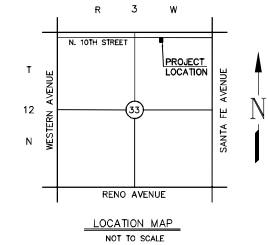




HARVEY AVENUE

MCCLURE'S ADDITION
BLOCK 3

TURNERS SUBDIVISION
OF MCCLURE'S
ADDITION
BLOCK 3



SURVEYOR'S CERTIFICATE

April 7, 2009

I, Shaun Christopher Axton, a Registered Professional Land Surveyor, do hereby certify to the above parties, as of the date set forth above that I or others under my direct supervision, have made a careful survey of a portion of the tract of land described as follows:

A tract of land lying in the Southeast (NE 1/4) Quarter of Section Thirty-three (33), Township Twelve North (12N), Range Three West (3W) of the Indian Meridian, Oklahoma County, Oklahoma, being described as follows:

Lot ONE (1) of Block THREE (3) in MCCLURE'S ADDITION to Oklahoma City, Oklahoma County, Oklahoma, according to the recorded plat thereof.

Said tract of land contains an area of 26,658 square feet or 0.6120 acres, more or less.

AND

Lots FIVE (5) through NINE (9) and the West 12.5 feet of Lot TEN, in FLORENCE ADDITION to Oklahoma City, Oklahoma County, Oklahoma, according to the recorded plat thereof.

Said tract of land contains an area of 21,128 square feet or 0.4850 acres, more or less.

I further certify that this survey meets the Oklahoma Minimum Standards for the Practice of Land Surveying as adopted by the Oklahoma State Board of Registration for Professional Engineers and Land Surveyors.

Shaun Christopher Axton, P.L.S. 1484

Date

Notes:

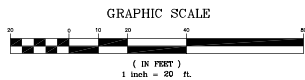
- The bearing of South 88°21'56" East as shown on the South Line of Lots 5-10 was used as the basis of bearing for this survey.
- A current title commitment, indicating applicable easements, has not been provided to us; therefore all easements may not be shown hereon.
- This survey was performed in order to provide additional topographic information for a portion of a previous survey. Some of which has changed since the original survey. Please see survey project No. 2114-2, dated March 25, 2007 for the complete survey.

Utility Statement

The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.

LEGEND

- | | | | |
|--|-------------------------|--|-------------------------------------|
| | - AIR CONDITIONING UNIT | | - PULL BOX |
| | - CLEAN OUT | | - POWER POLE |
| | - ELECTRIC MANHOLE | | - POWER POLE W/ UNDERGROUND SERVICE |
| | - ELECTRIC RISER | | - SPRINKLER HEAD |
| | - FIRE DEPT. CONNECTION | | - SPRINKLER VALVE |
| | - FIRE HYDRANT | | - SANITARY SEWER MANHOLE |
| | - FUEL FILLER POINT | | - STORM SEWER MANHOLE |
| | - GAS METER | | - SIGN |
| | - GUARD POST | | - TELEPHONE MANHOLE |
| | - GAS VALVE | | - TELEPHONE RISER |
| | - GAS WIRE | | - TELEPHONE UNDERGROUND |
| | - INLET | | - TRAFFIC SIGNAL LIGHT |
| | - LIGHT POLE | | - VENT |
| | - MONITORING WELL | | - WATER METER |
| | - MAIL BOX | | - WATER VAULT |
| | - MARKER | | - WATER VALVE |
| | - ROOF DRAIN | | - FRENCH DRAIN |
| | - GROUND LIGHT | | - BOLLARD LIGHT |
-
- | | |
|--|-----------------------|
| | - ELECTRIC LINE |
| | - SANITARY SEWER LINE |
| | - WATER LINE |
| | - FENCE |
| | - OVERHEAD LINE |
| | - STORM SEWER LINE |
| | - FIBER OPTIC LINE |
| | - GAS LINE |
| | - COMMUNICATION LINE |



N.E. 10TH STREET

ROBINSON AVENUE

215 N.W. 10th Street Topographic Survey

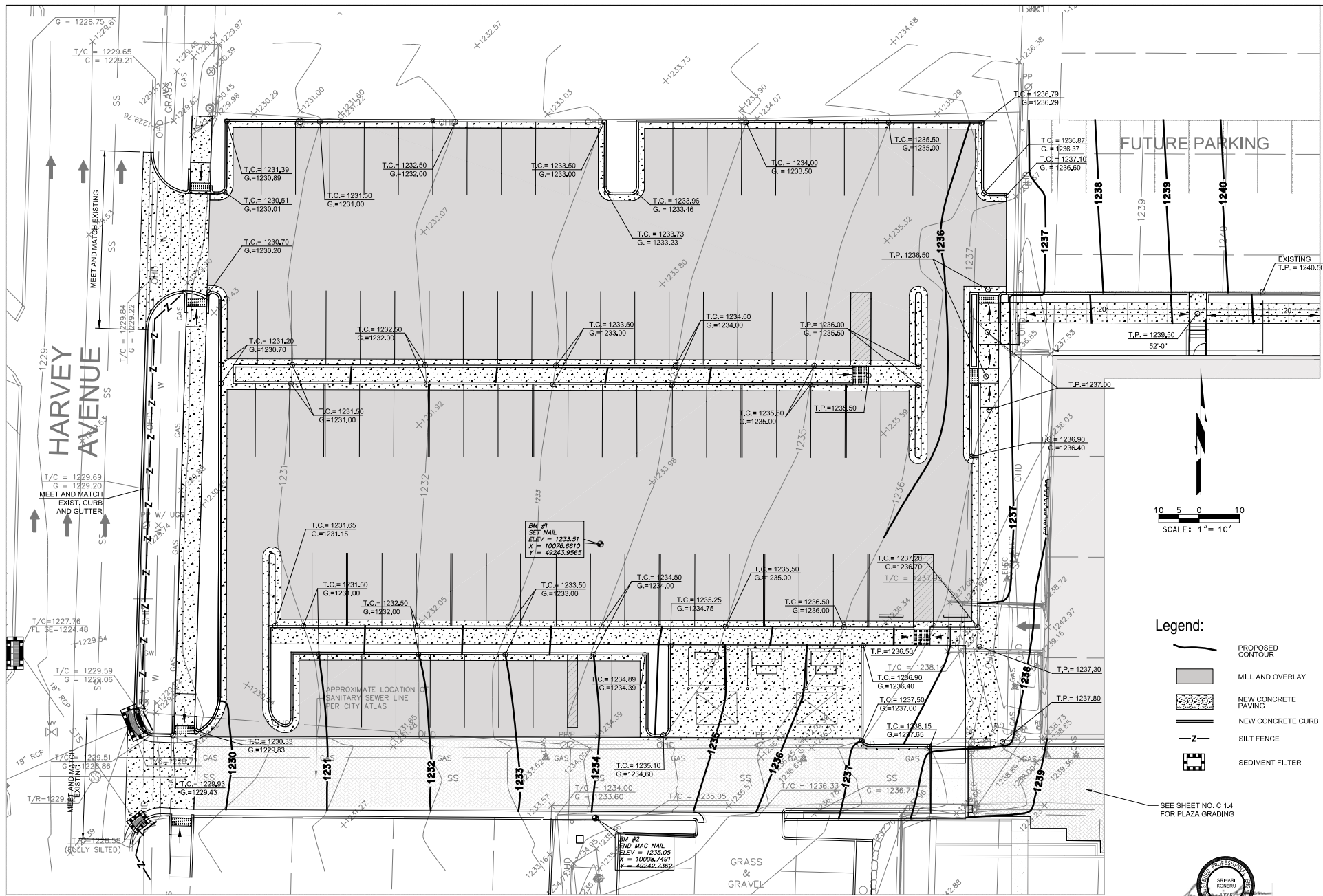
10001 S. Pennsylvania, Building P, Suite 170 - Oklahoma City, OK 73169
405.681.3235 voice - 405.237.5863 fax - axton@psa.net
Certificate of Authorization No. 3045 - Expires June 30, 2009
All rights reserved under copyright.

Project No: 2114-3
Drawn By: MMB
DWG File: 2114-3.dwg

Date: 4/7/09
Party Chief: JDR
Revisions:

Scale: 1"=20'



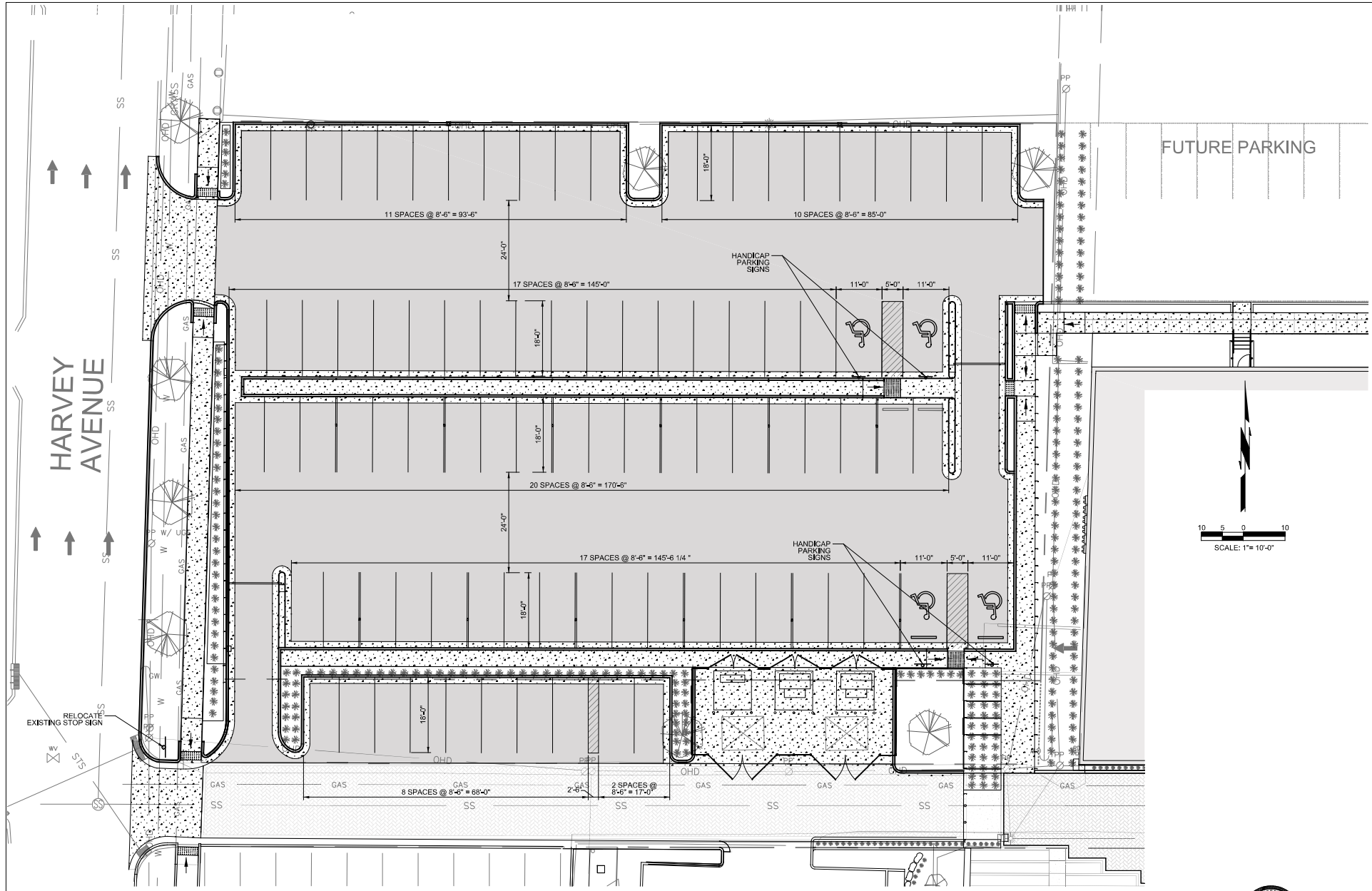


GRADING AND EROSION CONTROL



12/13/2011





SIGNING AND STRIPING



12/13/2011

PITZSIMMONS ARCHITECT
2721 N Walker
Oklahoma City, OK 73103
405.209.3913
F. 405.209.4044

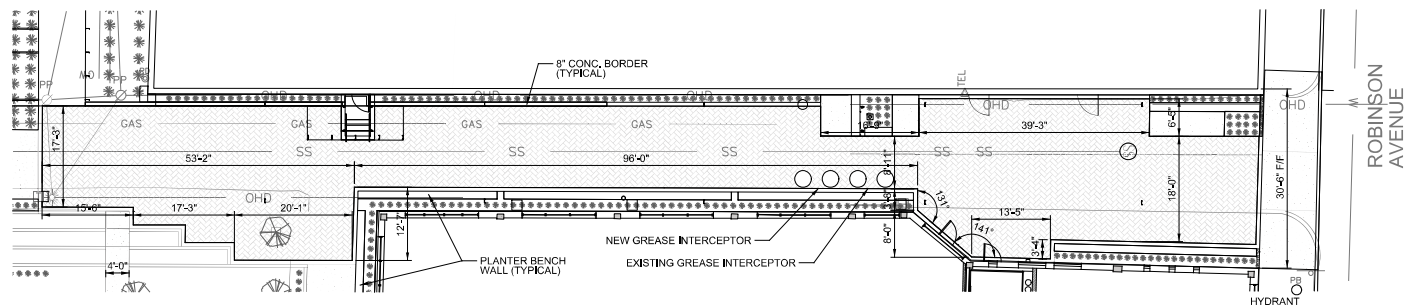
GUARDIAN
1117 ROBINSON AVENUE
OKLAHOMA CITY, OK 73103

Koneru Consulting Services, PLLC
9500 Westgate Road, Suite 100
Oklahoma City, OK 73122
Tel: 405.424.0760
C.O.A. No. 5116, RENEWAL DATE: 06-30-13

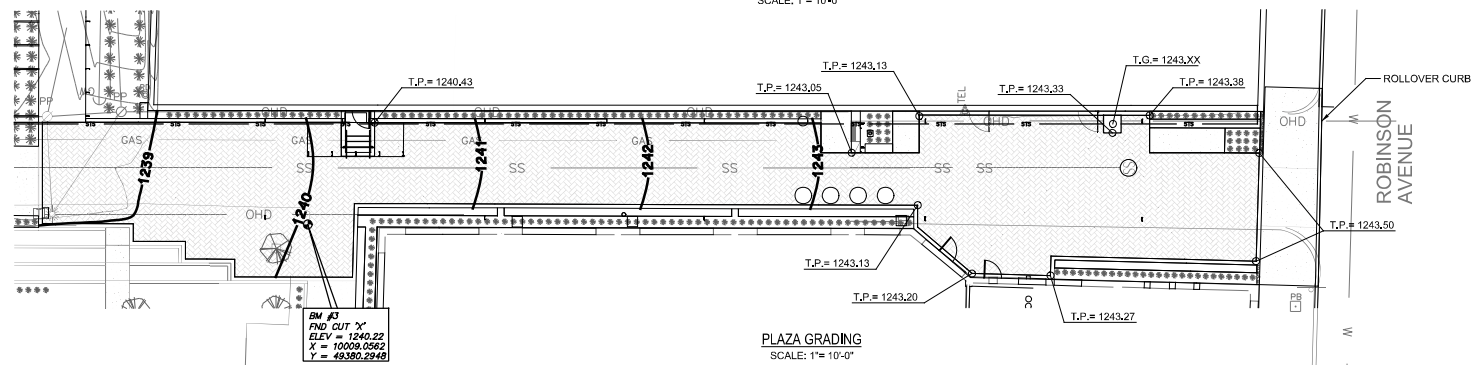
**WEST PARKING LOT
SIGNING
AND STRIPING**

BUILDING PERMIT
REVIEW
DATE: 12-13-2011
SHEET NO.

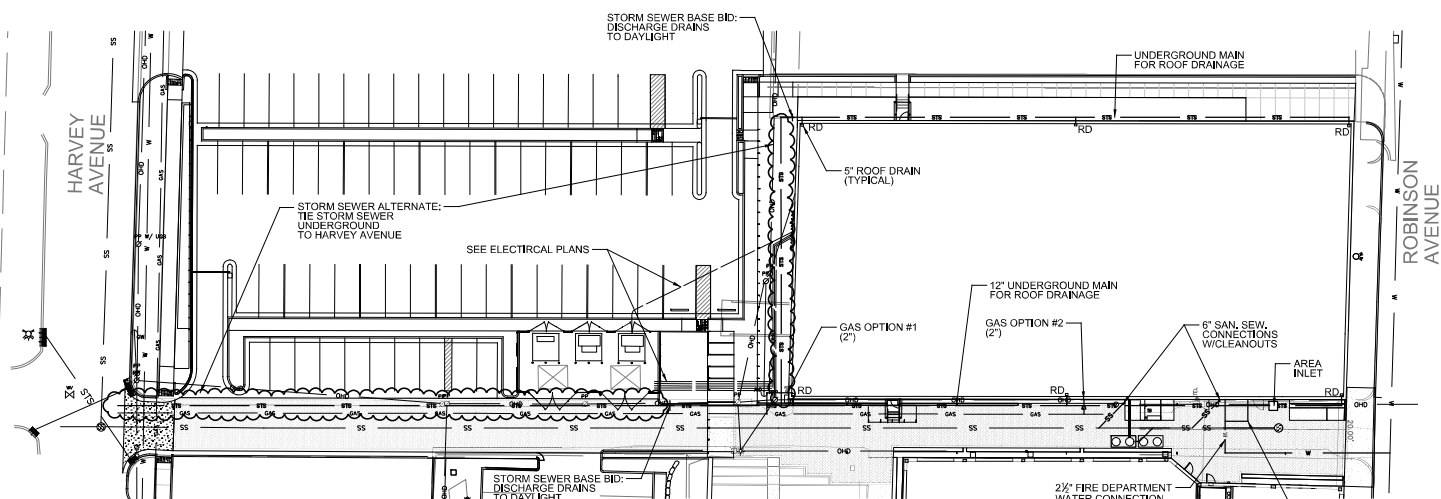
C 1.3



PLAZA PLAN
SCALE: 1"= 10'-0"



PLAZA GRADING
SCALE: 1"= 10'-0"



PLAZA UTILITY PLAN
SCALE: 1"= 20'-0"

Legend:

- PROPOSED CONTOUR
- BRICK PAVERS WITH 8" CONCRETE EDGE

PROPOSED UTILITIES

- OVERHEAD ELECTRIC
- GAS LINE
- SANITARY SEWER
- STORM SEWER
- WATER LINE

EXISTING UTILITIES

- OVERHEAD ELECTRIC
- GAS LINE
- SANITARY SEWER
- STORM SEWER
- WATER LINE









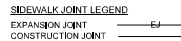
12/13/2011





P.C. CONCRETE JOINT LEGEND

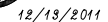
THICKENED EDGE ABUTTING EXIST. OR NEW STRUCTURE		LONGITUDINAL CONSTRUCTION JOINT	
REINFORCED PANEL (PANEL SHALL HAVE #4 AT 16" O.C. EACH WAY) (REINFORCING STEEL SHALL NOT EXTEND ACROSS JOINTS)		TRANSVERSE CONTRACTION JOINT	
		THICKENED EDGE ABUTTING A.C. PAVEMENT	
		JOINT TIED CONSTRUCTION JOINT	



TYPICAL CONCRETE SIDEWALK LAYOUT
NO SCALE

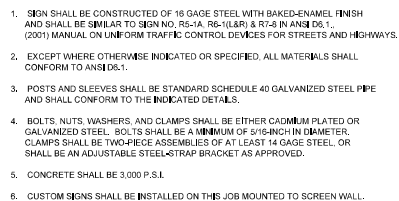


ASPHALT CONCRETE PAVING SECTION
WITH CONCRETE CURB & GUTTER
NO SCALE





TYPICAL SECTION
PAVING CUT AND PERMANENT REPAIR
N.T.S.



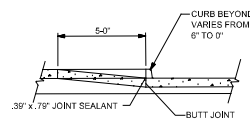
SIGN MOUNTING DETAIL
N.T.S.



1. ALL STRIPING SHALL BE 4" WIDE.
2. DIAGONAL STRIPING SHALL HAVE A 12" SPACE BETWEEN STRIPES.
3. PAINT SHALL CONFORM TO ES-TT-P-115 (REV. F) PAINT TRAFFIC, (HIGHWAY, WHITE OR YELLOW).
4. SEE SHEET C1.3 FOR PARKING SPACE DIMENSIONS.

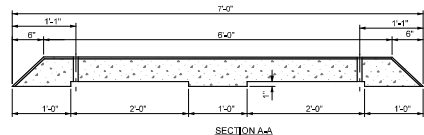
GENERAL NOTES

1. SURFACE TEXTURE OF RAMP & SIDE FLARE SHALL BE OBTAINED BY HEAVY BROOMING, TRANSVERSE TO SLOPE.
2. ALL RAMPS SHALL CONFORM TO A 1:12 SLOPE MAXIMUM
3. CONSTRUCTION JOINTS ARE NOT SHOWN FOR CLARITY
4. SEE UNIFORM FEDERAL ACCESSIBILITY STANDARDS AND ADA GUIDELINES FOR COMPLETE HANDICAPPED CRITERIA.

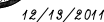
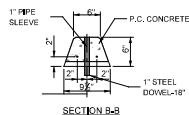


SECTION A-A
NO SCALE

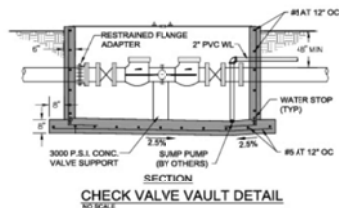
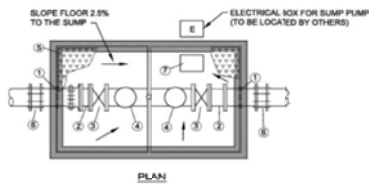
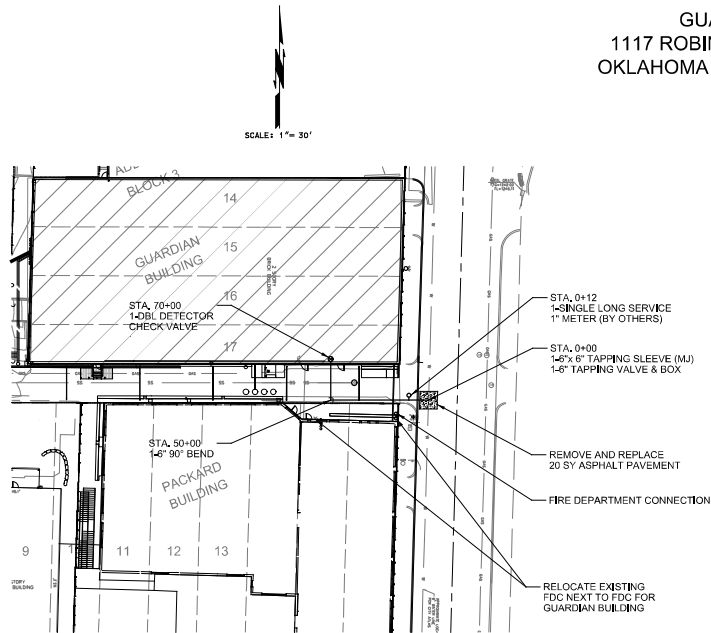
DISABLED ACCESS LAYOUT
NO SCALE



REMOVABLE CURB DETAIL
N.T.S.



PROJECT No. WD-
PLANS FOR
GUARDIAN
1117 ROBINSON AVENUE
OKLAHOMA CITY, OK. 73103



PIPING PLAN

1. 6" WALL PIPE
2. 6" DUCTILE IRON SPOOL
3. 6" GATE VALVE WITH HAND WHEEL - MULLER OR APPROVED EQUAL
4. 6" DOUBLE CHECK VALVE
5. 5W x 7L x 6T CONCRETE BOX WITH ALUMINUM DOUBLE LEAF HINGED COVER - DAINWORTH OR APPROVED EQUAL
6. 6" RESTRAINED MJ COUPLING
7. SUMP PUMP (BY OTHERS)

NOTES

1. ALL PIPING TO BE PRESSURE CLASS 250 DUCTILE IRON PIPE UNLESS OTHERWISE NOTED.
2. ALL BOXES SHALL HAVE 8" ODDT TYPE "X" AGGREGATE BASE OVER 8" COMPACTED FILL 90% STANDARD PROCTOR WITH GEOTEXTILE.
3. TOP OF ALL BOXES SHALL BE 6" ABOVE FINISHED GROUND UNLESS OTHERWISE NOTED.
4. ALL STRAIGHT THRU PIPE IN CONCRETE BOXES SHALL HAVE ONE RESTRAINED FLANGE ADAPTER ON THE INTERIOR OF THE BOX.

SUMMARY OF QUANTITIES

ITEM #	ITEM	UNIT	QUANTITY	AS-BUILT
1	1-6" CHECK VALVE W/BYPASS METER	EA	1	
2	HYDROSTATIC PRESSURE TESTING & DISINFECTION	LS	1	

BUILDING ADDRESS:
1117 ROBINSON AVENUE
OKLAHOMA CITY, OK, 73103

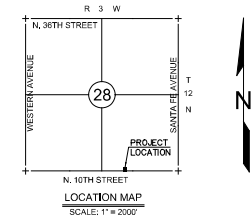
SYSTEM DEMAND:
375 GPM @ 50 PSI

GENERAL NOTES

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEYS AND EXISTING DRAWINGS. THE ENGINEER MAKES NO GUARANTEE THAT ALL UTILITIES ARE SHOWN ON THIS DRAWING. THE ACTUAL LOCATIONS MAY VARY. THE UTILITIES SHOWN WERE NOT PHYSICALLY LOCATED. THE CONTRACTOR SHOULD CONTACT "OKIE" BEFORE BEGINNING CONSTRUCTION.
2. ALL REMOVALS TO BE ON NEAT SAWED LINES.
3. THE CONTRACTOR IS RESPONSIBLE FOR THE PROMPT REPLACEMENT AND/OR REPAIR OF ALL TRAFFIC CONTROL DEVICES AND APPURTENANCES DAMAGED OR DISTURBED DUE TO CONSTRUCTION.
4. CONSTRUCTION STAGING SHALL BE PROVIDED BY THE CONTRACTOR.
5. THE CONTRACTOR SHALL CALL "OKIE" BEFORE COMMENCING CONSTRUCTION.
6. ALL BACKFILL TO BE COMPACTED TO 95% STD. PROCTOR DENSITY.
7. ANY ITEMS REQUIRED FOR THE PROPER COMPLETION OF THIS PROJECT, BUT NOT LISTED AS A PAY ITEM SHALL BE CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN OTHER ITEMS OF WORK.
8. THE CONTRACTOR SHALL SATISFY HIMSELF AS TO THE ACCURACY OF ALL MEASUREMENTS PRIOR TO CONSTRUCTION OF ANY PERMANENT STRUCTURE.
9. THE CONTRACTOR SHALL PROVIDE EROSION CONTROL MEASURES AS REQUIRED TO PREVENT SEDIMENT FROM ENTERING THE STORM SEWER SYSTEM INCLUDING DITCHES AND DETENTION POND.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ALL EROSION CONTROL DEVICES DAMAGED DUE TO CONSTRUCTION.
11. A COPY OF THE EROSION CONTROL SITE PLAN MUST BE ON SITE AT ALL TIMES AND MADE AVAILABLE TO THE INSPECTOR UPON REQUEST.
12. ALL CONSTRUCTION SHALL BE IN STRICT CONFORMANCE WITH THE STANDARD SPECIFICATIONS OF THE CITY OF OKLAHOMA CITY AND THE OKLAHOMA DEPARTMENT OF ENVIRONMENTAL QUALITY.
13. "DUCTILE IRON WATERLINES" SHALL HAVE A MINIMUM WALL THICKNESS OF 0.34" FOR 12" WATERLINE, 0.31" FOR 8" WATERLINE AND 0.28" FOR 6" WATERLINE.
14. POLYETHYLENE ENCASEMENT SHALL HAVE A MINIMUM THICKNESS OF 8 MILS.



The City of
OKLAHOMA CITY
Public Works Department



SHEET INDEX

SHEET NO.	DESCRIPTION
1	COVER SHEET

ONE CALL UTILITY LOCATION NUMBER

840-5032
1-800-622-6543

This number is to be used for information on the location of all underground utilities. Contact this number and other numbers specified in the plans prior to any excavation.



KERNER CONSULTING SERVICES, PLLC
4500 WESTHARBOUR ROAD, SUITE 200
OKLAHOMA CITY, OK 73142
PHONE: (405) 493-7400
FAX: (405) 470-5832

PREPARED BY:

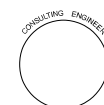
SRIHARI KONERU

(OR P.E. 19685)

Date:

REGISTERED PROFESSIONAL ENGINEER

DATE:



SUBMITTAL DATES TO OKC

Check Print #1: _____ Date: _____
Check Print #2: _____ Date: _____
Final Print: _____ Date: _____

CONSTRUCTION MUST BEGIN WITHIN ONE (1) YEAR FROM THE DATE OF APPROVAL, OR THAT APPROVAL IS WITHDRAWN.

DEPARTMENT OF PUBLIC WORKS
ENGINEERING DIVISION

Field Checked by: _____ Date: _____

Checked by: _____ Date: _____

Checked by: _____ Date: _____

Checked by: _____ Date: _____

APPROVED:

City Engineer: _____ Date: _____

FIRE LINE CONSTRUCTION
GUARDIAN

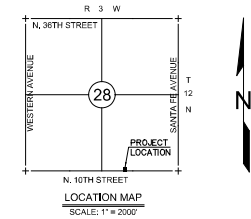
WF-

PROJECT No. WF- PLANS FOR

GUARDIAN
1117 ROBINSON AVENUE
OKLAHOMA CITY, OK. 73103



The City of
OKLAHOMA CITY
Public Works Department



SUMMARY OF QUANTITIES

ITEM #	ITEM	UNIT	QUANTITY	AS-BUILT
1	12"X6" TAPPING SLEEVE (MJ)	EA	1	
2	6" TAPPING VALVE W/BOX	EA	1	
3	6" PIPE	LF	50	
4	TESTING AND DISINFECTION	LF	1	
5	REMOVE & REPLACE ASPHALT PAVMENT	SY	20	
6	SAND BACKFILL	CY	3	

GENERAL NOTES

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEYS AND EXISTING DRAWINGS. THE ENGINEER MAKES NO GUARANTEE THAT ALL UTILITIES ARE SHOWN ON THIS DRAWING. THE ACTUAL LOCATIONS MAY VARY. THE UTILITIES SHOWN WERE NOT PHYSICALLY LOCATED. THE CONTRACTOR SHOULD CONTACT "OKIE" BEFORE BEGINNING CONSTRUCTION.
2. ALL REMOVALS TO BE ON NEAT SAWED UNITS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRAFFIC CONTROL.
4. THE CONTRACTOR IS RESPONSIBLE FOR THE PROCMPT REPLACEMENT AND/OR REPAIR OF ALL TRAFFIC CONTROL DEVICES AND APPURTENANCES DAMAGED OR DISTURBED DUE TO CONSTRUCTION.
5. CONSTRUCTION STAKING SHALL BE PROVIDED BY THE CONTRACTOR.
6. THE CONTRACTOR SHALL CALL "OKIE" BEFORE COMMENCING CONSTRUCTION.
7. ALL BACKFILL TO BE COMPACTED TO 95% STD. PROCTOR DENSITY.
8. ANY ITEMS REQUIRED FOR THE PROPER COMPLETION OF THIS PROJECT, BUT NOT LISTED AS A PAY ITEM SHALL BE CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN OTHER ITEMS OF WORK.
9. THE CONTRACTOR SHALL SATISFY HIMSELF AS TO THE ACCURACY OF ALL MEASUREMENTS PRIOR TO CONSTRUCTION OF ANY PERMANENT STRUCTURE.
10. THE CONTRACTOR SHALL PROVIDE EROSION CONTROL MEASURES AS REQUIRED TO PREVENT SEDIMENT FROM ENTERING THE STORM SEWER SYSTEM INCLUDING DITCHES AND DETENTION POND.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ALL EROSION CONTROL DEVICES DAMAGED DUE TO CONSTRUCTION.
12. A COPY OF THE EROSION CONTROL SITE PLAN MUST BE ON SITE AT ALL TIMES AND MADE AVAILABLE TO THE INSPECTOR UPON REQUEST.
13. ALL CONSTRUCTION SHALL BE IN STRICT CONFORMANCE WITH THE STANDARD SPECIFICATIONS OF THE CITY OF OKLAHOMA CITY AND THE OKLAHOMA DEPARTMENT OF ENVIRONMENTAL QUALITY.
14. "DUCTILE IRON WATERLINES" SHALL HAVE A MINIMUM WALL THICKNESS OF 0.34" FOR 12" WATERLINE, 0.31" FOR 8" WATERLINE AND 0.28" FOR 6" WATERLINE.
15. POLYETHYLENE ENCASUREMENT SHALL HAVE A MINIMUM THICKNESS OF 8 MILS.

SHEET INDEX

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	STD. WATER DETAILS: W-100
3	STD. WATER DETAILS: W-200
4	STD. WATER DETAILS: METER VAULT

ONE CALL UTILITY LOCATION NUMBER

840-5032
1-800-522-6543

This number is to be used for information on the location of all underground utilities. Contact this number and other numbers specified in the plans prior to any excavation.



SUBMITTAL DATES TO OKC

Check Print #1:	Date:
Check Print #2:	Date:
Final Print:	Date:

PREPARED BY:

SRINIVAS KONERU
(OK P.E. 19685)

CONSTRUCTION MUST BEGIN WITHIN ONE (1) YEAR FROM THE DATE OF APPROVAL, OR THAT APPROVAL IS WITHDRAWN.

DEPARTMENT OF PUBLIC WORKS ENGINEERING DIVISION

REGISTERED PROFESSIONAL ENGINEER
DATE:

Field Checked by: Date:

Checked by: Date:

Checked by: Date:

Checked by: Date:

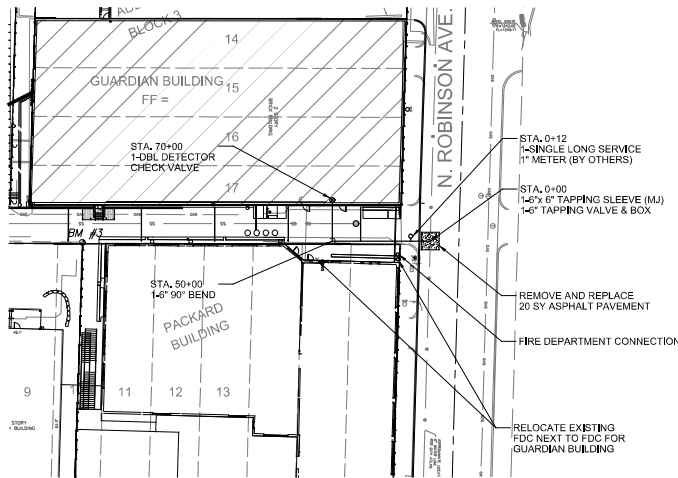
APPROVED:

City Engineer: Date:

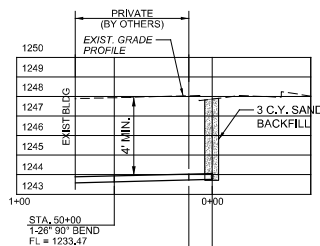
FIRE LINE CONSTRUCTION
GUARDIAN

WF-

SCALE: 1"=30'

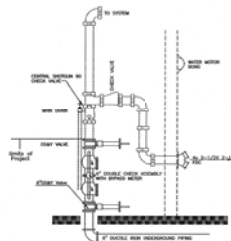


BM #3
FND CUT "X"
ELEV = 1240.22
X = 10009.0562
Y = 49380.2948



PROFILE

HORIZ. SCALE: 1"=30'
VERT. SCALE: 1"=3'



ITEM	DESCRIPTION	UNIT	QUAN
1	12"X6" TAPPING SLEEVE (MJ)	EA	1
2	6" TAPPING VALVE W/BOX	EA	1
3	6" PIPE	LF	50



SURVEYOR'S CERTIFICATE
August 01, 2011

This survey is made for the benefit of:
MOTION INC, LLC
COWBOY CATTLE COMPANY
OLD REPUBLIC TITLE COMPANY OF OKLAHOMA
AMERICAN GUARANTY TITLE INSURANCE COMPANY

I, Shaun Christopher Ayson, a Registered Professional Land Surveyor, do hereby certify to the foregoing parties, as of the date set forth above that I or others under my direct supervision, have made a careful survey of a tract of land described as follows:
Lots ONE (1) through FOUR (4) both inclusive in FLORENCE ADDITION, to Oklahoma Co., Oklahoma County, Oklahoma according to the recorded plat thereof.

Said tract of land contains an area of 10,000 square feet or 0.3 less acres, more or less.

This is to certify that this map and plat and the survey on which it is based were made in accordance with the 2011 Minimum Standards Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and ACSM, and includes items of Table A in part. The work was completed on August 01, 2011.

Shaun Christopher Ayson, P.L.S. 1181

Notes

- The bearing of North 89°54'18" West as shown on the North line of FLORENCE ADDITION was used as the basis of bearing for this survey.
- This map and plat and the survey on which it is based were made in accordance with the Oklahoma Minimum Standards for the Practice of Land Surveying as adopted by the Oklahoma State Board of Licensure for Professional Land Surveyors and the Minimum Standards Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA, ACSM, and ILS in 2011, and meets the national standards requirements of an Urban Survey, as defined therein, and includes items 1, 8, 9, 10 and 11 in Table A contained therein.
- The accompanying survey was made on the ground and correctly shows the location of all buildings, structures and other improvements situated on the above premises, and that the property described herein is the same as the property described in American Guaranty Title Insurance Company Commitment No. 1112-203 dated June 30, 2011, provided to us by Old Republic Title Company of Oklahoma, and that all easements, covenants and restrictions referenced in said title commitment or apparent from a physical inspection of the site or otherwise known to me have been placed, noticed or recorded as to their effect on the subject property, that there are no building encroachments on the subject property or upon adjacent land and building and property unless shown herein.
- Said described property is located within an area having a Zone Designation of "X" (Not a Special Flood Hazard Area) by the Federal Emergency Management Agency (FEMA) on Flood Insurance Rate Map No. 47190020001, with a date of determination of December 18, 2005 for Community No. 48339, in Oklahoma County, State of Oklahoma, which is the current Flood Insurance Rate Map for the community in which said premises is situated.
- The Property has direct physical access to N.W. 10th Street and N. Harvey Avenue and W. Park Place, all of which are dedicated public streets.
- The number of striped parking spaces located on the property is 18, 2 of which are designated for handicapped use.
- Utility Statement: The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.
- Items listed in Schedule B Part II of American Guaranty Title Insurance Company Commitment No. 1112-203 dated June 30, 2011, provided to us by Old Republic Title Company of Oklahoma, corresponding to the following exception numbers:
7. EMERGENCY ORDINANCE recorded in Book 66, Page 816, does not affect subject property.
8. ORDINANCE NO. 20,726 creating the NORTH NORTH DOWNTOWN REDEVELOPMENT DISTRICT, recorded in Book 7278, Page 1748, affects subject property inasmuch as subject property is a part of the land described therein.

231 N.W. 10th Street
ALTA/ACSM Land Title Survey

P.O. Box 6878 • Norman, OK 73070
405.681.3325 Phone & Fax • shaun@markdeal.com

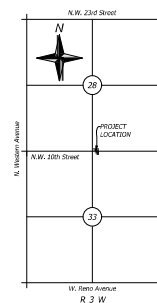
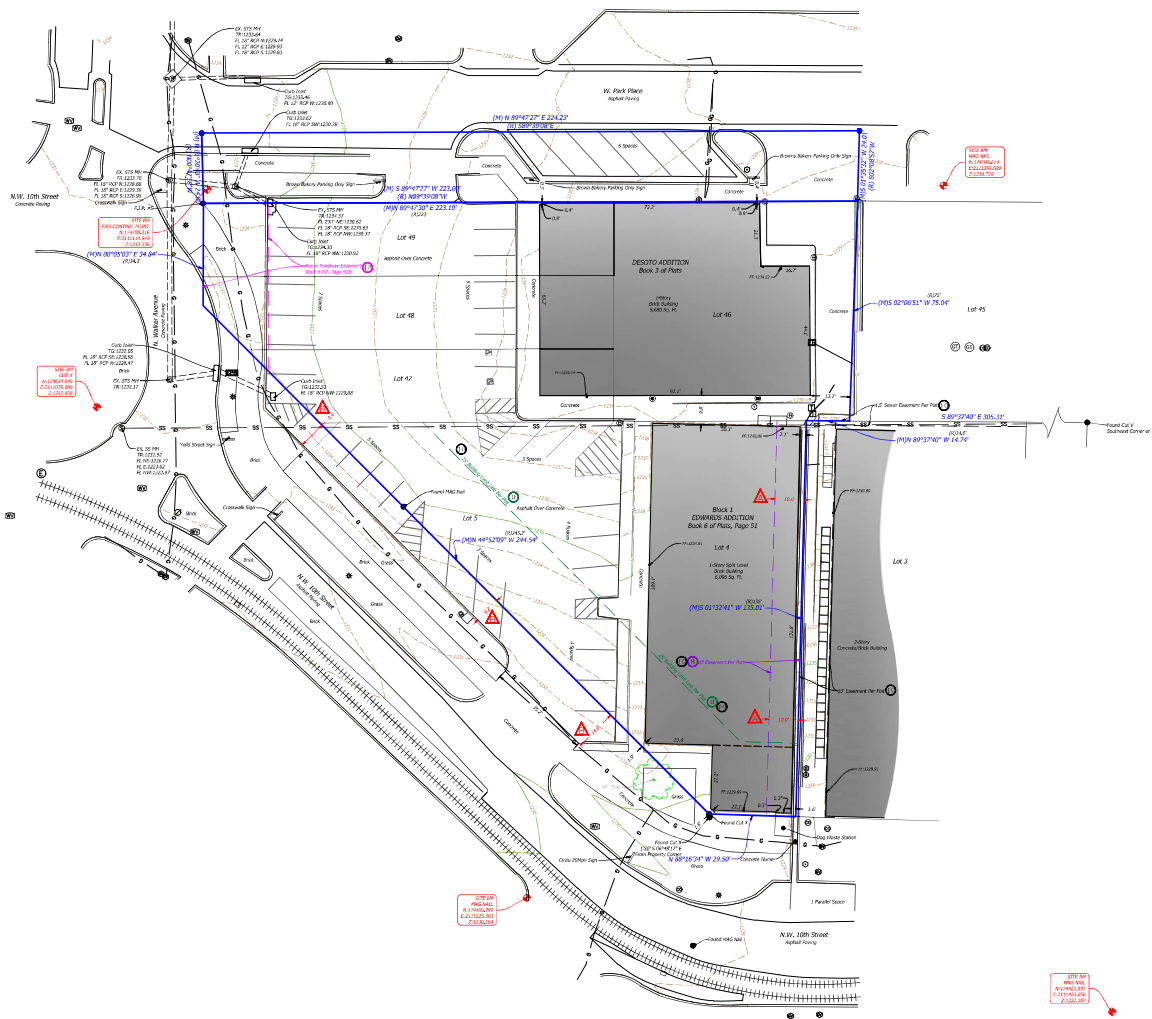
Project No: 2603
Drawn By: MWH
DWG File: 2603.dwg

Date: 8/02/11
Party Chief: JCR
Revisions:
Ry/Date File: 2603.dwgplot.txt

Scale: 1"=20'

Mark Deal and Associates

REGISTERED PROFESSIONAL LAND SURVEYOR



(Lot Five (5), is Block One (1), EDWARDS BOULEVARD ADDITION to Oklahoma City, Oklahoma County, Oklahoma, according to the recorded plat thereof

AND

Lots One (1), Two (2), Three (3), Four (4), Five (5) and Six (6), of PECK'S SUBDIVISION of Lots 48, ADDITION to Oklahoma City, Oklahoma County, Oklahoma, according to the recorded plat thereof.

AND

A Tract of land situate within a portion of the Southeast Quarter (SE 1/4) of Section Twenty-Eight (28), Township Twelve (12) North, Range Three (3) West of the Indian Meridian (IM) in Oklahoma County, Oklahoma City, Oklahoma, further described as being within the 1818th Right of Way of the formerly known as the CANTONMENT OF THE DISTRICT OF COLUMBIA, D.C. (CRS01), SUBDIVISION OF ACQUILLES in Oklahoma City, recorded in Book 3 of Plats, AND PECKS SUBDIVISION OF DESOTA to Oklahoma City, recorded in Book 9 of Plats, Page 71, being more particularly described as follows: BEGINNING at the Northwest corner of Lot 6 in PECKS SUBDIVISION OF DESOTA same being at the point on the present East Right of Way line of Walker Avenue, Thence N 02°18'14" East along the East Right of Way line of Walker Avenue a distance of 224.23 feet to the intersection of the East Right of Way line of Walker Avenue with the East Right of Way line of the 247th Street, Thence N 89°30'57" West along the North East corner of Lot 1 said plat, Thence N 89°30'57" West along the South Right of Way line a distance of 223.01 feet to the POINT OF BEGINNING.

Containing 34,275 Sc

The property described herein is located completely within the property described in Old Republic Title Company of Oklahoma's Commitment No. 232923182 dated April 10th, 2023.

(Utility easement across the East 10 feet of said property as shown on plat of Edgewood Boulevard. Affects as shown hereon.

- ① Building limit restriction lines shown on subdivision plot of Edwards Boulevard. **Affects as shown herein.**
- ② All matters affecting subject property as shown on plot of Packs Subdivision. **Affects as shown herein.**
- ③ Near Northwest Urban Conservation District as set out in Ordinance 16942 recorded in Book 5018, Page 206. **Affects and is subject to the terms and conditions contained therein.**
- ④ WIND North Division Reclamation District as set out in Ordinance 20726 recorded in Book 7270, Page 1746. **Affects and is subject to the terms and conditions contained therein.**
- ⑤ Permanent Easement in favor of The City of Olathe City recorded in Book 8417, Page 028. **Affects as shown herein.**

1: Pursuant to Table A Item 3, Said described property in, by graphical plotting only, located within an area having a Zone Designation "X" Unshaded

- by FEMA, on Flood Insurance Rate Map No. 490100010R dated December 18, 2007.
- 2 Pursuant to Table A Item 16, there is no observed evidence of storm surge or other wind-driven water in excess of predicted surge levels.
- 3 Pursuant to Table A Item 16, the total number of exposed parking spaces at the subject property is 21; including 2 designated handicapped spaces.
- 4 Pursuant to Table A Item 16, there is no observed evidence of current earth moving work, building construction or building additions.
- 5 Pursuant to Table A Item 16, there are no prepossession changes in street right-of-way or limits of the body of its knowledge. There is no observed evidence of recent street or shoreline erosion or other adverse effects due to wave damage, debris or sedimentation.
- 6 There is no observed evidence of any use of sandbags, pumps, dewatering equipment, dune or temporary barriers.
- 7 A assumed bearing of North of 43° 30' East as the North end of the subject property per Oklahoma State Plane Grid North was used as the basis of bearing for this survey.
- 8 All units of measurements are US Survey feet (Ground).
- 9 The survey was conducted pursuant to the provisions of the Oklahoma Professional Engineering Act and meets the Oklahoma Minimum Technical Standards for the practice of land surveying as adopted by the Oklahoma State Board of Licensure for Professional Engineers and Land Surveyors. The survey complies with all applicable provisions of the Oklahoma Statutes relating to professional engineering and land surveying, and the rules and regulations promulgated thereunder, and meets said standard, and all contributors are noted on Oklahoma State Plane Grid North NAD 83 and relocations/additions are based on Oklahoma State Plane Grid North NAD 83.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NISP Land Title Surveys, jointly established and adopted by ALTA and NISP, and includes Items 1, 8, 9, 11, and 16 of Table A thereto. The field work was completed on April 20, 2023.

I further certify that this survey meets the Oklahoma Minimum Standards for the practice of land surveying and that there are no visible encroachments across the boundary lines other than those shown.



May 2, 2022

Prepared By
GOLDEN
LAND SURVEYING

4131 N.W. 122nd St., Suite 100, Oklahoma City, Oklahoma 73120

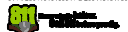
C.A.# 7263 / Exp. Date =6/30/2024

Telephone: (405) 802-7883 Email: troy@goldenils.com
Dated by: 82 Sheet 1 of 1

Plot Date: May 9, 2003 Paper Size: 24"x36"
GLS Job No.: 221400

UTILITY NOTE

Pursuant to Table A Item 11, The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown compromise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that utilities are located as accurately as possible from information available. The surveyor has not physically located the underground utilities. Shown located utilities were marked in reference to C 811 #23041316163547 & 2304131616173547

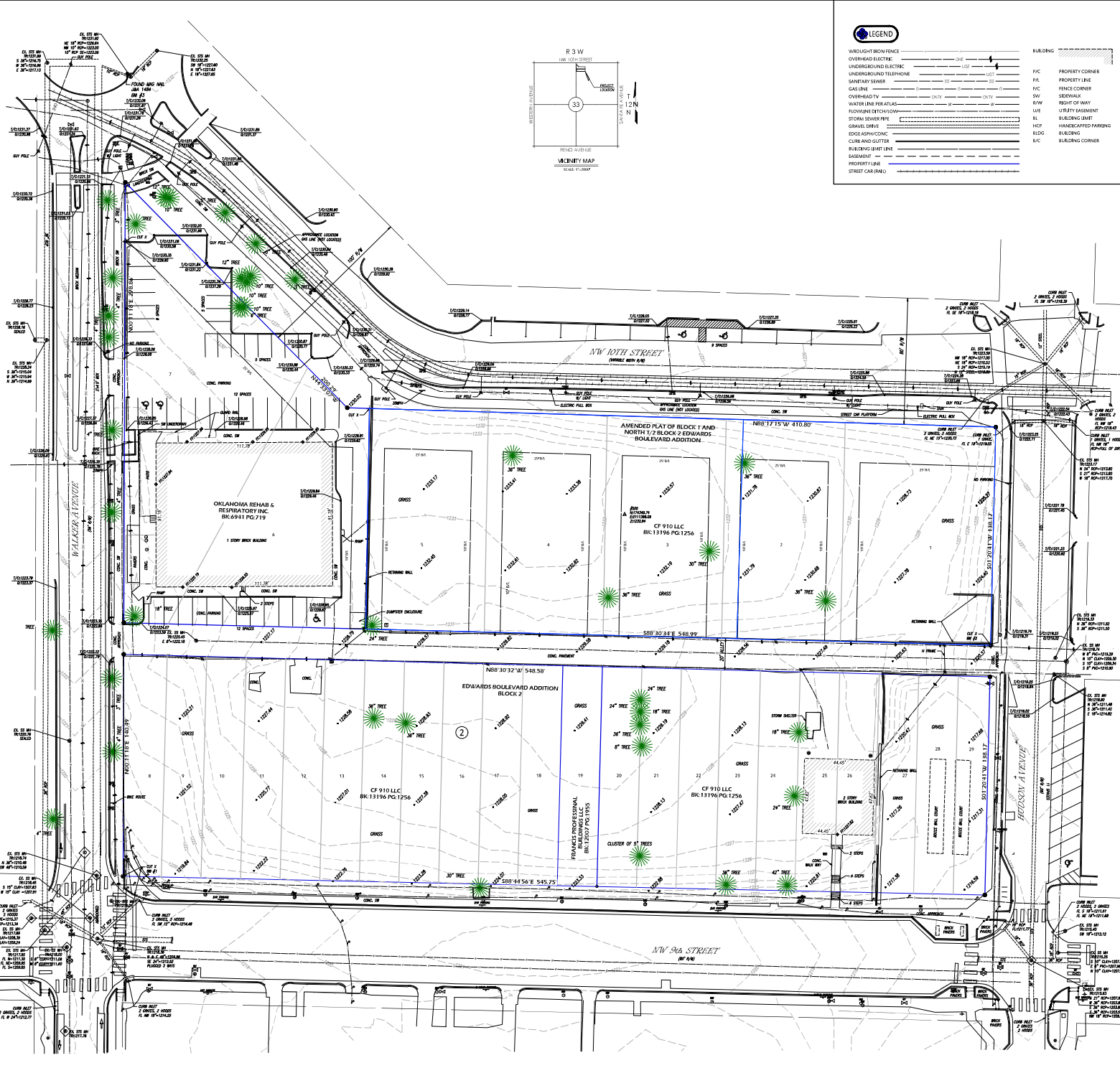


1	LAST FLOW	4	LAST FLOW
2	EXT. FINDER	5	EXT. FINDER
3	ELECTRIC FINDER	6	EXT. FINDER
4	ELECTRIC FINDER	7	EXT. FINDER
5	EXT. FINDER	8	EXT. FINDER
6	EXT. FINDER	9	EXT. FINDER
7	EXT. FINDER	10	EXT. FINDER
8	EXT. FINDER	11	EXT. FINDER
9	EXT. FINDER	12	EXT. FINDER
10	EXT. FINDER	13	EXT. FINDER
11	EXT. FINDER	14	EXT. FINDER
12	EXT. FINDER	15	EXT. FINDER
13	EXT. FINDER	16	EXT. FINDER
14	EXT. FINDER	17	EXT. FINDER
15	EXT. FINDER	18	EXT. FINDER
16	EXT. FINDER	19	EXT. FINDER
17	EXT. FINDER	20	EXT. FINDER
18	EXT. FINDER	21	EXT. FINDER
19	EXT. FINDER	22	EXT. FINDER
20	EXT. FINDER	23	EXT. FINDER
21	EXT. FINDER	24	EXT. FINDER
22	EXT. FINDER	25	EXT. FINDER
23	EXT. FINDER	26	EXT. FINDER
24	EXT. FINDER	27	EXT. FINDER
25	EXT. FINDER	28	EXT. FINDER
26	EXT. FINDER	29	EXT. FINDER
27	EXT. FINDER	30	EXT. FINDER
28	EXT. FINDER	31	EXT. FINDER
29	EXT. FINDER	32	EXT. FINDER
30	EXT. FINDER	33	EXT. FINDER
31	EXT. FINDER	34	EXT. FINDER
32	EXT. FINDER	35	EXT. FINDER
33	EXT. FINDER	36	EXT. FINDER
34	EXT. FINDER	37	EXT. FINDER
35	EXT. FINDER	38	EXT. FINDER
36	EXT. FINDER	39	EXT. FINDER
37	EXT. FINDER	40	EXT. FINDER
38	EXT. FINDER	41	EXT. FINDER
39	EXT. FINDER	42	EXT. FINDER
40	EXT. FINDER	43	EXT. FINDER
41	EXT. FINDER	44	EXT. FINDER
42	EXT. FINDER	45	EXT. FINDER
43	EXT. FINDER	46	EXT. FINDER
44	EXT. FINDER	47	EXT. FINDER
45	EXT. FINDER	48	EXT. FINDER
46	EXT. FINDER	49	EXT. FINDER
47	EXT. FINDER	50	EXT. FINDER
48	EXT. FINDER	51	EXT. FINDER
49	EXT. FINDER	52	EXT. FINDER
50	EXT. FINDER	53	EXT. FINDER
51	EXT. FINDER	54	EXT. FINDER
52	EXT. FINDER	55	EXT. FINDER
53	EXT. FINDER	56	EXT. FINDER
54	EXT. FINDER	57	EXT. FINDER
55	EXT. FINDER	58	EXT. FINDER
56	EXT. FINDER	59	EXT. FINDER
57	EXT. FINDER	60	EXT. FINDER
58	EXT. FINDER	61	EXT. FINDER
59	EXT. FINDER	62	EXT. FINDER
60	EXT. FINDER	63	EXT. FINDER
61	EXT. FINDER	64	EXT. FINDER
62	EXT. FINDER	65	EXT. FINDER
63	EXT. FINDER	66	EXT. FINDER
64	EXT. FINDER	67	EXT. FINDER
65	EXT. FINDER	68	EXT. FINDER
66	EXT. FINDER	69	EXT. FINDER
67	EXT. FINDER	70	EXT. FINDER
68	EXT. FINDER	71	EXT. FINDER
69	EXT. FINDER	72	EXT. FINDER
70	EXT. FINDER	73	EXT. FINDER
71	EXT. FINDER	74	EXT. FINDER
72	EXT. FINDER	75	EXT. FINDER
73	EXT. FINDER	76	EXT. FINDER
74	EXT. FINDER	77	EXT. FINDER
75	EXT. FINDER	78	EXT. FINDER
76	EXT. FINDER	79	EXT. FINDER
77	EXT. FINDER	80	EXT. FINDER
78	EXT. FINDER	81	EXT. FINDER
79	EXT. FINDER	82	EXT. FINDER
80	EXT. FINDER	83	EXT. FINDER
81	EXT. FINDER	84	EXT. FINDER
82	EXT. FINDER	85	EXT. FINDER
83	EXT. FINDER	86	EXT. FINDER
84	EXT. FINDER	87	EXT. FINDER
85	EXT. FINDER	88	EXT. FINDER
86	EXT. FINDER	89	EXT. FINDER
87	EXT. FINDER	90	EXT. FINDER
88	EXT. FINDER	91	EXT. FINDER
89	EXT. FINDER	92	EXT. FINDER
90	EXT. FINDER	93	EXT. FINDER
91	EXT. FINDER	94	EXT. FINDER
92	EXT. FINDER	95	EXT. FINDER
93	EXT. FINDER	96	EXT. FINDER
94	EXT. FINDER	97	EXT. FINDER
95	EXT. FINDER	98	EXT. FINDER
96	EXT. FINDER		

 Building lies within a platted easement

 A portion of the Southwest parking area extends beyond the property line.

WETLY HUNGERS BODY BEING STAFFED "GOLDEN CA 7203" UNLESS NOTED OTHERWISE



LEGEND

W/OUTGUT BRON FENCE	---	---
UNDERGROUND ELECTRIC	---	---
UNDERGROUND TELEPHONE	---	---
SANITARY SEWER	---	---
GAS LINE	---	---
OVERHEAD TV	---	---
WATER LINE (POTABLE)	---	---
FLOWLINE (SEWER/STORM)	---	---
STORM SEWER PIPE	---	---
GRAVEL DRIVE	---	---
EDGE ASPHALT/CONC	---	---
CURB AND GUTTER	---	---
ELECTRIC SHUT LINE	---	---
BASEMENT	---	---
PROPERTY LINE	---	---
STREET CAR (H&D)	---	---

BUILDING

PVC	PROPERTY CORNER
PA	PROPERTY LINE
P/C	FRONT CORNER
SW	SEWAGE
R/W	RIGHT OF WAY
U/L	UTILITY EASEMENT
BL	BUILDING LIMIT
HCP	HANDICAPPED PARKING
B/C	BUILDING CORNER

FOUND CUT X

+	SET MONUMENT
+	STORM SEWER MANHOLE
+	SANITARY SEWER MANHOLE
+	TELEPHONE PEDestal
+	VALVE (AS DESCRIBED)
+	ADA PARKING SPACE

FREE HYDRANT ASSEMBLY

+	ELECTRIC PEDestal
+	UTILITY MANHOLE/SEW
+	WATERWELL
+	SIGNAL PULL BOX
+	TRAFFIC CONTROL BOX
+	TELEPHONE MANHOLE

BENCHMARK

+	CONTROL POINT
+	TREE
+	CLEANOUT
+	ELECTRIC MANHOLE
+	GAS METER
+	LEAK POST
+	WATER METER

NOTE: SET MONUMENTS EITHER 3" OR 6" NON-PIG W/ CAPS STAMPED "CAP7" OR "MANHOLE" WITH ALUMINUM SHIRTS STAMPED "CAP7" UNLESS OTHERWISE NOTED

GENERAL NOTES

Except as specifically stated or shown on this plat, this survey does not purport to reflect any of the following which may be applicable to the subject real estate.

- Estimates, other than possible assessments which were visible at the time of the survey.
- Building Setback Lines.
- Restrictive Easements.
- Subdivision Restrictions.
- Zoning or other Land-Use Regulations.
- Any other fact which an Accurate Title Search may disclose.

Subject tract has direct access to NW 10th Street, Walker Avenue, Reno Avenue and NW 9th Street, all paved public rights of way.

All distances and dimensions shown hereon are **GND** distances.

The Term "Certify" or "Certification" and "Correct" as noted hereon and as it pertains to Land Surveying Services as shown on the documents shall mean: A Statement Signed by the Professional Land Surveyor based on the facts and knowledge known to the Professional Land Surveyor at the time of the Survey and is not a Guarantee or Warranty, either implied or expressed.

THIS PLAT OF SURVEY MEETS THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING AS ADOPTED BY THE OKLAHOMA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.

BENCHMARKS

BM #1 FOUND CUT X
N 174132.71
E 111108.51
ELEV. 1218.34

BM #2 FOUND CUT X
N 174238.92
E 111162.88
ELEV. 1219.23

BM #3 FOUND MAG NAIL ISA 1484
N 174238.90
E 111108.14
ELEV. 1212.26

UTILITY DISCLAIMER

The underground utilities shown have been located from record documents or field locations by the operator. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although the surveyor does certify that they are located as accurately as possible from the information available. The surveyor has not physically located the underground utilities.

Utility elevations and sizes may have been measured under adverse field conditions. Upon exposing the utility, elevations and line sizes should be verified by the contractor prior to construction. Contractor should verify critical elevations using the benchmark provided by the surveyor or engineer. Any discrepancies should be immediately brought to the engineer's and surveyor's attention.

LEGAL DESCRIPTION

LOTS ONE (1) THROUGH SEVEN (7), BLOCK TWO (2), AMENDED PLAT OF BLOCK ONE (1) AND NORTH ONE-HALF (1/2) BLOCK TWO (2), EDWARDS BOULEVARD ADDITION TO OKLAHOMA CITY, O.T., ACCORDING TO THE RECORDED PLAT THEREOF TOGETHER WITH

LOTS EIGHT (8) THROUGH TWENTY-NINE (29), BLOCK TWO (2), EDWARDS BOULEVARD ADDITION TO OKLAHOMA CITY, O.T., ACCORDING TO THE RECORDED PLAT THEREOF.

Surveyor Certification

I, Denver Winchester, Registered Land Surveyor, in the State of Oklahoma, do hereby certify that a survey was made under my direct supervision of the above described property to the best of my knowledge and belief and further certify that this is a true and correct Plat of Survey.

DENVER WINCHESTER, PLS 1952

PLAT OF SURVEY

NE 1/4 SEC 33, T10N, R9W, E1M
OKLAHOMA CITY,
OKLAHOMA COUNTY, OKLAHOMA

Crafton Tull
300 Pointe Parkway Boulevard
Tulsa, OK 74109
405-787-6270 FAX: 405-787-6276
www.craftontull.com

Engineers & Surveyors
CA 973 (PELS) EXPIRES 6/30/20

8/17/22
DW

18613400

SCHEDULE A LEGAL DESCRIPTION

All of Lots FORTY-FOUR (44) and FORTY-FIVE (45) of Block One (1) in DESOTO ADDITION, also known as DESOTO ADDITION OF MCCLURE'S ADDITION to Oklahoma City, Oklahoma County, Oklahoma, according to the recorded plat thereof.

AND

Lots TWO (2), THREE (3) and FOUR (4) of Block One (1) in EDWARDS BOULEVARD ADDITION to Oklahoma City, Oklahoma County, Oklahoma, according to the recorded plat thereof.

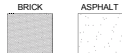
SHEET LIST

SHEET 1- TITLE PAGE
SHEET 2- SECOND FLOOR (WEST PARK PLACE LEVEL)
SHEET 3- FIRST FLOOR (NW 10th STREET LEVEL)

LEGEND SYMBOLS

- SET MONUMENT
EITHER 3/4" IRON PIN W/ CAP "CTA C4873"
OR MAG NAIL W/ SHINER "CTA C4873"
- FOUND MONUMENT (AS NOTED)
- METAL GATE

HATCH LEGEND



LEGEND LINWORK

- CHAIN LINK FENCE
- WOOD PRIVACY FENCE
- MASONRY WALL
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- SANITARY SEWER
- EDGE ASPH/CONC
- CURB AND GUTTER
- EDGE OF SIDEWALK
- PAINT STRIPE
- EDGE OF LANDSCAPING
- RAILING
- EXISTING BUILDING
- BUILDING LIMIT LINE
- EASEMENT
- PROPERTY LINE
- RIGHT-OF-WAY
- EXISTING LOT

UTILITY DISCLAIMER

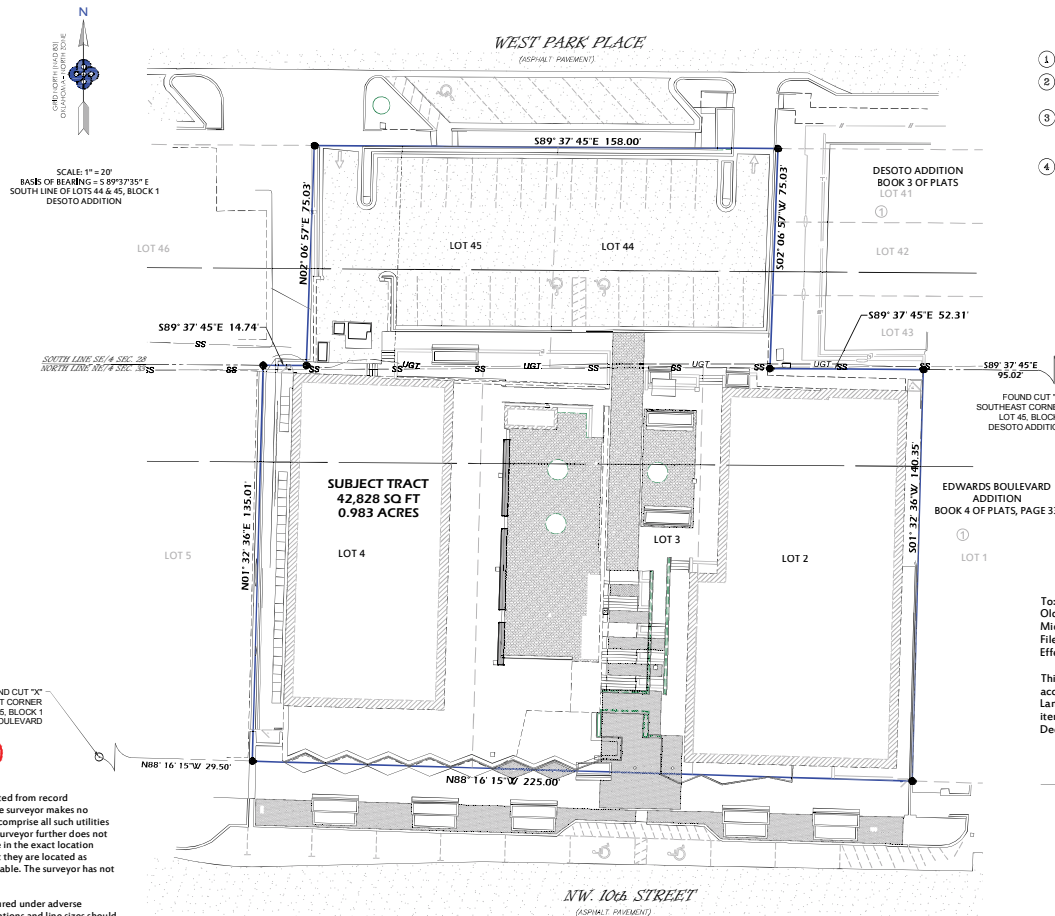
The underground utilities shown have been located from record documents or field locations by the operator. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although the surveyor does certify that they are located as accurately as possible from the information available. The surveyor has not physically located the underground utilities.

Utility elevations and sizes may have been measured under adverse field conditions. Upon exposing the utility, elevations and line sizes should be verified by the contractor prior to construction. Contractor should verify critical elevations using the benchmark provided by the surveyor or engineer. Any discrepancies should be immediately brought to the engineer's and surveyor's attention.

ALTA/ACSM LAND TITLE SURVEY

OF
ALL OF LOTS FORTY-FOUR (44) AND FORTY-FIVE (45) OF BLOCK ONE (1) IN
DESOTO ADDITION, ALSO KNOWN AS DESOTO ADDITION OF MCCLURE'S
ADDITION TO OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA,
ACCORDING TO THE RECORDED PLAT THEREOF.

AND
LOTS TWO (2), THREE (3) AND FOUR (4) OF BLOCK ONE (1) IN EDWARDS
BOULEVARD ADDITION TO OKLAHOMA CITY, OKLAHOMA COUNTY,
OKLAHOMA, ACCORDING TO THE RECORDED PLAT THEREOF.



GENERAL NOTES

- No ongoing earth moving work or building construction was observed.
- Subject tract has direct access to W Park Place and NW 10th Street, both being a paved public rights of way.
- There are 26 regular parking spaces and 2 handicap spaces on subject tract. There are 13 regular parking spaces and 3 handicap spaces adjacent to the subject tract.
- THIS PLAT OF SURVEY MEETS THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING AS ADOPTED BY THE OKLAHOMA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.

SCHEDULE B-II EXCEPTIONS

- Ordinance vacating Section Line Road recorded in Book 2, Page 396. Affects inasmuch as it vacates the North Section line of Section 33. No documentation vacating the South Section line of Section 28 has been provided.
- Ordinance creating the Near Northwest Urban Conservation District, recorded in Book 5018, Page 286. Affects, refer to instrument.
- Ordinance creating the NDARD North Downtown Revitalization District, recorded in Book 7270, Page 1746. Affects, refer to instrument.
- Sanitary Sewer Lines across the North side of Lots 2-4 per plat. Affects as shown hereon.
- Easement in favor of Oklahoma Gas and Electric Company recorded in Book 11287, Page 1801. Does not affect.
- Easement in favor of Oklahoma Gas and Electric Company recorded in Book 12447, Page 1051. Affects as shown hereon.
- Permanent Easement in favor of the City of Oklahoma City recorded in Book 12710, Page 1509. Affects as shown hereon.

ALTA/ACSM Land Title Survey

To:
Old Republic Title Company of Oklahoma
Midtown-10th and Park Place, LLC, an Oklahoma limited liability Company
File Number: 15180690
Effective Date: December 2, 2015 at 7:30 A.M.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 4, 8, 9, 11, and 16 of Table A thereof. The field work was completed on December 1, 2015.



JENNIFER L. WHITEY, R.P.L.S. 1517

12/21/15
Date

ALTA/ACSM LAND TITLE SURVEY

0.938 ACRES ±
SE/4, SEC 28 & NE/4, SEC 33
T12N, R3W, I.M.
OKLAHOMA COUNTY, OK



Crafton Tull
214 E. Main Street
Oklahoma City, OK 73104
405.787.8270 FAX: 405.787.8276
www.craftontull.com

Engineers & Surveyors
CA 973 (PE/LS) EXPIRES 2016

REVISION DATE	DATE	CREW CHIEF	FIELD QA/QC	DRAWN	QA/QC	SHEET NO.	PROJECT NO.
	12/21/15	SQ	DW	SQ	DW	1	15611800



SCALE: 1" = 20'
BASE OF BEARING = S 89°37'35" E
SOUTH LINE OF LOTS 44 & 45, BLOCK 1
DESOTO ADDITION

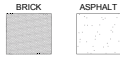
SCHEDULE A LEGAL DESCRIPTION

All of Lots FORTY-FOUR (44) and FORTY-FIVE (45) of Block ONE (1) in DESOTO ADDITION, also known as DESOTO ADDITION OF MCCLURE'S ADDITION to Oklahoma City, Oklahoma County, Oklahoma, according to the recorded plat thereof.

AND

Lots TWO (2), THREE (3) and FOUR (4) of Block ONE (1) in EDWARDS BOULEVARD ADDITION to Oklahoma City, Oklahoma County, Oklahoma, according to the recorded plat thereof.

HATCH LEGEND



LEGEND SYMBOLS

- SET MONUMENT
EITHER 3/4" IRON PIN W/ CAP "CTA 04073"
OR MAG NAIL W/ SHINER "CTA 04073"
- FOUND MONUMENT (AS NOTED)
- SANITARY SEWER MANHOLE
- CLEAN OUT
- GREASE TRAP
- TELEPHONE PEDESTAL / JUNCTION BOX
- △ GAS METER
- WATER VALVE
- FIRE HYDRANT ASSEMBLY
- WATER METER
- SPRINKLER HEAD
- SPRINKLER CONTROL VALVE
- △ FIRE DEPARTMENT CONNECTION
- ELECTRIC METER
- ELECTRIC JUNCTION BOX
- ELECTRICAL OUTLET
- TRANSFORMER
- YARD LIGHT
- LIGHT POST
- GAS MARKER
- SIGN (AS NOTED)
- GUARD POST
- METAL GATE
- BIKE RACK

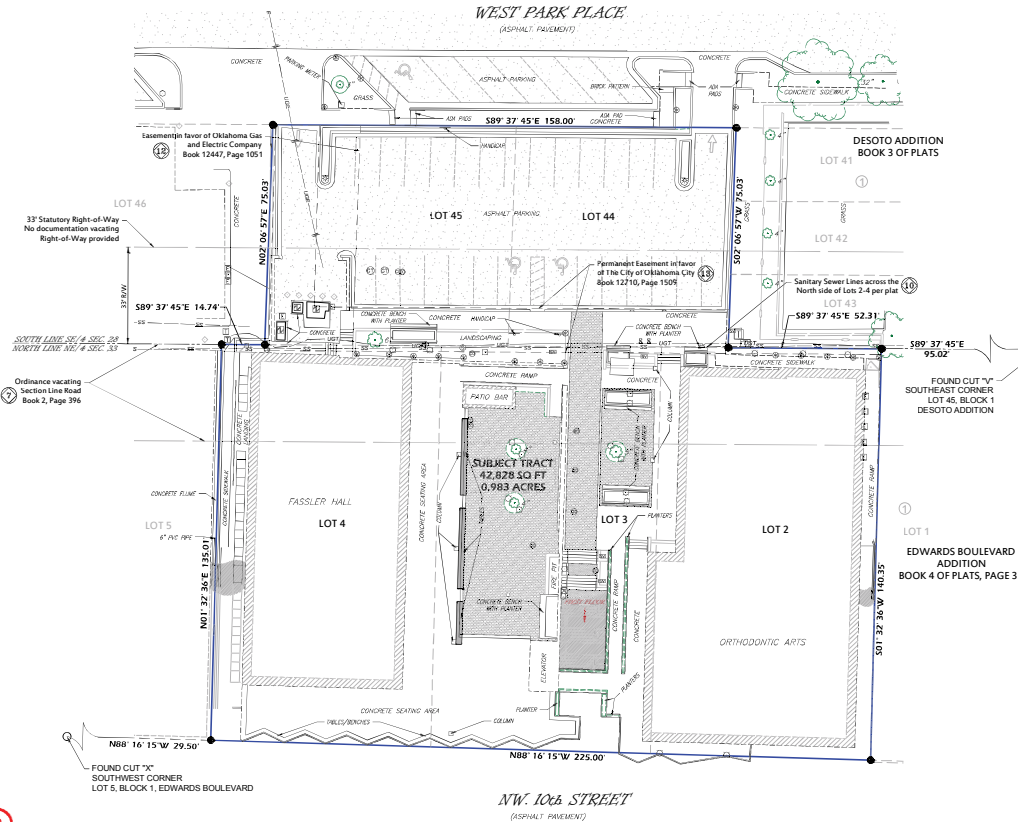
LEGEND LINWORK

- CHAIN LINK FENCE
- WOOD PRIVACY FENCE
- MASONRY WALL
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- SANITARY SEWER
- EDGE ASPHOEN
- CURB AND GUTTER
- EDGE OF SIDEWALK
- PAINT STRIPE
- EDGE OF LANDSCAPING
- RAILROAD
- EXISTING BUILDING
- BUILDING LIMIT LINE
- EASEMENT
- PROPERTY LINE
- RIGHT-OF-WAY
- EXISTING LOT

UTILITY DISCLAIMER

The underground utilities shown have been located from record documents or field locations by the operator. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although the surveyor does certify that they are located as accurately as possible from the information available. The surveyor has not physically located the underground utilities.

Utility elevations and sizes may have been measured under adverse field conditions. Upon exposing the utility, elevations and line sizes should be verified by the contractor prior to construction. Contractor should verify critical elevations using the benchmark provided by the surveyor or engineer. Any discrepancies should be immediately brought to the engineer's and surveyor's attention.



GENERAL NOTES

- 1 No ongoing earth moving work or building construction was observed.
- 2 Subject tract has direct access to W Park Place and NW 10th Street, both being a paved public rights of way.
- 3 There are 26 regular parking spaces and 2 handicap spaces on subject tract. There are 13 regular parking spaces and 3 handicap spaces adjacent to the subject tract.
- 4 THIS PLAT OF SURVEY MEETS THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING AS ADOPTED BY THE OKLAHOMA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.

SCHEDULE B-II EXCEPTIONS

- 7 Ordinance vacating Section Line Road recorded in Book 2, Page 396. Affects inasmuch as it vacates the North Section line of Section 33. No documentation vacating the South Section line of Section 28 has been provided.
- 8 Ordinance creating the Near Northwest Urban Conservation District, recorded in Book 5018, Page 286. Affects, refer to instrument.
- 9 Ordinance creating the NDARD North Downtown Revitalization District, recorded in Book 7270, Page 1746. Affects, refer to instrument.
- 10 Sanitary Sewer Lines across the North side of Lots 2-4 per plat. Affects as shown hereon.
- 11 Easement in favor of Oklahoma Gas and Electric Company recorded in Book 11287, Page 1801. Does not affect.
- 12 Easement in favor of Oklahoma Gas and Electric Company recorded in Book 12447, Page 1051. Affects as shown hereon.
- 13 Permanent Easement in favor of The City of Oklahoma City recorded in Book 12710, Page 1509. Affects as shown hereon.

ALTA/ACSM Land Title Survey

To:
Old Republic Title Company of Oklahoma
Midtown-10th and Park Place, LLC, an Oklahoma limited Liability Company
File Number: 15180690
Effective Date: December 2, 2015 at 7:30 A.M.


This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 4, 8, 9, 11, and 16 of Table A thereof. The field work was completed on December 1, 2015.

JENNIFER L. WHITEY, R.P.L.S. #1517

12/21/15
Date



REVISION DATE	DATE	CREW CHIEF	FIELD QA/QC	DRAWN	QA/QC	SHEET NO.	PROJECT NO.
	12/21/15	SQ	DW	SQ	DW	2	15611800

ALTA/ACSM LAND TITLE SURVEY		0.983 ACRES ± SE/4, SEC 28 & NE/4, SEC 33 T12N, R3W, I.M., OKLAHOMA COUNTY, OK	
 Crafton Tull		214 E. Main Street Oklahoma City, OK 73104 405.787.6270 FAX: 405.787.6276 www.craftontull.com	
Engineers & Surveyors		CA 973 (PE/LS) EXPIRES 2016	



SCALE: 1" = 10'
BASE OF BEARING = 5 89°37'35" E
SOUTH LINE OF LOTS 44 & 45, BLOCK 1
DESOTO ADDITION

SCHEDULE B-II EXCEPTIONS

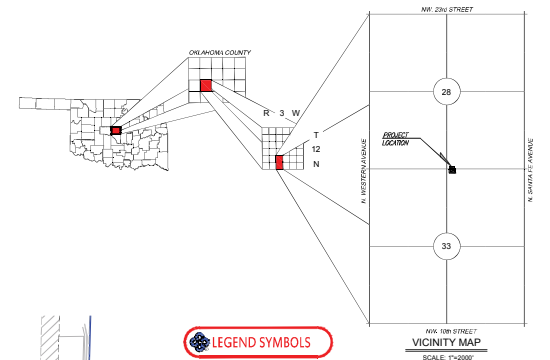
- ⑦ Ordinance vacating Section Line Road recorded in Book 2, Page 396. Affects inasmuch as it vacates the North Section line of Section 33. No documentation vacating the South Section line of Section 28 has been provided.
- ④ Ordinance creating the Near Northwest Urban Conservation District, recorded in Book 5018, Page 286. Affects, refer to instrument.
- ④ Ordinance creating the NDARD North Downtown Revitalization District, recorded in Book 7270, Page 1746. Affects, refer to instrument.
- ④ Sanitary Sewer Lines across the North side of Lots 2-4 per plat. Affects as shown hereon.
- ④ Easement in favor of Oklahoma Gas and Electric Company recorded in Book 11287, Page 1801. Does not affect.
- ④ Easement in favor of Oklahoma Gas and Electric Company recorded in Book 12447, Page 1051. Affects as shown hereon.
- ④ Permanent Easement in favor of The City of Oklahoma City recorded in Book 12710, Page 1509. Affects as shown hereon.

SCHEDULE A LEGAL DESCRIPTION

All of Lots FORTY-FOUR (44) and FORTY-FIVE (45) of Block ONE (1) in DESOTO ADDITION, also known as DESOTO ADDITION OF MCCLURE'S ADDITION to Oklahoma City, Oklahoma County, Oklahoma, according to the recorded plat thereof.

AND

Lots TWO (2), THREE (3) and FOUR (4) of Block ONE (1) in EDWARDS BOULEVARD ADDITION to Oklahoma City, Oklahoma County, Oklahoma, according to the recorded plat thereof.



LEGEND SYMBOLS

- SET MONUMENT EITHER 3/8" IRON PIN W/ CAP "CTA CA107" OR MAG NAIL W/ SHINER "CTA CA107"
- FOUND MONUMENT (AS NOTED)
- SANITARY SEWER MANHOLE
- CLEAN OUT
- TELEPHONE PEDESTAL / JUNCTION BOX
- △ GAS METER
- △ WATER VALVE
- △ FIRE HYDRANT ASSEMBLY
- WATER METER
- SPRINKLER HEAD
- SPRINKLER CONTROL VALVE
- △ FIRE DEPARTMENT CONNECTION
- △ ELECTRIC METER
- ELECTRIC JUNCTION BOX
- ELECTRICAL OUTLET
- TRANSFORMER
- YARD LIGHT
- LIGHT POST
- GAS MARKER
- SIGN (AS NOTED)
- GUARD POST
- △ METAL GATE
- BIKE RACK

HATCH LEGEND



GENERAL NOTES

- ① No ongoing earth moving work or building construction was observed.
- ② Subject tract has direct access to W Park Place and NW 10th Street, both being a paved public rights of way.
- ③ There are 26 regular parking spaces and 2 handicap spaces on subject tract. There are 13 regular parking spaces and 3 handicap spaces adjacent to the subject tract.
- ④ THIS PLAT OF SURVEY MEETS THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING AS ADOPTED BY THE OKLAHOMA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.

UTILITY DISCLAIMER

The underground utilities shown have been located from record documents or field locations by the operator. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location although the surveyor does certify that they are located as accurately as possible from the information available. The surveyor has not physically located the underground utilities.

Utility elevations and sizes may have been measured under adverse field conditions. Upon exposing the utility, elevations and line sizes should be verified by the contractor prior to construction. Contractor should verify critical elevations using the benchmark provided by the surveyor or engineer. Any discrepancies should be immediately brought to the engineer's and surveyor's attention.

LEGEND LINEWORK

CHAIN LINK FENCE	---
WOOD PRIVACY FENCE	---
MASONRY WALL	---
UNDERGROUND ELECTRIC	---
UNDERGROUND TELEPHONE	---
SANITARY SEWER	---
EDGE ASPHALT	---
CURB AND GUTTER	---
EDGE OF SIDEWALK	---
PAINT STRIPE	---
EDGE OF LANDSCAPING	---
EXISTING BUILDING	---
BUILDING LIMIT LINE	---
EASEMENT	---
PROPERTY LINE	---

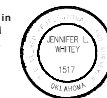
ALTA/ACSM Land Title Survey


To:
Old Republic Title Company of Oklahoma
Midtown-10th and Park Place, LLC, an Oklahoma limited Liability Company
File Number: 15180690
Effective Date: December 2, 2015 at 7:30 A.M.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 4, 8, 9, 11, and 16 of Table A thereof. The field work was completed on December 1, 2015.

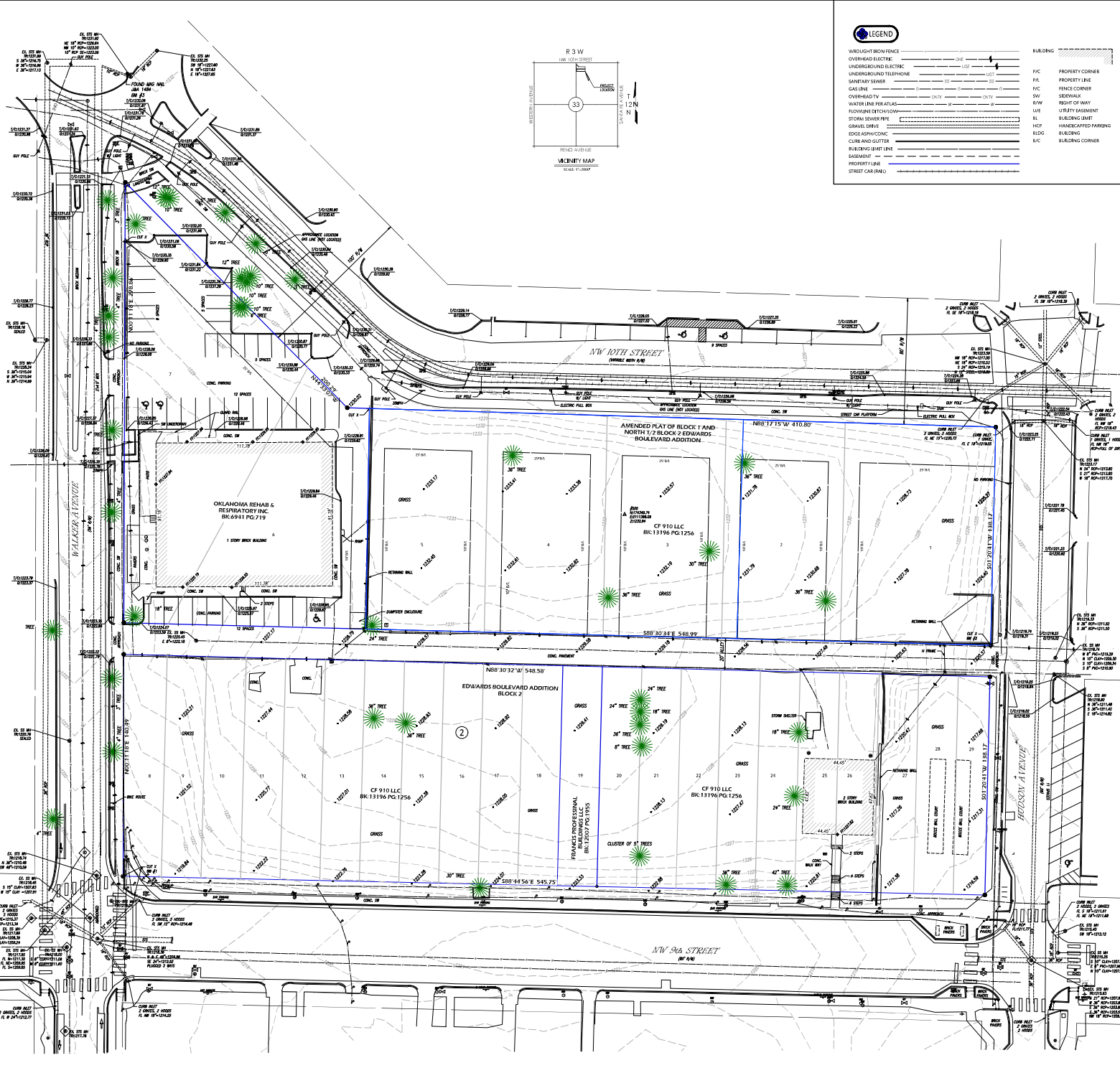
JENNIFER L. WHITEY, R.P.L.S. 1517

12/21/15



ALTA/ACSM LAND TITLE SURVEY		0.938 ACRES ± SE/4, SEC 28 & NE/4, SEC 33 T12N, R3W, I.M. OKLAHOMA COUNTY, OK	
 Craftonmull 214 E. Main Street Oklahoma City, OK 73104 405.787.6270 FAX: 405.787.6276 www.craftonmull.com			
Engineers & Surveyors CA 973 (PE/LS) EXPIRES 2016			
REVISION DATE	DATE	CREW CHIEF	FILED QU/CC
	12/21/15	SQ	DW
DRAWN	QU/CC	QU/CC	QU/CC
SQ	DW	3	PROJECT NO.
			15611800





GENERAL NOTES

Except as specifically stated or shown on this plat, this survey does not purport to reflect any of the following which may be applicable to the subject real estate.

- a. Easements, other than possible easements which were visible at the time of the survey.
- b. Building Setback Lines.
- c. Restrictive Easements.
- d. Subdivision Restrictions.
- e. Zoning or other Land-Use Regulations.
- f. Any other fact which an Accurate Title Search may disclose.

Subject tract has direct access to NW 10th Street, Walker Avenue, Reno Avenue and NW 9th Street, all paved public rights of way.

All distances and dimensions shown hereon are **GND** distances.

The Term "Certify" or "Certification" and "Correct" as noted hereon and as it pertains to Land Surveying Services as shown on the documents shall mean: A Statement Signed by the Professional Land Surveyor based on the facts and knowledge known to the Professional Land Surveyor at the time of the Survey and is not a Guarantee or Warranty, either implied or expressed.

THIS PLAT OF SURVEY MEETS THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING AS ADOPTED BY THE OKLAHOMA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.

BENCHMARKS

BM #1
FOUND CUT X
N 174132.71
E 111108.51
ELEV. 1218.34

BM #2
FOUND CUT X
N 174238.92
E 111162.88
ELEV. 1219.23

BM #3
FOUND MAG NAIL ISA 1484
N 174238.90
E 111108.14
ELEV. 1212.26

UTILITY DISCLAIMER

The underground utilities shown have been located from record documents or field locations by the operator. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although the surveyor does certify that they are located as accurately as possible from the information available. The surveyor has not physically located the underground utilities.

Utility elevations and sizes may have been measured under adverse field conditions. Upon exposing the utility, elevations and line sizes should be verified by the contractor prior to construction. Contractor should verify critical elevations using the benchmark provided by the surveyor or engineer. Any discrepancies should be immediately brought to the engineer's and surveyor's attention.

LEGAL DESCRIPTION

LOTS ONE (1) THROUGH SEVEN (7), BLOCK TWO (2), AMENDED PLAT OF BLOCK ONE (1) AND NORTH ONE-HALF (1/2) BLOCK TWO (2), EDWARDS BOULEVARD ADDITION TO OKLAHOMA CITY, O.T., ACCORDING TO THE RECORDED PLAT THEREOF TOGETHER WITH

LOTS EIGHT (8) THROUGH TWENTY-NINE (29), BLOCK TWO (2), EDWARDS BOULEVARD ADDITION TO OKLAHOMA CITY, O.T., ACCORDING TO THE RECORDED PLAT THEREOF.

Surveyor Certification

I, Denver Winchester, Registered Land Surveyor, in the State of Oklahoma, do hereby certify that a survey was made under my direct supervision of the above described property to the best of my knowledge and belief and further certify that this is a true and correct Plat of Survey.

Denver Winchester, PLS 1952

PLAT OF SURVEY

NE 1/4 SEC 33, T10N, R9W, E1M
OKLAHOMA CITY,
OKLAHOMA COUNTY, OKLAHOMA

Crafton Tull

300 Pointe Parkway Boulevard
Tulsa, OK 74109
405-787-6270 FAX: 405-787-6276
www.craftontull.com

Engineers & Surveyors
CA 973 (PELS) EXPIRES 6/30/20

DATE	DATE	DATE	DATE	DATE
8/17/23	8/17/23	8/17/23	8/17/23	8/17/23

18613400

SCHEDULE A LEGAL DESCRIPTION

All of Lots FORTY-FOUR (44) and FORTY-FIVE (45) of Block One (1) in DESOTO ADDITION, also known as DESOTO ADDITION OF MCCLURE'S ADDITION to Oklahoma City, Oklahoma County, Oklahoma, according to the recorded plat thereof.

AND

Lots TWO (2), THREE (3) and FOUR (4) of Block One (1) in EDWARDS BOULEVARD ADDITION to Oklahoma City, Oklahoma County, Oklahoma, according to the recorded plat thereof.

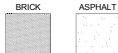
SHEET LIST

SHEET 1- TITLE PAGE
SHEET 2- SECOND FLOOR (WEST PARK PLACE LEVEL)
SHEET 3- FIRST FLOOR (NW 10th STREET LEVEL)

LEGEND SYMBOLS

- SET MONUMENT
EITHER 3/4" IRON PIN W/ CAP "CTA C4873"
OR MAG NAIL W/ SHINER "CTA C4873"
- FOUND MONUMENT (AS NOTED)
- METAL GATE

HATCH LEGEND



LEGEND LINWORK

- CHAIN LINK FENCE
- WOOD PRIVACY FENCE
- MASONRY WALL
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- SANITARY SEWER
- EDGE ASPH/CONC
- CURB AND GUTTER
- EDGE OF SIDEWALK
- PAINT STRIPE
- EDGE OF LANDSCAPING
- RAILING
- EXISTING BUILDING
- BUILDING LIMIT LINE
- EASEMENT
- PROPERTY LINE
- RIGHT-OF-WAY
- EXISTING LOT

UTILITY DISCLAIMER

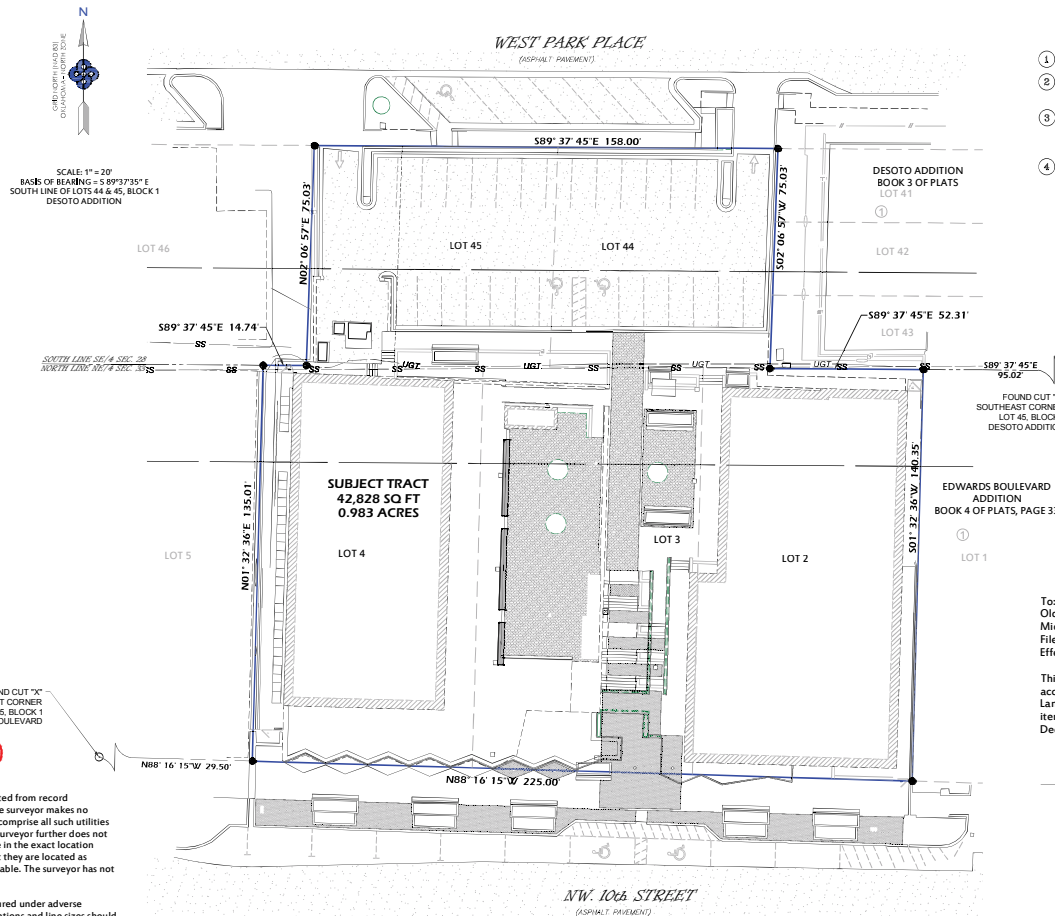
The underground utilities shown have been located from record documents or field locations by the operator. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although the surveyor does certify that they are located as accurately as possible from the information available. The surveyor has not physically located the underground utilities.

Utility elevations and sizes may have been measured under adverse field conditions. Upon exposing the utility, elevations and line sizes should be verified by the contractor prior to construction. Contractor should verify critical elevations using the benchmark provided by the surveyor or engineer. Any discrepancies should be immediately brought to the engineer's and surveyor's attention.

ALTA/ACSM LAND TITLE SURVEY

OF
ALL OF LOTS FORTY-FOUR (44) AND FORTY-FIVE (45) OF BLOCK ONE (1) IN
DESOTO ADDITION, ALSO KNOWN AS DESOTO ADDITION OF MCCLURE'S
ADDITION TO OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA,
ACCORDING TO THE RECORDED PLAT THEREOF.

AND
LOTS TWO (2), THREE (3) AND FOUR (4) OF BLOCK ONE (1) IN EDWARDS
BOULEVARD ADDITION TO OKLAHOMA CITY, OKLAHOMA COUNTY,
OKLAHOMA, ACCORDING TO THE RECORDED PLAT THEREOF.



GENERAL NOTES

- No ongoing earth moving work or building construction was observed.
- Subject tract has direct access to W Park Place and NW 10th Street, both being a paved public rights of way.
- There are 26 regular parking spaces and 2 handicap spaces on subject tract. There are 13 regular parking spaces and 3 handicap spaces adjacent to the subject tract.
- THIS PLAT OF SURVEY MEETS THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING AS ADOPTED BY THE OKLAHOMA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.

SCHEDULE B-II EXCEPTIONS

- Ordinance vacating Section Line Road recorded in Book 2, Page 396. Affects inasmuch as it vacates the North Section line of Section 33. No documentation vacating the South Section line of Section 28 has been provided.
- Ordinance creating the Near Northwest Urban Conservation District, recorded in Book 5018, Page 286. Affects, refer to instrument.
- Ordinance creating the NDARD North Downtown Revitalization District, recorded in Book 7270, Page 1746. Affects, refer to instrument.
- Sanitary Sewer Lines across the North side of Lots 2-4 per plat. Affects as shown hereon.
- Easement in favor of Oklahoma Gas and Electric Company recorded in Book 11287, Page 1801. Does not affect.
- Easement in favor of Oklahoma Gas and Electric Company recorded in Book 12447, Page 1051. Affects as shown hereon.
- Permanent Easement in favor of the City of Oklahoma City recorded in Book 12710, Page 1509. Affects as shown hereon.

ALTA/ACSM Land Title Survey

To:
Old Republic Title Company of Oklahoma
Midtown-10th and Park Place, LLC, an Oklahoma limited liability Company
File Number: 15180690
Effective Date: December 2, 2015 at 7:30 A.M.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 4, 8, 9, 11, and 16 of Table A thereof. The field work was completed on December 1, 2015.



JENNIFER L. WHITEY, R.P.L.S. 1517
Date: 12/21/15

ALTA/ACSM LAND TITLE SURVEY

0.938 ACRES ±
SE/4, SEC 28 & NE/4, SEC 33
T12N, R3W, I.M.
OKLAHOMA COUNTY, OK



Crafton Tull

214 E. Main Street
Oklahoma City, OK 73104
405.787.8270 FAX: 405.787.8276
www.craftontull.com

Engineers & Surveyors

CA 973 (PE/LS) EXPIRES 2016

REVISION DATE	DATE	CREW CHIEF	FIELD QA/QC	DRAWN	QA/QC	SHEET NO.	PROJECT NO.
	12/21/15	SQ	DW	SQ	DW	1	15611800



SCALE: 1" = 20'
BASE OF BEARING = S 89°37'35" E
SOUTH LINE OF LOTS 44 & 45, BLOCK 1
DESOTO ADDITION

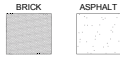
SCHEDULE A LEGAL DESCRIPTION

All of Lots FORTY-FOUR (44) and FORTY-FIVE (45) of Block ONE (1) in DESOTO ADDITION, also known as DESOTO ADDITION OF MCCLURE'S ADDITION to Oklahoma City, Oklahoma County, Oklahoma, according to the recorded plat thereof.

AND

Lots TWO (2), THREE (3) and FOUR (4) of Block ONE (1) in EDWARDS BOULEVARD ADDITION to Oklahoma City, Oklahoma County, Oklahoma, according to the recorded plat thereof.

HATCH LEGEND



LEGEND SYMBOLS

- SET MONUMENT
EITHER 3/4" IRON PIN W/ CAP "CTA 04073"
OR MAG NAIL W/ SHINER "CTA 04073"
- FOUND MONUMENT (AS NOTED)
- SANITARY SEWER MANHOLE
- CLEAN OUT
- GREASE TRAP
- TELEPHONE PEDESTAL / JUNCTION BOX
- △ GAS METER
- WATER VALVE
- FIRE HYDRANT ASSEMBLY
- WATER METER
- SPRINKLER HEAD
- SPRINKLER CONTROL VALVE
- △ FIRE DEPARTMENT CONNECTION
- ELECTRIC METER
- ELECTRIC JUNCTION BOX
- ELECTRICAL OUTLET
- TRANSFORMER
- YARD LIGHT
- LIGHT POST
- GAS MARKER
- SIGN (AS NOTED)
- GUARD POST
- METAL GATE
- BIKE RACK

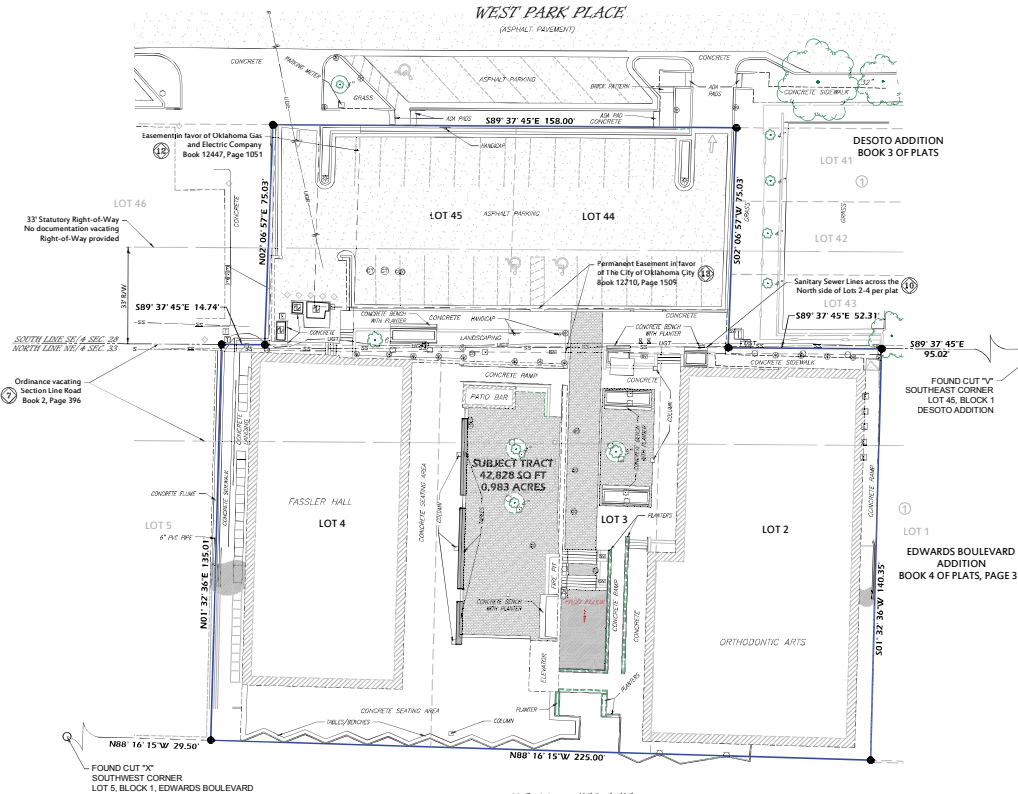
LEGEND LINWORK

- CHAIN LINK FENCE
- WOOD PRIVACY FENCE
- MASONRY WALL
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- SANITARY SEWER
- EDGE ASPHOEN
- CURB AND GUTTER
- EDGE OF SIDEWALK
- PAINT STRIPE
- EDGE OF LANDSCAPING
- RAILROAD
- EXISTING BUILDING
- BUILDING LIMIT LINE
- EASEMENT
- PROPERTY LINE
- RIGHT-OF-WAY
- EXISTING LOT

UTILITY DISCLAIMER

The underground utilities shown have been located from record documents or field locations by the operator. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although the surveyor does certify that they are located as accurately as possible from the information available. The surveyor has not physically located the underground utilities.

Utility elevations and sizes may have been measured under adverse field conditions. Upon exposing the utility, elevations and line sizes should be verified by the contractor prior to construction. Contractor should verify critical elevations using the benchmark provided by the surveyor or engineer. Any discrepancies should be immediately brought to the engineer's and surveyor's attention.



GENERAL NOTES

- 1 No ongoing earth moving work or building construction was observed.
- 2 Subject tract has direct access to W Park Place and NW 10th Street, both being a paved public rights of way.
- 3 There are 26 regular parking spaces and 2 handicap spaces on subject tract. There are 13 regular parking spaces and 3 handicap spaces adjacent to the subject tract.
- 4 THIS PLAT OF SURVEY MEETS THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING AS ADOPTED BY THE OKLAHOMA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.

SCHEDULE B-II EXCEPTIONS

- 7 Ordinance vacating Section Line Road recorded in Book 2, Page 396. Affects inasmuch as it vacates the North Section line of Section 33. No documentation vacating the South Section line of Section 28 has been provided.
- 8 Ordinance creating the Near Northwest Urban Conservation District, recorded in Book 5018, Page 286. Affects, refer to instrument.
- 9 Ordinance creating the NDARD North Downtown Revitalization District, recorded in Book 7270, Page 1746. Affects, refer to instrument.
- 10 Sanitary Sewer Lines across the North side of Lots 2-4 per plat. Affects as shown hereon.
- 11 Easement in favor of Oklahoma Gas and Electric Company recorded in Book 11287, Page 1801. Does not affect.
- 12 Easement in favor of Oklahoma Gas and Electric Company recorded in Book 12447, Page 1051. Affects as shown hereon.
- 13 Permanent Easement in favor of The City of Oklahoma City recorded in Book 12710, Page 1509. Affects as shown hereon.

ALTA/ACSM Land Title Survey

To:
Old Republic Title Company of Oklahoma
Midtown-10th and Park Place, LLC, an Oklahoma limited Liability Company
File Number: 15180690
Effective Date: December 2, 2015 at 7:30 A.M.


This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 4, 8, 9, 11, and 16 of Table A thereof. The field work was completed on December 1, 2015.

JENNIFER L. WHITEY, R.P.L.S. 1517

12/21/15
Date



REVISION DATE	DATE	CREW CHIEF	FIELD QA/QC	DRAWN	DATE	SHEET NO.	PROJECT NO.
	12/21/15	SQ	DW	SQ	DW	2	15611800

ALTA/ACSM LAND TITLE SURVEY		0.983 ACRES ± SE/4, SEC 28 & NE/4, SEC 33 T12N, R3W, I.M., OKLAHOMA COUNTY, OK	
 Crafton Tull		214 E. Main Street Oklahoma City, OK 73104 405.787.6270 FAX: 405.787.6276 www.craftontull.com	
Engineers & Surveyors		CA 973 (PE/LS) EXPIRES 2016	



SCALE: 1" = 10'
BASE OF BEARING = S 89°37'35" E
SOUTH LINE OF LOTS 44 & 45, BLOCK 1
DESOTO ADDITION

SCHEDULE B-II EXCEPTIONS

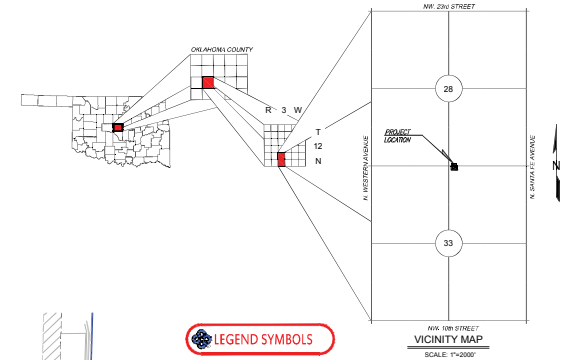
- ⑦ Ordinance vacating Section Line Road recorded in Book 2, Page 396. Affects inasmuch as it vacates the North Section line of Section 33. No documentation vacating the South Section line of Section 28 has been provided.
- ⑧ Ordinance creating the Near Northwest Urban Conservation District, recorded in Book 5018, Page 286. Affects, refer to instrument.
- ⑨ Ordinance creating the NDARD North Downtown Revitalization District, recorded in Book 7270, Page 1746. Affects, refer to instrument.
- ⑩ Sanitary Sewer Lines across the North side of Lots 2-4 per plat. Affects as shown hereon.
- ⑪ Easement in favor of Oklahoma Gas and Electric Company recorded in Book 11287, Page 1801. Does not affect.
- ⑫ Easement in favor of Oklahoma Gas and Electric Company recorded in Book 12447, Page 1051. Affects as shown hereon.
- ⑬ Permanent Easement in favor of The City of Oklahoma City recorded in Book 12710, Page 1509. Affects as shown hereon.

SCHEDULE A LEGAL DESCRIPTION

All of Lots FORTY-FOUR (44) and FORTY-FIVE (45) of Block ONE (1) in DESOTO ADDITION, also known as DESOTO ADDITION OF MCCLURE'S ADDITION to Oklahoma City, Oklahoma County, Oklahoma, according to the recorded plat thereof.

AND

Lots TWO (2), THREE (3) and FOUR (4) of Block ONE (1) in EDWARDS BOULEVARD ADDITION to Oklahoma City, Oklahoma County, Oklahoma, according to the recorded plat thereof.



LEGEND SYMBOLS

- SET MONUMENT EITHER 3/8" IRON PIN W/ CAP "CTA CA1P" OR 1/2" IRON PIN W/ SHINER "CTA CA1P"
- FOUND MONUMENT (AS NOTED)
- SANITARY SEWER MANHOLE
- CLEAN OUT
- TELEPHONE PEDESTAL / JUNCTION BOX
- △ GAS METER
- △ WATER VALVE
- △ FIRE HYDRANT ASSEMBLY
- WATER METER
- SPRINKLER HEAD
- SPRINKLER CONTROL VALVE
- △ FIRE DEPARTMENT CONNECTION
- △ ELECTRIC METER
- ELECTRIC JUNCTION BOX
- ELECTRICAL OUTLET
- TRANSFORMER
- YARD LIGHT
- LIGHT POST
- GAS MARKER
- SIGN (AS NOTED)
- GUARD POST
- △ METAL GATE
- BIKE RACK

HATCH LEGEND



GENERAL NOTES

- ① No ongoing earth moving work or building construction was observed.
- ② Subject tract has direct access to W Park Place and NW 10th Street, both being a paved public rights of way.
- ③ There are 26 regular parking spaces and 2 handicap spaces on subject tract. There are 13 regular parking spaces and 3 handicap spaces adjacent to the subject tract.
- ④ THIS PLAT OF SURVEY MEETS THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING AS ADOPTED BY THE OKLAHOMA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.

UTILITY DISCLAIMER

The underground utilities shown have been located from record documents or field locations by the operator. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location although the surveyor does certify that they are located as accurately as possible from the information available. The surveyor has not physically located the underground utilities.

Utility elevations and sizes may have been measured under adverse field conditions. Upon exposing the utility, elevations and line sizes should be verified by the contractor prior to construction. Contractor should verify critical elevations using the benchmark provided by the surveyor or engineer. Any discrepancies should be immediately brought to the engineer's and surveyor's attention.

LEGEND LINEWORK

CHAIN LINK FENCE	---
WOOD PRIVACY FENCE	---
MASONRY WALL	---
UNDERGROUND ELECTRIC	---
UNDERGROUND TELEPHONE	---
SANITARY SEWER	---
EDGE ASPHALT	---
CURB AND GUTTER	---
EDGE OF SIDEWALK	---
PAINT STRIPE	---
EDGE OF LANDSCAPING	---
RAILING	---
EXISTING BUILDING	---
BUILDING LIMIT LINE	---
EASEMENT	---
PROPERTY LINE	---

ALTA/ACSM Land Title Survey

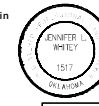
To:
Old Republic Title Company of Oklahoma
Midtown-10th and Park Place, LLC, an Oklahoma limited Liability Company
File Number: 15180690
Effective Date: December 2, 2015 at 7:30 A.M.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 4, 8, 9, 11, and 16 of Table A thereof. The field work was completed on December 1, 2015.

JENNIFER L. WHITEY, R.P.L.S. 1517

Date

12/21/15



REVISION DATE

ALTA/ACSM LAND TITLE SURVEY		0.938 ACRES ±	
		SE/4, SEC 28 & NE/4, SEC 33	
		T12N, R3W, I.M.	
		OKLAHOMA COUNTY, OK	
214 E. Main Street Oklahoma City, OK 73104 405.787.8270 FAX: 405.787.8276 www.craftontull.com			
Engineers & Surveyors			
CA 973 (PE/LS) EXPIRES 2016			
DATE	CREW CHIEF	FIELD QUANTITY	DRAWN
12/21/15	SQ	DW	SQ
QUANTITY	DW	SHEET NO.	PROJECT NO.
		3	15611800

