalks and public transportation stops shall be shown.

9.9 PARKING REGULATIONS

The design and number of all parking facilities in this PUD shall be in accordance with Chapter 59, Article X of the Oklahoma City Municipal Code, 2020, as amended.

9.10 SIGNAGE REGULATIONS

9.10.1 ACCESSORY SIGNS

Accessory signs will be in accordance with the base zoning district regulations.

9.10.2 NON-ACCESSORY SIGNS

Non-Accessory signs shall not be permitted in this PUD.

9.10.3 ELECTRONIC MESSAGE DISPLAY SIGNS (EMD'S)

Electronic Message Display signs will be in accordance with the base zoning district regulations.

9.11 ROOFING REGULATIONS

All structures in this PUD shall have Class C roofing or better.

9.12 SIDEWALK REGULATIONS

Five (5) foot sidewalks shall be constructed on the arterial street or six (6) foot sidewalks shall be required if the sidewalk is constructed adjacent to the curb, subject to the policies and procedures of the Public Works Department. Four (4) foot sidewalks shall be constructed on the interior streets prior to any occupancy certificates being issued.

Interior pedestrian pathways are made part of this Planned Unit Development and shall connect residential tracts to adjacent the subject site as shown on the Conceptual Site Plan or subsequent Specific Plans, as required by Section 9.18.

9.13 HEIGHT REGULATIONS

The maximum building height for structures within this PUD shall be 100 feet, excluding architectural elements.

9.14 SETBACK REGULATIONS

Yard requirements in this PUD shall be:

Front: 25 feet

Side: 15 Feet

Rear: 15 Feet

The following uses shall not be permitted within 150 feet of residentially zoned or used property:

Convenience Sales and Personal Services (8300.32).

Eating Establishments: Drive-In (8300.34).

Eating Establishments: Fast Food with Drive-Through Order Windows (8300.36).

9.15 PUBLIC IMPROVEMENTS

Public improvements shall be made by the developer throughout the PUD as required by the City of Oklahoma City Public Works Department or other City, County, or State Department or agency. All Local, State, and Federal ordinances as they shall apply to the site will be adhered to fully.

9.16 COMMON AREAS

Maintenance of the common areas in the development shall be the responsibility of the property owner or Property Owners Association. No structures, storage of material, grading, fill, or other obstructions, including fences, either temporary or permanent, that shall cause a blockage of flow or an adverse effect on the functioning of the storm water facility, shall be placed within the common areas intended for the use of conveyance of storm water, and/or drainage easements shown. Certain amenities such as, but not limited to, walks, benches, piers, and docks, shall be permitted if installed in a manner to meet the requirements specified above.

9.17 GENERAL DESIGN AND DEVELOPMENT GUIDELINES

Specific information and plans for General Design and Development Guidelines as contained in Chapter 59 Section 14200.4 for density, amenities, relationship to abutting uses, site design, safety, and circulation systems shall be required at the Specific Plan stage, except for uses associated with the Moderate Impact Institution use.

9.18 SPECIFIC PLAN

No building permits shall be issued in this PUD until a Specific Plan, including all items listed in Section 59-14150C of the Oklahoma City Municipal Code, 2020, as amended shall have been approved by the Planning Commission.

However, a Specific Plan shall not be required for the Moderate Impact Institutional use and associated accessory uses.

10.0 DEVELOPMENT SEQUENCE

Developmental phasing shall be allowed as a part of the development of this PUD.

11.0 EXHIBITS

The following exhibits are hereby attached and incorporated into this PUD. These exhibits are:

Exhibit A - Legal Description

Exhibit B - Topography Map

Exhibit C - Conceptual Site Plan

Exhibit D – Conceptual Traffic Circulation Plan

LEGAL DESCRIPTION

A tract of land being a part of the southwest quarter and the southeast quarter of Section 34 Township 13 North, Range 3 West of the Indian Meridian, Oklahoma City, Oklahoma County, Oklahoma, being more particularly described as:

COMMENCING at the southwest corner of said southwest quarter;

THENCE North 89°49'20" East, along and with the south line of said southwest quarter, a distance of 158.00 feet;

THENCE North 00°09'17" West, a distance of 60.00 feet to the POINT OF BEGINNING;

THENCE along and with the east right-of-way line of Broadway Extension the following fourteen (14) calls:

1. North 45°09'59" West, a distance of 70.70 feet;
2. North 00°09'17" West, a distance of 243.00 feet;
3. South 89°49'20" West, a distance of 25.00 feet;
4. North 00°09'17" West, a distance of 175.00 feet;
5. South 89°49'20" West, a distance of 12.50 feet;
6. North 00°09'17" West, a distance of 715.00 feet;
7. North 89°49'20" East, a distance of 6.56 feet;
8. North 00°09'17" West, a distance of 165.00 feet;
9. North 89°49'20" East, a distance of 12.34 feet;
10. North 00°09'17" West, a distance of 32.54 feet;
11. South 89°51'42" West, a distance of 16.40 feet;
12. North 00°09'17" West, a distance of 252.85 feet;
13. North 89°51'42" East, a distance of 9.84 feet;
14. North 00°09'17" West, a distance of 132.59 feet;

THENCE North 89°49'20" East, departing said right-of-way line, a distance of 1,600.16 feet;

THENCE North 00°09'17" West, a distance of 806.94 feet to a point on the north line of said southwest quarter;

THENCE North 89°41'29" East, along and with the north line of said southwest quarter, a distance of 951.73 feet to the northeast corner of said southwest quarter;

THENCE South 00°31'47" East, along and with the east line of said southwest quarter, a distance of 1,135.80 feet;

THENCE South 89°49'20" West, departing said east line, a distance of 49.14 feet;

THENCE South 00°09'17" East, a distance of 166.50 feet;

THENCE North 89°49'20" East, a distance of 50.23 feet to a point on the east line of said southwest quarter;

THENCE South 00°31'47" East, along and with the east line of said southwest quarter, a distance of 463.52 feet to the northwest corner of Lot 7, Block 24 as shown on said plat REPLAT OF BLOCK 24 OF MUSGRAVE'S GOLD MEDAL HILLS ADDITION;

THENCE North 89°50'43" East (North 89°59' East record), along and with the north line of said Lot 7, Block 24 as shown on said plat REPLAT OF BLOCK 24 OF MUSGRAVE'S GOLD MEDAL HILLS ADDITION, a distance of 120.02 feet (120.05 feet record);

THENCE continuing along and with the north line of said Lot 7, Block 24 as shown on said plat REPLAT OF BLOCK 24 OF MUSGRAVE'S GOLD MEDAL HILLS ADDITION on a curve to the left having a radius of 433.91 feet, a chord bearing of North 67°21'13" East, a chord length of 331.98 feet and an arc length of 340.67 feet;

THENCE North 44°51'43" East (North 45°00' East record), continuing along and with the north line of said Lot 7, Block 24 as shown on said plat REPLAT OF BLOCK 24 OF MUSGRAVE'S GOLD MEDAL HILLS ADDITION, a distance of 18.00 feet to the northeast corner of said Lot 7, Block 24 as shown on said plat REPLAT OF BLOCK 24 OF MUSGRAVE'S GOLD MEDAL HILLS ADDITION;

THENCE South 45°08'17" East (South 45°00' East record), along and with the east line of said Lot 7, Block 24 as shown on said plat REPLAT OF BLOCK 24 OF MUSGRAVE'S GOLD MEDAL HILLS ADDITION, a distance of 362.00 feet;

THENCE continuing along and with the east line of said Lot 7, Block 24 as shown on said plat REPLAT OF BLOCK 24 OF MUSGRAVE'S GOLD MEDAL HILLS ADDITION on a curve to the right having a radius of 18.00 feet, a chord bearing of South 00°08'17" East, a chord length of 25.46 feet and an arc length of 28.27 feet;

THENCE continuing along and with the east line of said Lot 7, Block 24 as shown on said plat REPLAT OF BLOCK 24 OF MUSGRAVE'S GOLD MEDAL HILLS ADDITION on a reverse curve to the left having a radius of 489.46 feet, a chord bearing of South 22°21'13" West, a chord length of 374.75 feet and an arc length of 384.56 feet;

THENCE South 00°09'17" East (South 00°01' East record), continuing along and with the east line of said Lot 7, Block 24 as shown on said plat REPLAT OF BLOCK 24 OF MUSGRAVE'S GOLD MEDAL HILLS ADDITION, a distance of 80.00 feet to the southeast corner of said Lot 7, Block 24 as shown on said plat REPLAT OF BLOCK 24 OF MUSGRAVE'S GOLD MEDAL HILLS ADDITION;

THENCE South 89°50'43" West (South 89°59' West record), along and with the south line of said Lot 7, Block 24 as shown on said plat REPLAT OF BLOCK 24 OF MUSGRAVE'S GOLD MEDAL HILLS ADDITION, a distance of 548.19 feet to a point on the west line of said southeast quarter;

THENCE South 00°31'47" East, along and with the west line of said southeast quarter, a distance of 268.33 feet to a point 33.00 feet north of the south line of said southwest quarter;

THENCE South 89°49'20" West, parallel with and 33.00 feet north of the south line of said

southwest quarter, a distance of 1,048.75 feet;

THENCE North 00°09'17" West, a distance of 7.00 feet;

THENCE South 89°49'20" West, parallel with and 40.00 feet north of the south line of said southwest quarter, a distance of 100.00 feet;

THENCE South 00°09'17" East, a distance of 7.00 feet;

THENCE South 89°49'20" West, parallel with and 33.00 feet north of the south line of said southwest quarter, a distance of 410.00 feet;

THENCE North 00°09'17" West, a distance of 27.00 feet;

THENCE South 89°49'20" West, parallel with and 60.00 feet north of the south line of said southwest quarter, a distance of 935.00 feet to the POINT OF BEGINNING.

LESS AND EXCEPT:

A tract of land being a part of the southwest quarter of Section 34, Township 13 North, Range 3 West of the Indian Meridian, Oklahoma County, Oklahoma, and being all of Blocks 10 and 11 and a portion of Block 12 as shown on the plat of ADELE HEIGHTS recorded in Book 7 of plats, Page 76 and the north half of N.E. 82nd Street (platted Jackson Avenue) as shown on said plat ADELE HEIGHTS and as shown on the plat NORTH BROADWAY HEIGHTS recorded in Book 7 of Plats, page 66 from the east right-of-way line of the Broadway Extension to the centerline of Walnut Avenue as shown on said plat NORTH BROADWAY HEIGHTS, being more particularly described as follows:

COMMENCING at the southwest corner of said southwest quarter;

THENCE North 00°09'17" West, along and with the west line of said southwest quarter, a distance of 1408.00 feet to the centerline of N.E. 82nd Street (platted Jackson Avenue);

THENCE North 89°49'20" East, along and with the centerline of N.E. 82nd Street (platted Jackson Avenue), a distance of 89.40 feet to a point on the East right-of-way line of the Broadway Extension, said point being the POINT OF BEGINNING;

THENCE along and with the east right-of-way line of the Broadway Extension the following five (5) calls:

1. North 00°09'17" West, a distance of 32.54 feet;
2. South 89°51'42" West, a distance of 16.40 feet;
3. North 00°09'17" West, a distance of 252.85 feet;
4. North 89°51'42" East, a distance of 9.84 feet;
5. North 00°09'17" West, a distance of 132.59 feet to a point on the north line of said Block 12;

THENCE North 89°49'20" East, along and with the north line of said Blocks 12 through 10, a distance of 1600.16 feet to the northeast corner of said Block 10;

THENCE South 00°09'17" East, along and with the east line extended of said Block 10, a distance of 417.98 feet to the centerline of said N.E. 82nd Street (platted Jackson Avenue);

THENCE South 89°49'20" West, along and with the centerline of said N.E. 82nd Street (platted Jackson Avenue), a distance of 1593.60 feet to the POINT OF BEGINNING.

AND LESS AND EXCEPT

A tract of land being a part of the southwest quarter of Section 34, Township 13 North, Range 3 West of the Indian Meridian, Oklahoma City, Oklahoma County, Oklahoma, being more particularly described as:

Commencing at the southwest corner of said southwest quarter;

THENCE North 89°49'20" East, along and with the south line of said southwest quarter, a distance of 158.00 feet;

THENCE North 00°09'17" West, a distance of 60.00 feet to a point on the east right-of-way line of Broadway Extension and the north right-of-way line of Wilshire Boulevard, said point being the POINT OF BEGINNING;

THENCE along and with the east right-of-way line of Broadway Extension the following eight (8) calls:

1. North 45°09'59" West, a distance of 70.70 feet;
2. North 00°09'17" West, a distance of 243.00 feet;
3. South 89°49'20" West, a distance of 25.00 feet;
4. North 00°09'17" West, a distance of 175.00 feet;
5. South 89°49'20" West, a distance of 12.50 feet;
6. North 00°09'17" West, distance of 715.00 feet;
7. North 89°49'20" East, a distance of 6.56 feet;
8. North 00°09'17" West, a distance of 165.00 feet to a point on the extended south line of the recorded plat 9000 BROADWAY;

THENCE North 89°49'20" East, along and with the south line extended of said plat 9000 BROADWAY, a distance of 1,605.94 feet to the southeast corner of said plat 9000 BROADWAY and a point on the centerline of vacated Walnut Avenue as shown on the vacated plat NORTH BROADWAY HEIGHTS;

THENCE South 00°09'17" East, departing said south line, along and with the centerline of said vacated WALNUT AVENUE, a distance of 1,375.00 feet to the north right-of-way line of Wilshire Boulevard;

THENCE along and with the north right-of-way line of Wilshire Boulevard the following seven (7) calls:

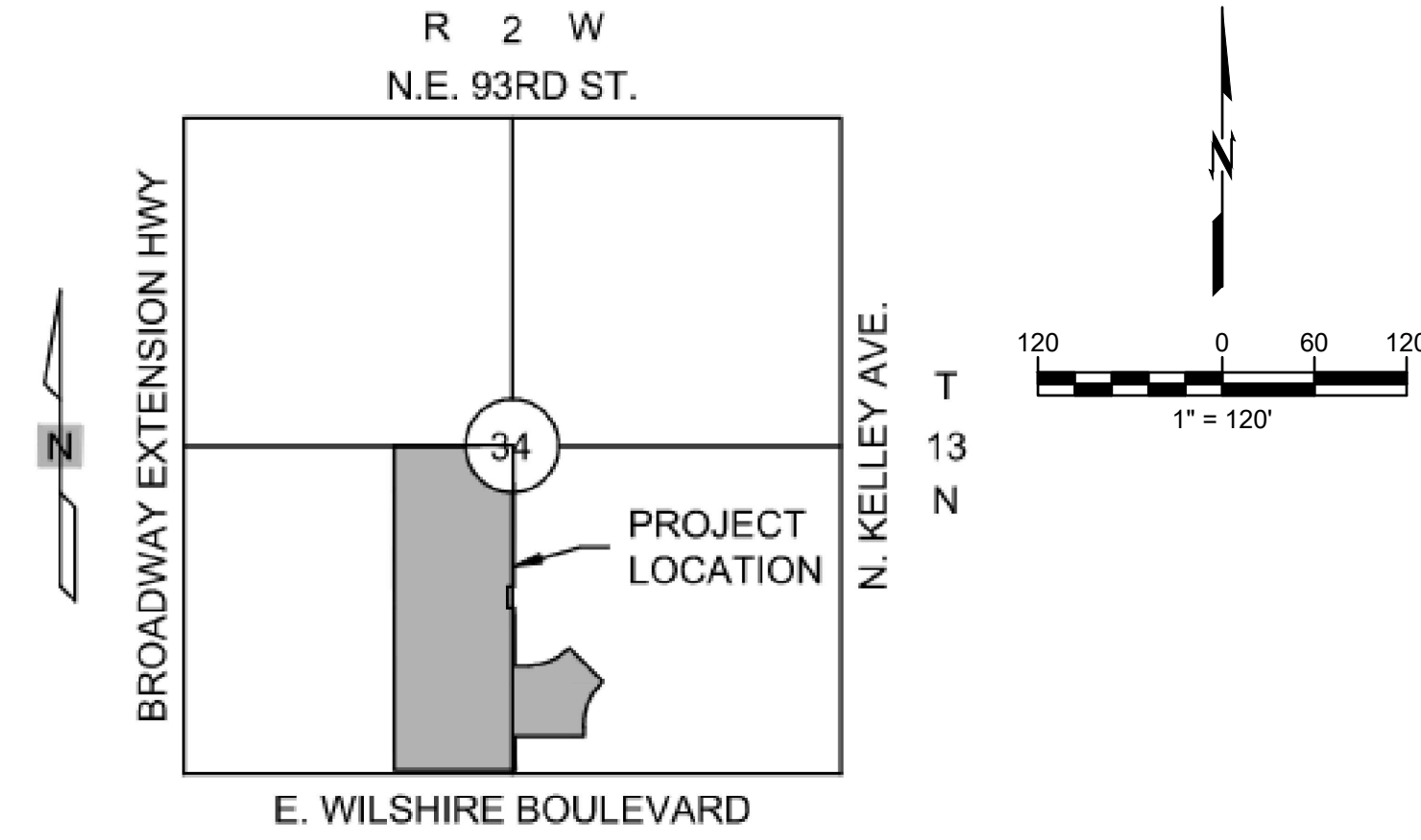
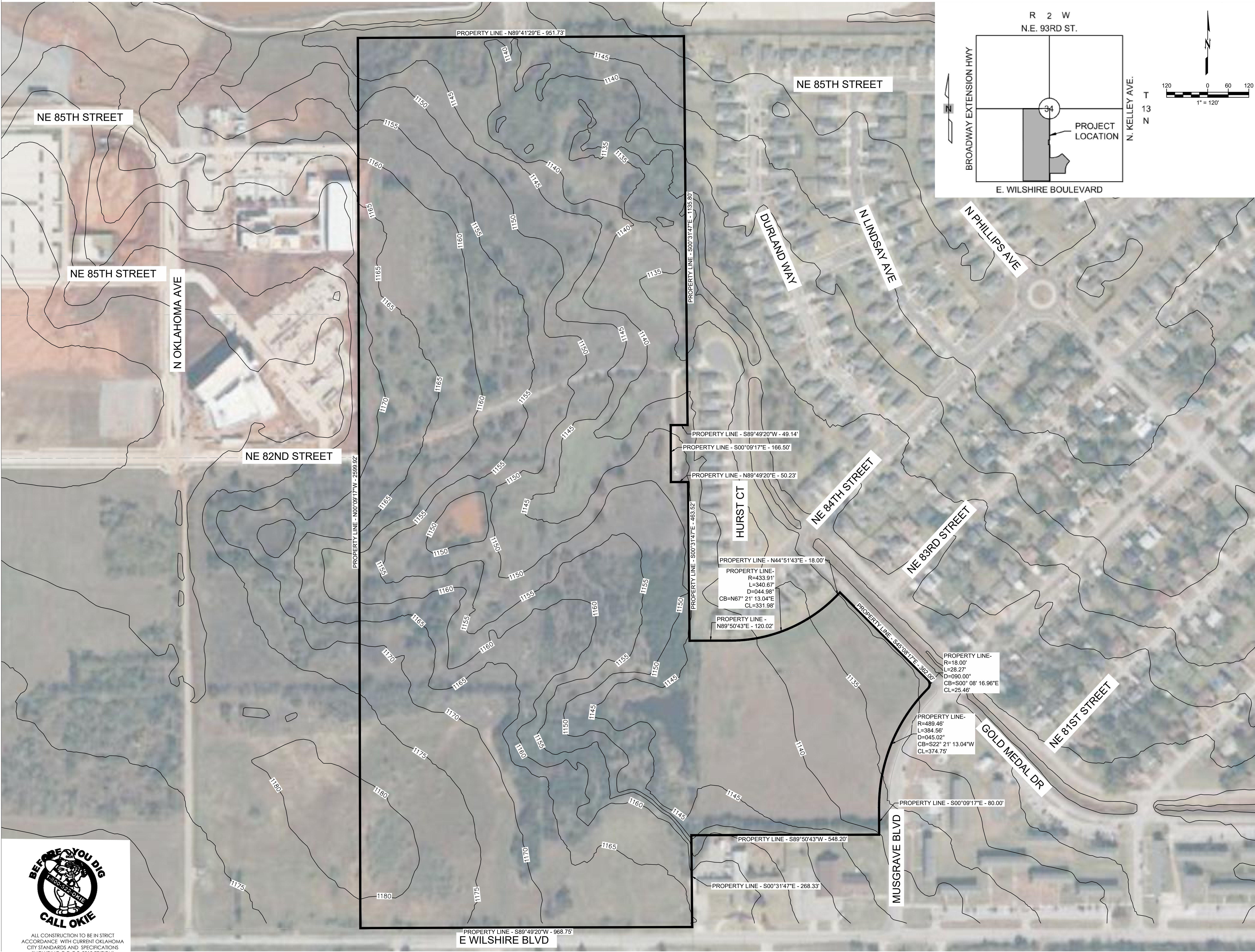
1. South 89°49'20" West, a distance of 80.00 feet;
2. North 00°09'17" West, a distance of 7.00 feet;

3. South $89^{\circ}49'20''$ West, a distance of 100.00 feet;
4. South $00^{\circ}09'17''$ East, a distance of 7.00 feet;
5. South $89^{\circ}49'20''$ West, a distance of 410.00 feet;
6. North $00^{\circ}09'17''$ West, a distance of 27.00 feet;
7. South $89^{\circ}49'20''$ West, a distance of 935.00 feet to the POINT OF BEGINNING.

\\Cvii-Server\Projects\2240430 OKC PS Belle Isle Enterprise High School\Drawings\TOPO Exhibit.dwg PLOT: 9/25/2023 1:24:41 PM ORIG SIZE: 24"x36"



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oklahoma ca #1460 exp 6/30/25

OKCPS - OKCPS Belle Isle Enterprise HS

E Wilshire Boulevard

EXHIBIT B TOPOGRAPHY MAP

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GH2 PROJECT NUMBER:
20220089.02

ISSUE DATE:
TBD

ISSUE:
CONCEPT/ SCHEMATIC DESIGN

OTHER ISSUE DATES:
NO. DESCRIPTION DATE

SHEET NAME:
TOPOGRAPHY MAP

SHEET NUMBER:

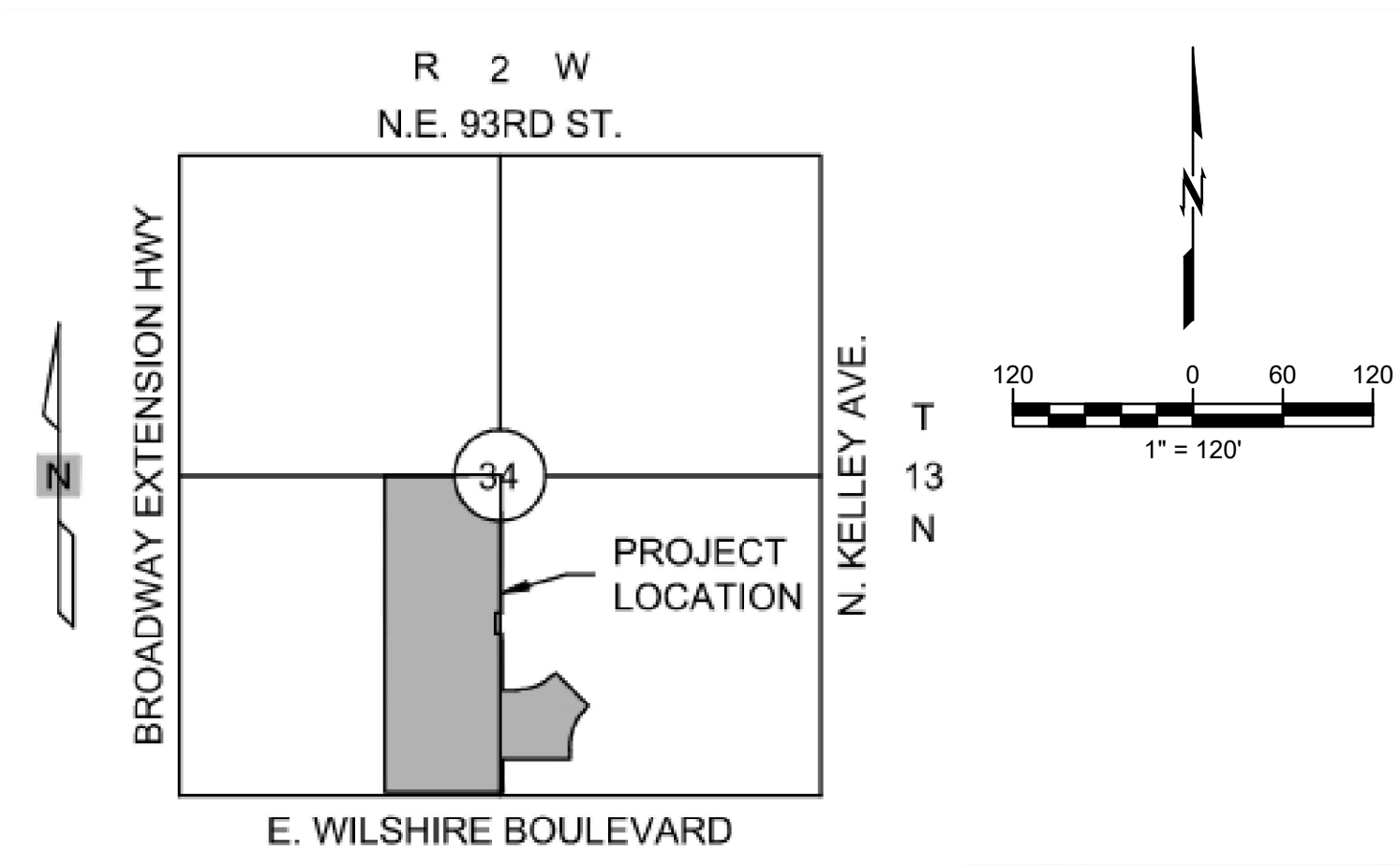
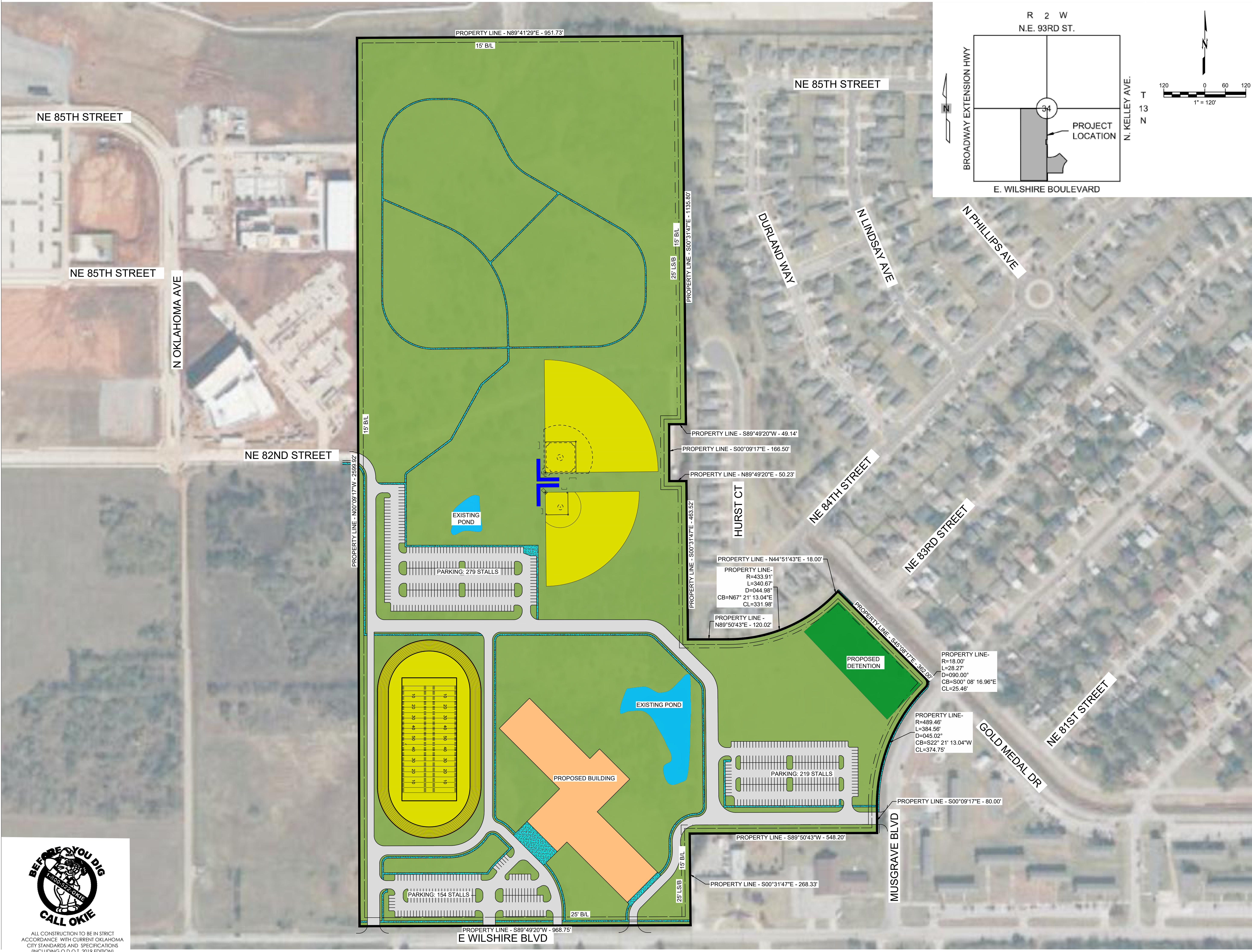
EXHIBIT B

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OKCPS - OKCPS Belle Isle Enterprise HS
E Wilshire Boulevard
EXHIBIT C
CONCEPTUAL SITE PLAN

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ISSUE:
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CONCEPTUAL SITE PLAN
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NE 82ND STREET

PARENT DROP OFF ROUTE

PROPERTY LINE - N00°09'17"W - 2599.92'

10	20	30	40	50	40	30	20	10
10	20	30	40	50	40	30	20	10

PARENT DROP OFF

E WILSHIRE BLVD

PROPERTY LINE - S89°49'20"W - 968.75'

PROPOSED BUILDING

BUS DROP OFF ROUTE

PROPERTY LINE - S00°31'47"E - 268.33'

BUS DROP OFF

PROPERTY LINE - S89°49'20"W - 49.14'

PROPERTY LINE - S00°09'17"E - 166.50'

PROPERTY LINE - N89°49'20"E - 50.23'

HURST CT

PROPERTY LINE - N44°51'43"E - 18.00'

PROPERTY LINE-
R=433.91'
L=340.67'
D=044.98°
CB=N67° 21' 13.04"E
CL=331.98'

PROPERTY LINE -
N89°50'43"E - 120.02'

R 2 W
N.E. 93RD ST.

BROADWAY EXTENSION HWY

PROJECT LOCATION

E. WILSHIRE BOULEVARD

N. KELLEY AVE.

T 13 Z

80 0 40 80
1" = 80'

NE 84TH STREET

NE 83RD STREET

GOLD MEDAL L

PROPERTY LINE - S45°08'17"E - 362.00'

PROPERTY LINE-
R=18.00'
L=28.27'
D=090.00°
CB=S00° 08' 16.96"E
CL=25.46'

PROPERTY LINE-
R=489.46'
L=384.56'
D=045.02°
CB=S22° 21' 13.04"W
CL=374.75'

PROPERTY LINE - S00°09'17"E - 80.00'

MUSGRAVE BLVD

PROPERTY LINE - S89°50'43"W - 548.20'

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Isle Enterprise HS
E Wilshire Boulevard

EXHIBIT D
CONCEPTUAL TRAFFIC CIRCULATION PLAN

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20220089.02

ISSUE DATE:

TBD

ISSUE:

**CONCEPT/ SCHEMATIC
DESIGN**

OTHER ISSUE DATES:

NO. DESCRIPTION DATE

SHEET NAME:

**CONCEPTUAL
TRAFFIC
CIRCULATION PLAN**

SHEET NUMBER:

EXHIBIT D

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