

THE CITY OF OKLAHOMA CITY
SIMPLIFIED PLANNED UNIT DEVELOPMENT
SPUD-1646
MASTER DESIGN STATEMENT

June 11, 2024
July 30, 2024

PREPARED BY:

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SPUD-1646 MASTER DESIGN STATEMENT

This document serves as the Master Design Statement and fulfills the ordinance requirements for the Simplified Planned Unit Development (Chapter 59, Section 14150.B of the Oklahoma City Municipal Code, 2020, as amended).

I. Special Development Regulations:

The following Special Development Regulations and/or limitations are placed upon the development of the Simplified Planned Unit Development. Planning and zoning regulations will be those that are in effect at the time of development of this Simplified Planned Unit Development; provided, however, that the density and or intensity of the SPUD shall not be increased. Development is when a permit is issued for any construction or addition to any structure on a development tract. Certain zoning districts are referred to as a part of the Special Development Regulations of this Simplified Planned Unit Development. For purposes of interpretation of these Special Development Regulations, the operative and controlling language and regulations of such zoning districts shall be the language and regulations applicable to the referenced zoning districts as contained in the City of Oklahoma City's Planning and Zoning Code as such exists at the time of development of this Simplified Planned Unit Development. In the event of conflict between provisions of this SPUD and any of the provisions of the Oklahoma City Municipal Code, as amended ("Code"), in effect at the time a permit is applied for with respect to any lot, block, tract and/or parcel of land subject to this SPUD, the provisions of the Code shall prevail and be controlling; provided however, that in the event of a conflict between the Special Use and Development Regulations specifically negotiated as a part of this SPUD and the provisions of the Code in effect at the time a permit is applied for with respect to any lot, block, tract and/or parcel of land subject to this SPUD, such Special Use and Development Regulations of this SPUD shall prevail and be controlling.

1. This site will be developed in accordance with the regulation of the **R-4 General Residential District** (OKC Zoning Ordinance, 2020, as amended), except that the following restrictions will apply:

The following use(s) will be the only use(s) permitted on this site:

Multiple-Family Residential (8200.12), Limited to 10 dwellings.
Single-Family Residential (8200.14)
Three- and Four-Family Residential (8200.15)
Two-Family Residential (8200.16)

1.1 Minimum Lot Size: The minimum lot size shall be 14,000 square feet.

1.2 Minimum Lot Width: The minimum lot width shall be 100 feet.

2. **Maximum Building Height:** Maximum height of any building within this SPUD shall be 2.5 Stories and 35 feet.

3. **Maximum Building Size:** The coverage of buildings within this SPUD shall be limited to 35%.
4. **Maximum Number of Buildings:** 3
5. **Building Setback Lines**
 - Front Yard: 15'
 - Rear Yard: 5'
 - Side Yard: 5'
 - Corner Side Yard: 5'
6. **Sight-proof Screening:** Not required.
7. **Landscaping:** The subject parcel shall meet all requirements of the City of Oklahoma City's Landscaping Ordinance in place at the time of development.
 - a) Trees shall be planted along SE 27th Street and South Stiles Avenue at one medium or large tree per 50 feet of street frontage.
 - b) A 10-foot landscape buffer consisting of a minimum of 2 large trees and 16 shrubs shall be planted on the east side of the SPUD boundary.
8. **Signs:** No freestanding signs shall be permitted. Identification signs and attached signs per the base zoning district are permitted.
9. **Access:** One driveway off SE 27th Street and one driveway off South Stiles Avenue may be permitted. The site may be accessed from the alley, if the alley is constructed to meet City standards along the boundary of the SPUD.
10. **Sidewalks:** Five-foot sidewalks are required along SE 27th Street and South Stiles Avenue. Sidewalks shall be provided in accordance with the City of Oklahoma City Municipal Code and ADA requirements at the time of construction of this SPUD.

II. Other Development Regulations:

1. **Architecture:** The buildings will be clad in brick with vinyl windows and railings. Each building wall that faces a street shall have a minimum of 30% transparency.

Exterior building wall finish on all structures shall consist of a minimum 70% brick veneer, masonry, rock, stone, stucco, or wood, or other similar type finish. A maximum of 30% EIFS (Exterior Insulation Finish System) material shall be permitted. Exposed metal or exposed concrete block buildings shall not be permitted.

2. **Open Space:** There shall be a minimum of 30% open space, defined as no buildings or paving, required for this SPUD.
3. **Street Improvements:** The alley will be paved to allow access to parking spaces and parking along the east side of the development. The alley shall be constructed to meet City standards.
4. **Site Lighting:** The site lighting in this SPUD shall be in accordance with Chapter 59, Article XII, Section 59-12350 of the Oklahoma City Municipal Code, 2020, as amended.
5. **Dumpsters:** Trash collection facilities in this PUD shall be in accordance with Chapter 49 of the Oklahoma City Municipal Code, 2020, as amended.
 - a. All dumpsters shall be screened from view from the right-of-way of any public or private street, and from any adjacent residential zone or use.
 - b. Dumpsters shall be screened to a height sufficient to shield dumpster from sight on three sides by using a single opaque material wall or fence, or by using a combination of opaque materials, berming, and/or evergreen landscaping that provides the required screening effect and on the fourth side screened by a solid gate of height sufficient to shield dumpster from sight.
 1. The gate shall remain closed except when trash pick-ups occur.
 2. Dumpsters may also be screened by the wall(s) of a principal or accessory structure. Chain-link fencing with woven slats of opaque material is not acceptable for screening dumpsters.
 3. Dumpsters shall be located at least 25 feet from adjacent residential uses.

- 6. Parking:** The subject parcel shall meet the design requirements of the Oklahoma City Municipal Code, 2020, as amended, except that the residential parking ratio for this SPUD shall be one (1) space per dwelling.
- a. Permeable paving may be used for parking areas, driveways and pathways, subject to Public Works Review and approval.
 - 1. Where connected to public rights-of-way that access drive apron will be constructed of hard surface paving meeting City code for driveway construction.
 - 2. A hard surface border is required around the perimeter of permeable paving areas.
 - 3. Maintenance of the permeable paving is required, and a maintenance plan must be provided when construction documents are submitted for permitting.
 - 4. Gravel drives shall not be permitted.

7. Maintenance:

Maintenance of all common areas, private drainage easements, and islands/medians in the development and maintenance of all amenities located within the common areas shall be the responsibility of the owner(s) of said property.

8. Drainage:

No structures, storage of material, grading, fill, or other obstructions, including fences, either temporary or permanent, that shall cause a blockage of flow or an adverse effect on the functioning of the storm water facility, shall be placed within the common areas intended for the use of conveyance of storm water, and/or drainage easements shown.

9. Other: N/A

III. Supporting Documents

Exhibit A: Legal Description:

Exhibit B: Site Plan and Render of Proposed Structure (Planning set)

SPUD-1646 Exhibit A – Legal Description

Lots Thirteen (13) through Sixteen (16) in Block Thirty (30) of SCHILLING ADDITION to Oklahoma City, Oklahoma County, Oklahoma, according to the recorded plat thereof.

10-Unit Affordable Housing Project - Collective Strategies

OKLAHOMA CITY, OKLAHOMA



ABBREVIATIONS

A ABV ABOVE ACC ACCESSIBLE ACCT SET ACCESSIONAL ACT ACCESSIBLE CEILING TILE AD AREA DRAINAGE ADP ACCESSIBLE DRINKING FOUNTAIN ADJ ADJUSTABLE ADJACENT ADH ADHESIVE AE ACCESSIBLE ELECTRIC WATER AEV ABOVE FINISH FLOOR AFL AUTHORITY HAVING JURISDICTION ALAV ACCESSIBLE LAVATORY ALUM ALUMINUM ALT ALTERNATE AM ACCESSIBLE MIRROR APPROX APPROXIMATELY APPV APPROVED ASD ACCESSIBLE SOAP DISPENSER ASH ACCESSIBLE SHOWER HEAD ATTEN ATTENTION AUN ACCESSIBLE URINAL	C (CONT) CORR CONSTRUCTION CORR CORRIDOR C/CSR CLASSTRACK CSK COUNTERSINK CT CENTER TILE CTG COATING CTR CENTER CY CURB CURBS	D DIA DIAMETER DAG DIAGONAL DIM DIMENSION DN DOWN DR DOOR DS DOWN SPOUT DWG DRAWING	E E EAST EA EACH EE EACH FACE ELEC ELECTRICAL ELEV ELEVATION EJ EXPANSION JOINT EQ EQUAL EW EACH WAY EXH EXHAUST EXT EXISTING EXP EXPANSION EXT EXTERIOR	F FA FIRE ALARM FDN FOUNDATION FE FIRE EXTINGUISHER FEC FIRE EXTINGUISHER CABINET FEN FINISH FH FIRE HOSE FHC FIRE HOSE CABINET FIN FINISH FMT FUTURE FLR FLOOR FLASH FLASHING FLEX FLEXIBLE FT FOOT FTG FOOTING	G GA GAUGE GALV GALVANIZED GB GRAB BAR GEN GENERAL GFRC GLASS FIBER REINFORCED CONCRETE	G (CONT) GLZ GLAZED TILE GCM GALLICUMINITE GR GRAZE GYP GYPSUM GYP BD GYPSUM BOARD	H HOSE HOSE HD HEAD BOARD HEBD HEAD BOARD HARDENER HWID HARDWOOD HAR HARDWARE HM HOLLOW METAL HCR HORIZONTAL HR HEARING HTG HEATING HTR HEATER HU HANDICAPPED URINAL HYD HYDRAULIC	I IC INTERCOM ID NOISE DIAMETER IN INCHES INDV INDIVIDUAL INSUL INSULATION INT INTERIOR INV INVERT JST JOIST JNT JOINT K KIT KITCHEN	L LAM LAMINATE LAV LAVATORY LGR LIGHT LKR LOCKER LFT LIGHT	M M MASONRY MBS MASONRY BLOCK MBS BK MASONRY BLOCK MNT MANTLE MB MARKER BOARD MC MIC CHANNEL MECH MECHANICAL MFR MANUFACTURER MNL MANUOLE MN MINIMUM MO MASONRY OPENING	M (CONT) MNT MOUNTED MTH MOUNTING HEIGHT MEL METAL N NORTH NC NOT IN CONTRACT NOM NOMINAL NTS NOT TO SCALE	O O OVERALL OC OVERLAP OD OUTSIDE DIAMETER OF OFF OPNG OPENING OPF OPPOSITE	P PAGE PA PUBLIC ADDRESS PAR PARTITION PCP PORTLAND CEMENT PLASTER POP POPCORNUCLAR PLAM PLASTIC LAMINATE PL PROPERTY LINE PLAS PLASTER PLG PLUMBING PLYWOOD PLYWOOD PNL PANEL PPR POUNDED GYPSUM PREPAB PREPARED PT PAINT PTR PAPER TOWEL REF REFLECTIVE	R R RADIOS RA REINFORCER RCP REFLECTED CEILING PLAN RD ROOF DRAIN RECIP RECEPTACLE REF REFLECTOR RENF REINFORCING REV REVISION REQD REQUIRED RFG ROOFING RPH ROLLED PAPER HOLDER S SOUTH SCHD SCHEDULE SCR SCURR CURTAIN ROD SD SOAP DISPENSER SECT SECTION	S (CONT) SH SHOWER HEAD SHT SHEET SBR SMOOR SML SMALLER SMB SEAMLESS SND SANITARY NAPKIN DISPENSER SPEC SPECIFICATION SPFC SPECIFICATION SPR SPRAWER SQ SQUARE ST STANDARD STD STANDARD STL STEEL STR STORAGE STRUCT STRUCTURAL SUBSP SUBSPACES SY SQUARE YARD SYM SYMMETRICAL	T TAB TREAD T&G TOP AND GROOVE T&G TONGUE AND GROOVE T&G TACKBOARD TEL TELEPHONE TERM TERMINATE TERR TERRAZZO (FERRACE) TOP OF CURB TOM TOP OF MASONRY TYP TOILET PAPER DISPENSER TRANS TRANSFORMER T&T T&T TYP TYPICAL	U UN UN UR UN UNO UNLESS NOTED OTHERWISE UTILITY SHELF VENT VENTILATE VER VERIFY VFR VENT FURROOF VCT VINYL COMPOSITE TILE W WEST WEN WENT WC WATER CLOSET WCD WOOD WDW WINDOW WFS WIDE FLANGE WH WALL HYDRANT WTF W/SECTION WFF WELDED WIRE FABRIC W WITH WO WITHOUT
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MATERIAL INDICATIONS

	EARTH PREPARED SUBGRADE
	GRAVEL STONE
	CONCRETE
	CONCRETE MASONRY UNIT
	STONE
	BRICK
	SAND GROUT MORTAR
	IRON STEEL
	ALUMINUM
	SHIM
	WOOD BLOCKING
	CERAMIC TILE
	CARPET
	ACOUSTIC PANEL CEILING SYSTEM
	GYPSUM WALLBOARD
	PLASTER
	FINISHED WOOD
	PLYWOOD
	RIGID INSULATION
	BATT INSULATION
	TERRAZZO



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OK CDA #: 0238

CONSULTANTS:

10-Unit Affordable Housing - CS
400 27th Street Oklahoma City, OK
BUILDING A & B

GENERAL NOTES

- STANDARDS AND REGULATIONS:**
- CONTRACTOR AND SUBCONTRACTOR SHALL PERFORM ALL WORK IN CONFORMANCE WITH APPLICABLE BILLING CODES, REGULATIONS, ORDINANCES, UTILITY PROVIDER REGULATIONS, AND SIMILAR STANDARDS.
 - CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND SHALL BE RESPONSIBLE FOR OBTAINING AND ARCHITECT WITHIN 10 DAYS OF RECEIPT. IF PERMITS ARE ISSUED SUBJECT TO CERTAIN CONDITIONS OR REVISIONS TO THE WORK OR PERMITS ARE RELATED FOR ANY REASON, CONTRACTOR SHALL NOTIFY CONTRACTING OFFICE IMMEDIATELY.
 - CONTRACTOR SHALL OBTAIN ALL REQUIRED NOTIFICATIONS OF THE WORK. CONTRACTOR SHALL REGULARLY UPDATE OWNER AND ARCHITECT REGARDING THE STATUS OF THE PROJECTS.
 - CONTRACTOR SHALL BE FAMILIAR WITH AND WORK SHALL BE IN COMPLIANCE WITH REFERENCED FIRE ASSEMBLY TESTS AND STANDARDS.
 - ALL APPLICABLE INDUSTRY STANDARDS, ASTM CLASSIFICATION, MANUFACTURER'S SPECIFICATIONS, INSTITUTE CRITERIA, CODE REQUIREMENTS, AND CURRENT BUILTUP MANUFACTURER OR INSTITUTE INSTALLATION INSTRUCTIONS AND SPECIFICATIONS SHALL BE APPLICABLE TO MATERIALS SPECIFIED OR WORK REQUIRED.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND CORRECTING THAT ALL WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY DISCREPANCIES OF THE WORK, THE CONTRACTOR SHALL OBTAIN A CERTIFICATION FROM THE ARCHITECT WITH THE WORK IN QUESTION.
 - THE GENERAL AND SUBCONTRACTOR MUST COMPLY WITH RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, STATE, AND FEDERAL CONSTRUCTION SAFETY AND SANITARY LAWS, CODES, STATUTES, AND ORDINANCES.
- ADMINISTRATION OF THE WORK:**
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS AND SEQUENCES OF CONSTRUCTION.
 - CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SAFETY OF ALL CONSTRUCTION PERSONNEL AND AUTHORIZED VISITORS.
 - CONTRACTOR SHALL BECOME FULLY ACCQUAINTED WITH THE CONDITIONS RELATED TO THE WORK. ANY KNOWN DISCREPANCIES BETWEEN THE DOCUMENTS AND ACTUAL CONDITIONS SHALL BE REPORTED TO THE OWNER FOR RESOLUTION PRIOR TO PROCEEDING WITH WORK RELATED TO THE DISCREPANCY.
 - CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL CONSTRUCTION AND DEMOLITION DEBRIS. CONTRACTOR SHALL OBTAIN APPROVAL OF OWNER AND GOVERNING AUTHORITIES, IF APPLICABLE FOR DETAILS RELATED TO REMOVAL OF TRASH INCLUDING SUCH ISSUES AS DIRTION OF TRASH.
 - CONTRACTOR SHALL BECOME FAMILIAR WITH AND COMPLY WITH GOVERNMENT'S PROCEDURES FOR MAINTAINING A SECURE SITE AND BUILDING.
 - EACH INSTALLER SHALL EXAMINE SUBSTRATE CONDITION AND/OR SITE CONDITIONS WHICH AFFECTS THE QUALITY OF EACH PRODUCT TO BE INSTALLED. IF ANY CONDITIONS EXIST WHICH WILL HAVE A DETERMINABLE EFFECT ON THE QUALITY OF THE INSTALLATION, THE INSTALLER SHALL IMMEDIATELY NOTIFY THE CONTRACTOR. INSTALLATION SHALL NOT PROCEED UNTIL THE UNSATISFACTORY CONDITIONS ARE CORRECTED. PROCEEDING WITH THE INSTALLATION SHALL SIGNIFY ACCEPTANCE OF THE CONDITIONS.
 - CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS ON SITE AT ALL TIMES.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING COORDINATION EFFORTS OF ALL SUBCONTRACTORS.
 - CONTRACTOR SHALL NOT CLOSE UP CEILING UNTIL ARCHITECT HAS AN OPPORTUNITY TO INSPECT ALL WORK WHICH WILL BE CONCEALED BY CEILING. CONTRACTOR SHALL NOTIFY ARCHITECT AT LEAST THIRTY (30) HOURS PRIOR TO CLOSE UP.
 - CONTRACTOR SHALL LAY OUT WORK AS SOON AS POSSIBLE. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.
- USE OF CONSTRUCTION DOCUMENTS:**
- THE GENERAL CONTRACTOR SHALL NOT SCALE THE DRAWINGS TO DETERMINE ANY DIMENSION. USE ONLY THE DIMENSIONS AS SHOWN ON THE DRAWINGS. CHECKED THERE BE A CRITICAL DIMENSION OMITTED OR AN UNCERTAINTY WITH THE DIMENSIONS SHOWN, VERIFY WITH THE ARCHITECT BEFORE PROCEEDING.
 - DRAWINGS SHALL NOT BE REPRODUCED FOR SUBMITTALS. DRAWINGS OR PORTIONS OF DRAWINGS USED FOR SUBMITTALS WILL BE REJECTED AND RETURNED TO CONTRACTOR.
 - DIMENSIONS ARE AS FOLLOWS UNLESS NOTED OTHERWISE:
A. FACE TO FACE
B. TO CENTERLINE OF COLUMN, PARTY WALL, WINDOWS AND DOORS
C. TO TOP OF STRUCTURAL SLAB
D. TO BOTTOM OF FINISHED CEILING
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND SUBMIT FOR REVIEW ANY SHOP DRAWINGS, MATERIAL SAMPLES AND MANUFACTURER'S PRINTED MATERIAL NECESSARY FOR AN ACCURATE COMPARISON TO BE MADE ON ANY ITEM SUBMITTED FOR INSTALLATION AND/OR SUBSTITUTION. ALL FIN. SELECTIONS SHALL BE MADE BY THE OWNER.
 - ALL CHANGES, OMISSIONS OR ADDITIONS TO THE SCOPE OF WORK DESCRIBED IN THESE CONTRACT DOCUMENTS MUST BE APPROVED BY THE ARCHITECT.

ANNOTATION SYMBOLS

- DEFINITIONS:**
- "ALERT" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE AND FINISH FACES IN THE SAME PLANE AND/OR TO INSTALL NEW CONSTRUCTION ADJACENT TO EXISTING CONSTRUCTION WITHOUT ANY VISIBLE JOINTS OR SURFACE IRREGULARITIES.
 - "CLEAR" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS NOT ADJUSTABLE WITHOUT THE APPROVAL OF THE ARCHITECT. CLEAR DIMENSIONS ARE TYPICALLY TO FINISH FACE. "MINIMUM OR MAX" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR QUANTITY GREATER THAN THAT SHOWN WITHOUT APPROVAL OF THE ARCHITECT.
 - "MINIMUM OR MAY" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR QUANTITY LESS THAN THAT SHOWN WITHOUT APPROVAL OF THE ARCHITECT.
 - "TYPICAL" OR "TYP" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION OR DIMENSION IS IN THE SAME OR SIMILAR CONDITION THROUGHOUT.
 - "X" AS USED IN THESE DOCUMENTS SHALL MEAN THE DIMENSION OR QUANTITY IS SLIGHTLY ADJUSTABLE TO ACCOMMODATE ACTUAL CONDITIONS.
- GENERAL CONSTRUCTION ISSUES:**
- ALL INSTALLED PLUMBING, MECHANICAL, AND ELECTRICAL EQUIPMENT SHALL OPERATE QUIETLY AND FREE FROM VIBRATION.
 - ALL MATERIALS SHALL BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT, UNLESS OTHERWISE NOTED, OR TO BE USED FOR FORMS AND/OR TEMPORARY STRUCTURES.
 - ALL SURFACES SHALL BE PROPERLY PREPARED BEFORE THE APPLICATION OF FINISH MATERIALS. TO BEGIN THE APPLICATION OF A FINISH MATERIAL MEANS THAT THE CONTRACTOR ACCEPTS THE SURFACE AND SUBSEQUENT RESPONSIBILITY FOR THE APPEARANCE OF THE FINAL FINISH.
 - ALL MATERIALS, FINISHES, AND EQUIPMENT REQUIRED FOR THE COMPLETION OF THE PROJECT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS, AS WELL AS GUIDELINES SET FORTH IN THESE DOCUMENTS.
 - MILKWORK CONSTRUCTION TO CONFORM WITH ASTM STANDARDS FOR PREMIUM MILKWORK. DRAWINGS SHALL INDICATE MILKWORK DESIGN INTENT ONLY. FABRICATOR IS RESPONSIBLE FOR PROPER EXECUTION AND SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL.
 - THE GENERAL CONTRACTOR SHALL CARRY A MINIMUM OF ONE (1) YEAR WRITTEN WARRANTY / GUARANTEE AGAINST DEFECTS STARTING FROM THE DATE OF APPROVAL FOR FINAL PAYMENT.
- RESC NOTES:**
- ALL WALLS ARE DIMENSIONED FROM OUTSIDE FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.
 - ALL ANGLE WALLS ARE DRAWN AT 45 DEGREES UNLESS NOTED OTHERWISE.
 - DO NOT SCALE THESE DRAWINGS. ALL CALCULATED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
 - CONFIRM ALL WINDOW OPENINGS WITH YOUR LOCAL EGRESS CODES.
- PROJECT SPECIFIC NOTES:**
- ALL INTERIOR METAL FRAMING (CMF) TO BE DEFERRED SUBMIT PER ENGINEER. REFER TO STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND INSTRUCTIONS.
 - GRADE HIGH FOR TERRAZZO, CEILING AND WATER SHEILD OR APPROVED EQUAL FOR USE UNDER METAL PANEL ROOFING MATERIALS.
 - 30 MIL FELT OR EQUIVALENT TO BE USED AS WATER RESISTIVE BARRIER AT EXTERIOR WALLS AS NOTED.
 - PROCEED FAST FLASH OR APPROVED EQUAL TO BE USED AS LIQUID FLASHING MATERIAL FOR SILLS, JAMBS, JOINTS, AND PENETRATIONS AS SEALANT.

APPLICABLE CODES

- APPLICABLE CODES AND STANDARDS (www.ok.gov/build)
- OKLAHOMA STATE BUILDING CODES
 - NATIONAL FIRE PROTECTION LIFE SAFETY: FIRE ALARM, AND FIRE SPRINKLER CODES (NFPA 72, 72.1 & 72.11) AS ADOPTED AND AMENDED BY THE USBC.
 - 2015 INTERNATIONAL BUILDING CODE (IBC) WITH STATE OF OKLAHOMA AMENDMENTS
 - 2015 INTERNATIONAL PLUMBING CODE (IPC) WITH STATE OF OKLAHOMA AMENDMENTS
 - 2015 INTERNATIONAL MECHANICAL CODE (IMC) WITH STATE OF OKLAHOMA AMENDMENTS
 - 2014 EDITION OF THE NATIONAL ELECTRICAL CODE (NEC)
 - 2015 INTERNATIONAL FIRE CODE WITH STATE OF OKLAHOMA AMENDMENTS
 - 2015 INTERNATIONAL FUEL GAS CODE (IFGC) WITH STATE OF OKLAHOMA AMENDMENTS
 - 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
 - 2010 ADA DESIGN GUIDELINES FOR ACCESSIBLE DESIGN
 - 2013 EDITION OF NFPA 704 (LIFE SAFETY CODE) (LSC)
 - FAR HOUSING ACT (FHA) - DESIGN MANUAL

PROJECT TEAM

OWNER	COLLECTIVE STRATEGIES 1786 MACARTHUR BOULEVARD BEMER, OK 73113 CONTACT: Nick Singer PHONE: 405.416.3126
ARCHITECT	SOUTHERN DESIGN GROUP, LLC DBA SDD ARCHITECTS 9819 KAVANAUGH BLVD. LITTLE ROCK, AR 72207 CONTACT: Elizabeth A. Glasgow, AIA PHONE: 501.504.0793
CONTRACTOR	BRASSWOOD CONSTRUCTION, LLC CONTACT: Bruce Matford PHONE:
STRUCTURAL ENGINEER	
MECHANICAL, ELECTRICAL, PLUMBING ENGINEER	
CIVIL ENGINEER	

NOT FOR CONSTRUCTION

THIS DOCUMENT IS PRELIMINARY IN NATURE AND IS NOT A FINAL SIGNED AND SEALED DOCUMENT

SCHEMATIC DESIGN DOCUMENTS
"NOT FOR CONSTRUCTION"

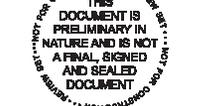
Project number: 20252
Date: 05.14.2024
Drawn by: MML
Checked by: ENL

G-001
COVER SHEET

SCALE: As indicated

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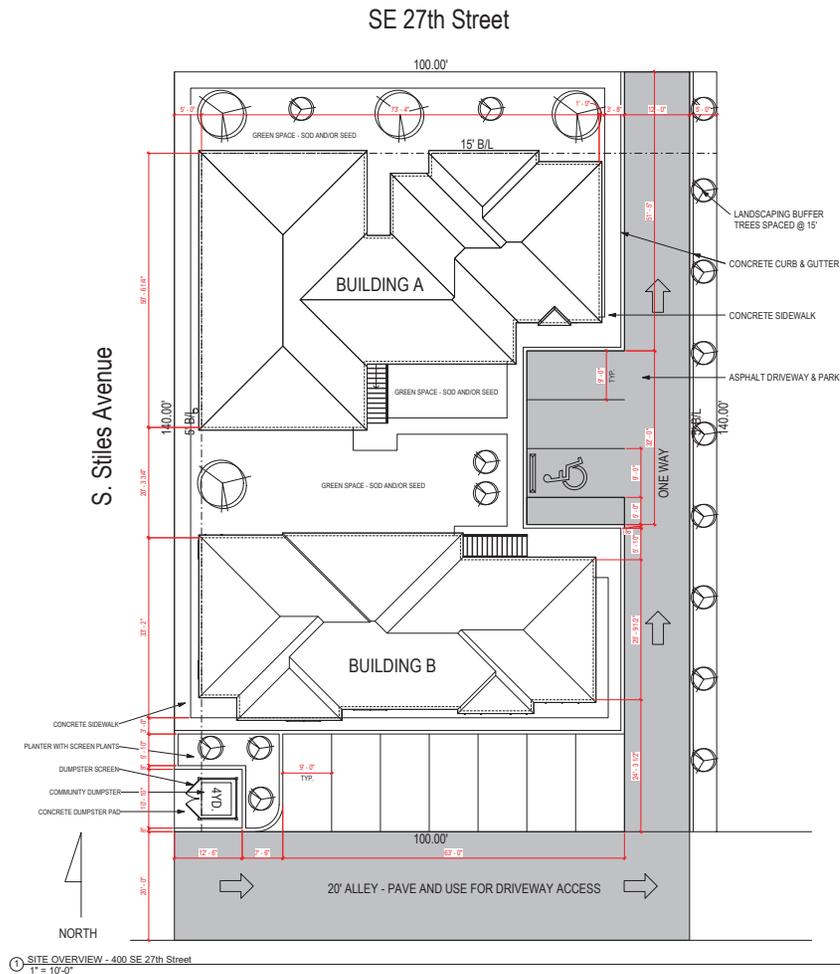


SCHEMATIC DESIGN DOCUMENTS
"NOT FOR CONSTRUCTION"

Project number: 20252
Date: 05.14.2024
Drawn by: MML
Checked by: ENL

G-001
COVER SHEET

SCALE: As indicated



① SITE OVERVIEW - 400 SE 27th Street
1" = 10'-0"

NOT FOR CONSTRUCTION



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501.798.8375 (P14)
www.sdg-architects.com
Architect of Record: Elizabeth Glasgow, AIA
OK License #: a3742
OK C.O.A. #: 02438

CONSULTANTS:

10-Unit Affordable Housing - CS
400 27th Street Oklahoma City, OK
BUILDING A & B

No.	Description	Date

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SCHEMATIC DESIGN DOCUMENTS
"NOT FOR CONSTRUCTION"

Project number: 20252
Date: 05.14.2024
Drawn by: EAG
Checked by: EAG

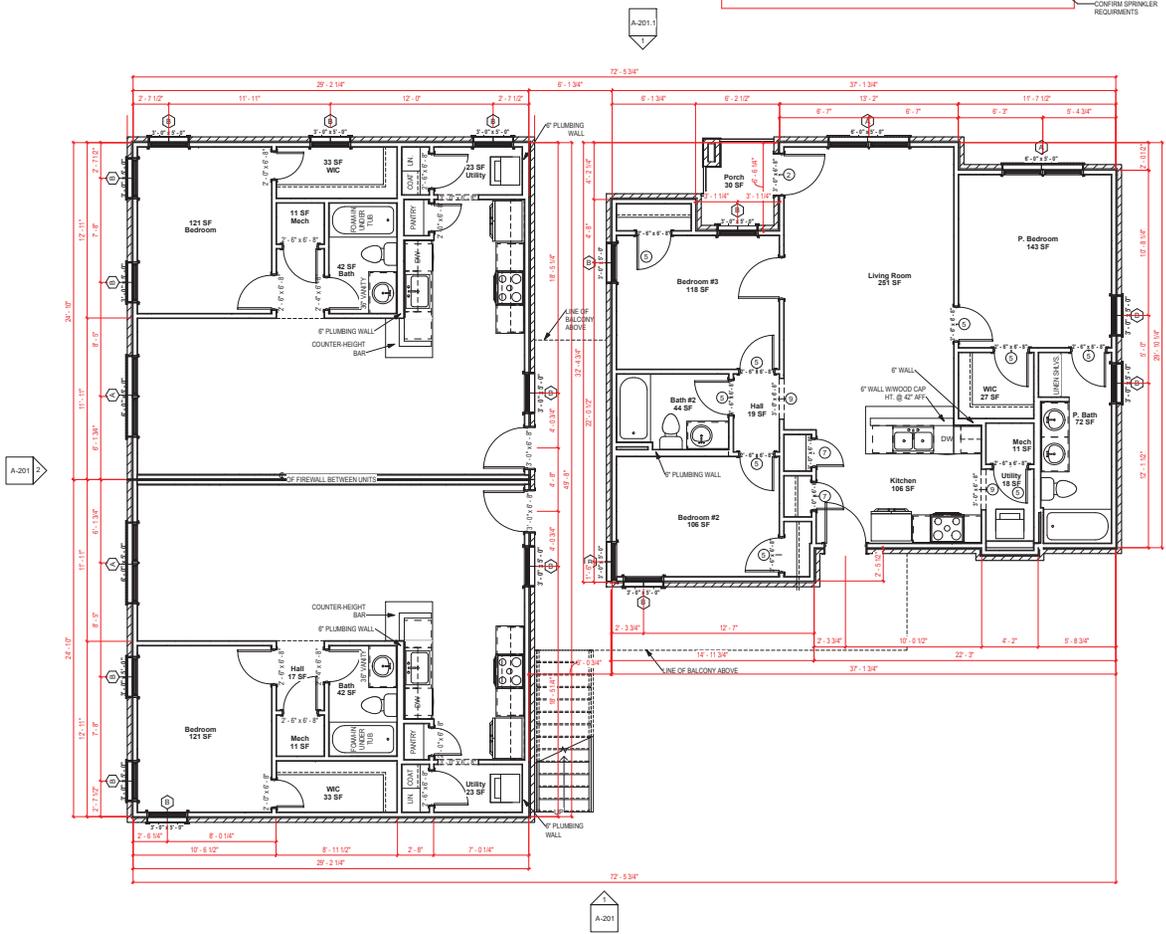
A-001
SITE OVERVIEW

SCALE: 1" = 10'-0"

"REFERENCE SHEET A-102 FOR ENLARGED KITCHEN AND BATHROOM PLANS"

NOTE: AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEMS MUST BE INSTALLED IN ACCORDANCE WITH NFPA 13R OF THE 2015 IBC.

CONFIRM SPRINKLER REQUIREMENTS



1 BUILDING A - 1ST FLOOR PLAN
1/4" = 1'-0"

WINDOW INFORMATION:
ALL WINDOW SIZES ARE INDICATED ON PLANS:

1. SOLAR HEAT GAIN MINIMUM: SHGC < 0.25
2. EGRESS AREA MEETS IBC 2015, SECTION 1030.2 MINIMUM OF 5.7 SF.
3. ENTRY DOORS: MASONITE HD STEEL - 2P SQUARE
4. PATIO DOORS: VISTA GRANDE 1-LITE TEMPERED GLASS
5. INTERIOR DOORS: MASONITE SOLID CORE PAINT GRADE - 2P SQUARE
6. EXTERIOR MECHANICAL DOORS: MASONITE HD STEEL - 2P SQUARE
7. STORM DOOR DOORS: MEET ICC 500 REQUIREMENTS

INSULATION

1. R15 BLOWN WALL: CERTAINTED INSULSAFE SF APPLIED TO ALL EXTERIOR WALL CAVITIES
2. R38 BLOWN ATTIC: 14.5" CERTAINTED INSULSAFE SF APPLIED TO ATTIC FLOOR JOIST SPACE
3. ENERGY SEAL PACKAGE: SODIAL (WINDOW DOOR) FOAM OR CALK ALL WINDOWS, DOORS, TOP PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS
4. SLAB EDGE: 3/4" DESE EPS, TYPE IX V (1.5LB/CF MIN), R-5
5. SOUND DAMPENING: AT PARTY WALLS - ACOUSTIC FIBERGLASS OR MINERAL FIBER BATT IN DOUBLE FRAMED WALL
6. AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR SEAL BETWEEN WALL BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE. BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL ENERGY ANALYSIS AND RATING SPECIFICATIONS

PLAN GENERAL NOTES

1. SEE COVER SHEET FOR GENERAL NOTES.
2. FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.
3. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
4. ALL WORK NEW UNLESS NOTED OTHERWISE.
5. ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS.
6. DO NOT SCALE DRAWINGS.
7. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE PART OF THE PROJECT COST.
8. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY EXAMINE THEMSELVES TO SITE SPECIFIC REQUIREMENTS AND EXTENTS OF THE NEW WORK PRIOR TO BIDDING. NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION DISCERNABLE FROM THE EXISTING CONDITIONS OR THE PROJECT DOCUMENTS.
9. REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF NEW WORK.
10. TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS 0'0" CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH ACTUAL CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CIVIL DRAWINGS.
11. PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK.
12. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT, WATER TIGHT, AIR TIGHT, ETC. PERFORMANCE.
13. ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING CONTRACTOR.
14. ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO END OF CABINET RUN ADJACENT TO REFRIGERATOR. LOCATIONS OF VERTICAL OFFSETS.
15. SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE LOCATIONS.
16. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10" BY CENTER VERTICALLY. TYPICAL CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL OUTLETS.
17. ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRE STOPPED WITH AN APPROVED FIRESTOPPING ASSEMBLY. UL INFORMATION SHALL BE PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION.
18. PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN ACCORDANCE WITH 2015 IBC.
19. PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILING. TYPICAL ALL UNITS.
20. PRIME PAINT AND SEAL EXISTING WALLS COLUMNS AND CEILING AS REQUIRED PRIOR TO INSTALLATION OF MERITPHONE/SECURITY INSTALLATION.
21. ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED. INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS. HARD-WIRED, WITH BATTERY BACKUP PER CODE.
22. SMOKE DETECTION / ALARMS SHALL BE INSTALLED PER SECTION 917.2.9 OF THE 2015 IBC.
23. CARBON MONOXIDE DETECTION SHALL BE INSTALLED PER SECTION 915 OF THE 2015 IBC.

PLUMBING GENERAL NOTES

1. THE CONTRACTOR SHALL COORDINATE THE ROUTING AND PATH OF PIPING WITH THE POSITION AND LAYOUT OF THE STRUCTURE. THIS CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR PIPING AS NEEDED TO INSTALL THE PLUMBING SYSTEM TO CLEAR STRUCTURE AND OTHER SYSTEMS IN CONFLICT WITH PIPING ROUTING.
2. COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS.
3. ALL WATER PIPING SHALL BE 3/4" UNLESS NOTED OTHERWISE.
4. NO PIPING SHALL BE INSTALLED WHERE IT WILL SUBJECT TO FREEZING TEMPERATURES. COORDINATE EXACT ROUTING OF ALL PIPING WITH OTHER TRADES, EQUIPMENT AND PLUMBING FIXTURES.
5. COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL EQUIPMENT.
6. NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL INSTALL ALL CODE REQUIRED CLEANOUTS. COORDINATE LOCATIONS WITH ARCHITECT.



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CONSULTANTS:

10-Unit Affordable Housing - CS
400 27th Street Oklahoma City, OK
BUILDING A & B

No.	Description	Date

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SCHEMATIC DESIGN DOCUMENTS
"NOT FOR CONSTRUCTION"

Project number	20252
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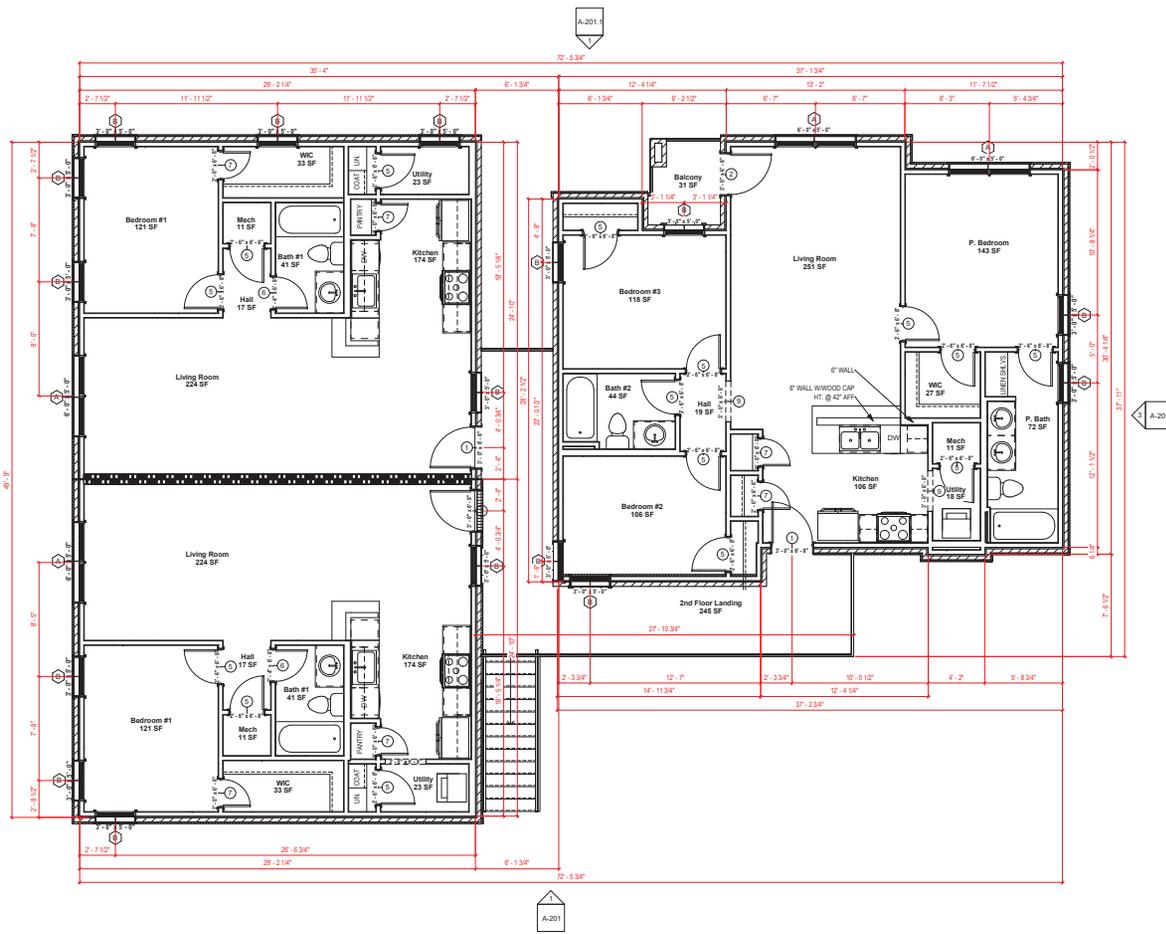
A-101.3
BUILDING A - 1ST FLOOR PLAN

SCALE: As indicated

"REFERENCE SHEET A-403 FOR ENLARGED KITCHEN AND BATHROOM PLANS"

NOTE: AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEMS MUST BE INSTALLED IN ACCORDANCE WITH NFPA 13R OF THE 2015 IBC.

CONFIRM SPRINKLER REQUIREMENTS



1 BUILDING A - 2ND FLOOR PLAN
1/4" = 1'-0"

WINDOW INFORMATION:
ALL WINDOW SIZES ARE INDICATED ON PLANS:

1. SOLAR HEAT GAIN MINIMUM: SHGC ≤ 0.25
2. EGRESS AREA MEETS IBC 2015, SECTION 1030.2 MINIMUM OF 5.7 SF.

DOOR INFORMATION:
ALL DOOR SIZES ARE INDICATED ON PLANS:

1. ENTRY DOORS: MASONITE HD STEEL - 2P SQUARE
2. PATIO DOORS: VISTA GRANDE LITE TEMPERED GLASS
3. INTERIOR DOORS: MASONITE SOLID CORE PAINT GRADE - 3P SQUARE
4. EXTERIOR MECHANICAL DOORS: MASONITE HD STEEL - 2P SQUARE
5. STORM ROOM DOORS: MEET ICC 500 REQUIREMENTS

INSULATION

1. R15 BLOWN ATTIC: CERTAINTED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES
2. R38 BLOWN ATTIC: 14.5" CERTAINTED INSULSAFE SP APPLIED TO ATTIC LIVING SPACE
3. ENERGY SEAL PACKAGE: SOLID WINDOW DOOR FOAM OR CAULK ALL WINDOWS, DOORS, TOP-PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS.
4. SLAB EDGE: 3/4" DESE EPS, TYPE IX V (15LB/CF MIN), R-5
5. SOUND DAMPENING: AT PARTY WALLS - ACOUSTIC FIBERGLASS OR MINERAL FIBER MATS IN DOUBLE FRAMED WALL
6. AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR. SEAL BETWEEN WALL BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE. BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL ENERGY AUDIT (RES-RATE) RATINGS SPECIFICATIONS.

PLAN GENERAL NOTES

1. SEE COVER SHEET FOR GENERAL NOTES.
2. FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.
3. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
4. ALL WORK NEW UNLESS NOTED OTHERWISE.
5. ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS.
6. DO NOT SCALE DRAWINGS.
7. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHALL BE PART OF THE PROJECT COST.
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9. REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF NEW WORK.
10. TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS 9'-0". CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH ALL EXISTING CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CIVIL DRAWINGS.
11. PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK.
12. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT, WATERTIGHT, AIRTIGHT, ETC. PERFORMANCE.
13. ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING CONTRACTOR.
14. ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO END OF CABINET RUN ADJACENT TO REFRIGERATOR. LOCATIONS OF VERTICAL OFFSETS.
15. SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE CAVITIES. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT (1) BY CENTER VERTICALLY, TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL OUTLETS.
16. ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION.
17. PROVIDE FIRE BLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN ACCORDANCE WITH 2015 IBC.
18. PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS, TYPICAL ALL UNITS.
19. PRIME, PAINT, AND SEAL EXISTING WALLS, COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF ME/TELEPHONE/SECURITY INSTALLATION.
20. ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS, HARD-WIRED, WITH BATTERY BACKUP PER CODE.
21. SMOKE DETECTION / ALARMS SHALL BE INSTALLED PER SECTION 907.2.9 OF THE 2015 IBC.
22. CARBON MONOXIDE DETECTION SHALL BE INSTALLED PER SECTION 915 OF THE 2015 IBC.

PLUMBING GENERAL NOTES

1. THE CONTRACTOR SHALL COORDINATE THE ROUTING AND PATH OF PIPING WITH THE POSITION AND LAYOUT OF THE STRUCTURE. THIS CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR PIPING AS NEEDED TO INSTALL THE PLUMBING SYSTEM TO CLEAR STRUCTURE AND OTHER SYSTEMS IN CONFLICT WITH PIPE ROUTING.
2. COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS.
3. ALL WATER PIPING SHALL BE 3/4" UNLESS NOTED OTHERWISE.
4. NO PIPING SHALL BE INSTALLED WHERE IT WILL BE SUBJECT TO FREEZING TEMPERATURES. COORDINATE EXACT ROUTING OF ALL PIPING WITH OTHER TRADES, EQUIPMENT AND PLUMBING FIXTURES.
5. COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL EQUIPMENT.
6. NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL INSTALL ALL CODE REQUIRED CLEANOUTS. COORDINATE LOCATIONS WITH ARCHITECT.



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OK C.O.A. #: 02438

CONSULTANTS:

10-Unit Affordable Housing - CS
400 27th Street Oklahoma City, OK
BUILDING A & B

No.	Description	Date

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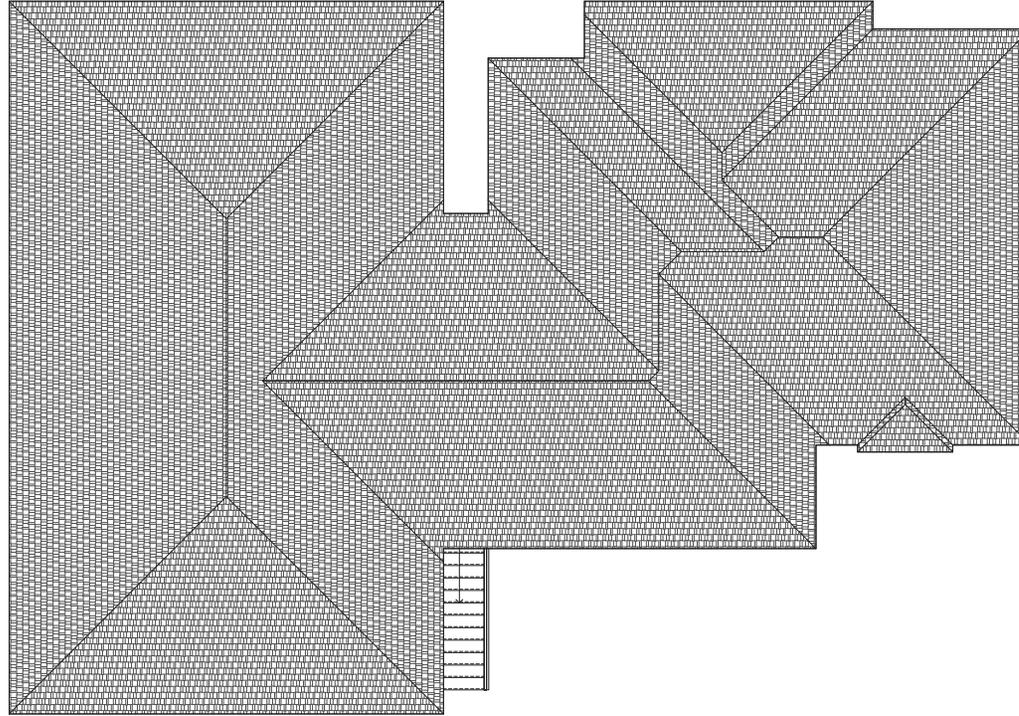


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Project number: 20252
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Drawn by: EAG
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A-101.4
BUILDING A - 2ND FLOOR PLAN

SCALE: As indicated



1 BUILDING A - ROOF PLAN
1/4" = 1'-0"

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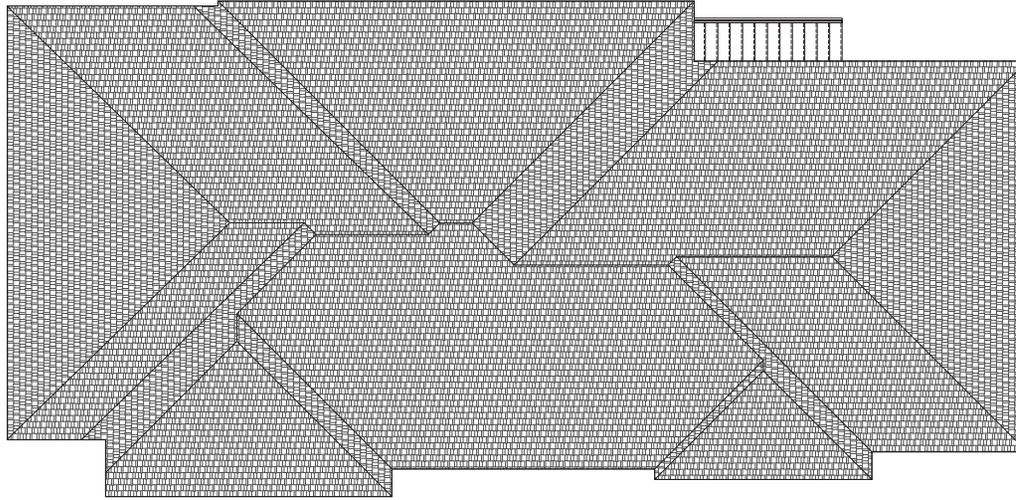


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Project number 20252
Date 05.14.2024
Drawn by EAG
Checked by EAG

A-102
BUILDING A - ROOF
PLAN

SCALE: 1/4" = 1'-0"



1 BUILDING B - ROOF PLAN
1/4" = 1'-0"

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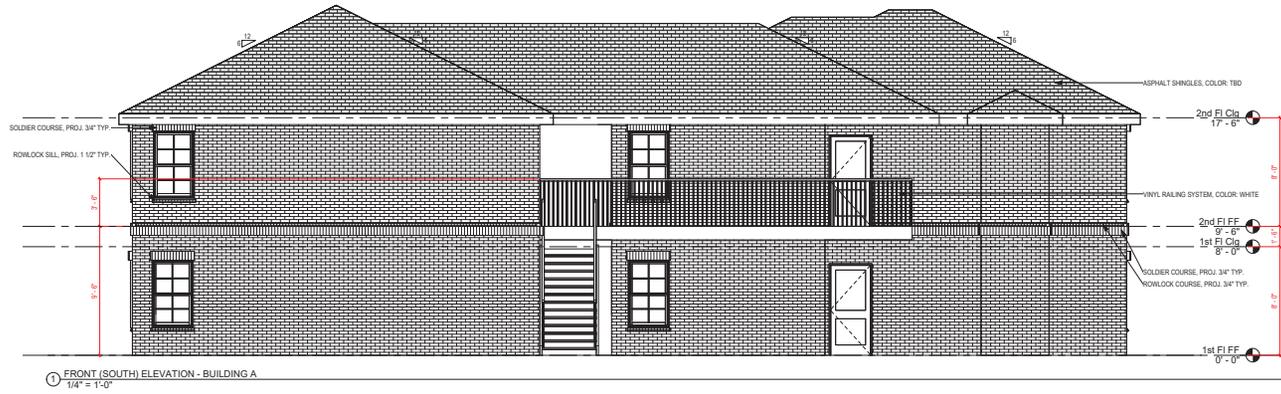


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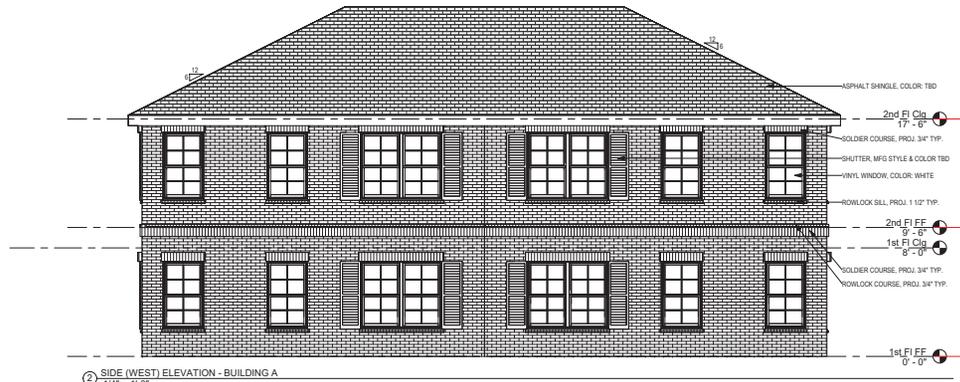
Project number 20252
Date 05.14.2024
Drawn by EAG
Checked by EAG

A-102.1
BUILDING B - ROOF
PLAN

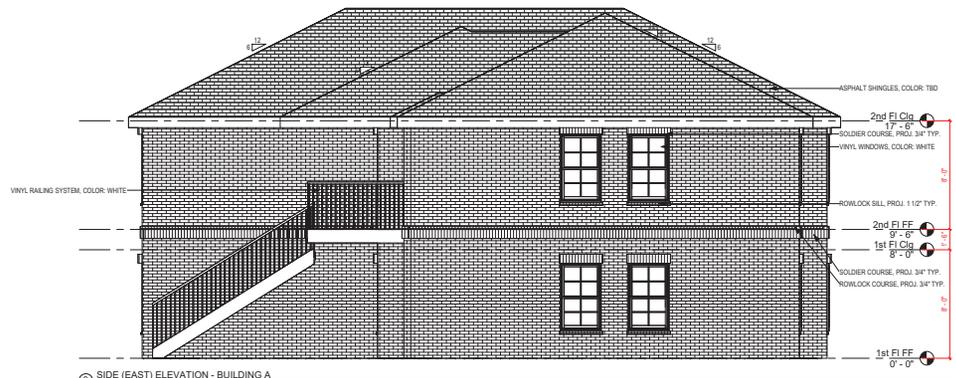
SCALE: 1/4" = 1'-0"



1 FRONT (SOUTH) ELEVATION - BUILDING A
1/4" = 1'-0"



2 SIDE (WEST) ELEVATION - BUILDING A
1/4" = 1'-0"



3 SIDE (EAST) ELEVATION - BUILDING A
1/4" = 1'-0"

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A-201
EXTERIOR ELEVATIONS - BLDG. A

SCALE: 1/4" = 1'-0"

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1 REAR (NORTH) ELEVATION - BUILDING A
1/4" = 1'-0"

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A-201.1
EXTERIOR
ELEVATIONS - BLDG.
A

SCALE: 1/4" = 1'-0"

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