

THE CITY OF OKLAHOMA CITY
SIMPLIFIED PLANNED UNIT DEVELOPMENT
SPUD-1646
MASTER DESIGN STATEMENT

June 11, 2024
July 30, 2024

PREPARED BY:

Collective Strategies LLC
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Oklahoma City, OK 73129
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SPUD-1646 MASTER DESIGN STATEMENT

This document serves as the Master Design Statement and fulfills the ordinance requirements for the Simplified Planned Unit Development (Chapter 59, Section 14150.B of the Oklahoma City Municipal Code, 2020, as amended).

I. Special Development Regulations:

The following Special Development Regulations and/or limitations are placed upon the development of the Simplified Planned Unit Development. Planning and zoning regulations will be those that are in effect at the time of development of this Simplified Planned Unit Development; provided, however, that the density and or intensity of the SPUD shall not be increased. Development is when a permit is issued for any construction or addition to any structure on a development tract. Certain zoning districts are referred to as a part of the Special Development Regulations of this Simplified Planned Unit Development. For purposes of interpretation of these Special Development Regulations, the operative and controlling language and regulations of such zoning districts shall be the language and regulations applicable to the referenced zoning districts as contained in the City of Oklahoma City's Planning and Zoning Code as such exists at the time of development of this Simplified Planned Unit Development. In the event of conflict between provisions of this SPUD and any of the provisions of the Oklahoma City Municipal Code, as amended ("Code"), in effect at the time a permit is applied for with respect to any lot, block, tract and/or parcel of land subject to this SPUD, the provisions of the Code shall prevail and be controlling; provided however, that in the event of a conflict between the Special Use and Development Regulations specifically negotiated as a part of this SPUD and the provisions of the Code in effect at the time a permit is applied for with respect to any lot, block, tract and/or parcel of land subject to this SPUD, such Special Use and Development Regulations of this SPUD shall prevail and be controlling.

1. This site will be developed in accordance with the regulation of the **R-4 General Residential District** (OKC Zoning Ordinance, 2020, as amended), except that the following restrictions will apply:

The following use(s) will be the only use(s) permitted on this site:

Multiple-Family Residential (8200.12), Limited to 10 dwellings.
Single-Family Residential (8200.14)
Three- and Four-Family Residential (8200.15)
Two-Family Residential (8200.16)

1.1 Minimum Lot Size: The minimum lot size shall be 14,000 square feet.

1.2 Minimum Lot Width: The minimum lot width shall be 100 feet.

2. **Maximum Building Height:** Maximum height of any building within this SPUD shall be 2.5 Stories and 35 feet.

3. **Maximum Building Size:** The coverage of buildings within this SPUD shall be limited to 35%.
4. **Maximum Number of Buildings:** 3
5. **Building Setback Lines**
 - Front Yard: 15'
 - Rear Yard: 5'
 - Side Yard: 5'
 - Corner Side Yard: 5'
6. **Sight-proof Screening:** Not required.
7. **Landscaping:** The subject parcel shall meet all requirements of the City of Oklahoma City's Landscaping Ordinance in place at the time of development.
 - a) Trees shall be planted along SE 27th Street and South Stiles Avenue at one medium or large tree per 50 feet of street frontage.
 - b) A 10-foot landscape buffer consisting of a minimum of 2 large trees and 16 shrubs shall be planted on the east side of the SPUD boundary.
8. **Signs:** No freestanding signs shall be permitted. Identification signs and attached signs per the base zoning district are permitted.
9. **Access:** One driveway off SE 27th Street and one driveway off South Stiles Avenue may be permitted. The site may be accessed from the alley, if the alley is constructed to meet City standards along the boundary of the SPUD.
10. **Sidewalks:** Five-foot sidewalks are required along SE 27th Street and South Stiles Avenue. Sidewalks shall be provided in accordance with the City of Oklahoma City Municipal Code and ADA requirements at the time of construction of this SPUD.

II. Other Development Regulations:

1. **Architecture:** The buildings will be clad in brick with vinyl windows and railings. Each building wall that faces a street shall have a minimum of 30% transparency.

Exterior building wall finish on all structures shall consist of a minimum 70% brick veneer, masonry, rock, stone, stucco, or wood, or other similar type finish. A maximum of 30% EIFS (Exterior Insulation Finish System) material shall be permitted. Exposed metal or exposed concrete block buildings shall not be permitted.

2. **Open Space:** There shall be a minimum of 30% open space, defined as no buildings or paving, required for this SPUD.
3. **Street Improvements:** The alley will be paved to allow access to parking spaces and parking along the east side of the development. The alley shall be constructed to meet City standards.
4. **Site Lighting:** The site lighting in this SPUD shall be in accordance with Chapter 59, Article XII, Section 59-12350 of the Oklahoma City Municipal Code, 2020, as amended.
5. **Dumpsters:** Trash collection facilities in this PUD shall be in accordance with Chapter 49 of the Oklahoma City Municipal Code, 2020, as amended.
 - a. All dumpsters shall be screened from view from the right-of-way of any public or private street, and from any adjacent residential zone or use.
 - b. Dumpsters shall be screened to a height sufficient to shield dumpster from sight on three sides by using a single opaque material wall or fence, or by using a combination of opaque materials, berming, and/or evergreen landscaping that provides the required screening effect and on the fourth side screened by a solid gate of height sufficient to shield dumpster from sight.
 1. The gate shall remain closed except when trash pick-ups occur.
 2. Dumpsters may also be screened by the wall(s) of a principal or accessory structure. Chain-link fencing with woven slats of opaque material is not acceptable for screening dumpsters.
 3. Dumpsters shall be located at least 25 feet from adjacent residential uses.

- 6. Parking:** The subject parcel shall meet the design requirements of the Oklahoma City Municipal Code, 2020, as amended, except that the residential parking ratio for this SPUD shall be one (1) space per dwelling.
- a. Permeable paving may be used for parking areas, driveways and pathways, subject to Public Works Review and approval.
 - 1. Where connected to public rights-of-way that access drive apron will be constructed of hard surface paving meeting City code for driveway construction.
 - 2. A hard surface border is required around the perimeter of permeable paving areas.
 - 3. Maintenance of the permeable paving is required, and a maintenance plan must be provided when construction documents are submitted for permitting.
 - 4. Gravel drives shall not be permitted.
- 7. Maintenance:**
- Maintenance of all common areas, private drainage easements, and islands/medians in the development and maintenance of all amenities located within the common areas shall be the responsibility of the owner(s) of said property.
- 8. Drainage:**
- No structures, storage of material, grading, fill, or other obstructions, including fences, either temporary or permanent, that shall cause a blockage of flow or an adverse effect on the functioning of the storm water facility, shall be placed within the common areas intended for the use of conveyance of storm water, and/or drainage easements shown.
- 9. Other:** N/A

III. Supporting Documents

Exhibit A: Legal Description:

Exhibit B: Site Plan and Render of Proposed Structure (Planning set)

SPUD-1646 Exhibit A – Legal Description

Lots Thirteen (13) through Sixteen (16) in Block Thirty (30) of SCHILLING ADDITION to Oklahoma City, Oklahoma County, Oklahoma, according to the recorded plat thereof.



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5619 Kavanaugh Blvd.
Little Rock, AR 72207
580.798.0373 (PH)
www.sdg-architects.com
Architect of Record: Elizabeth Glasgow, AIA
OK License #: a5742
OK COA #: 02438

CONSULTANTS:

**10-Unit Affordable
Housing - CS
400 27th Street Oklahoma
City, OK**

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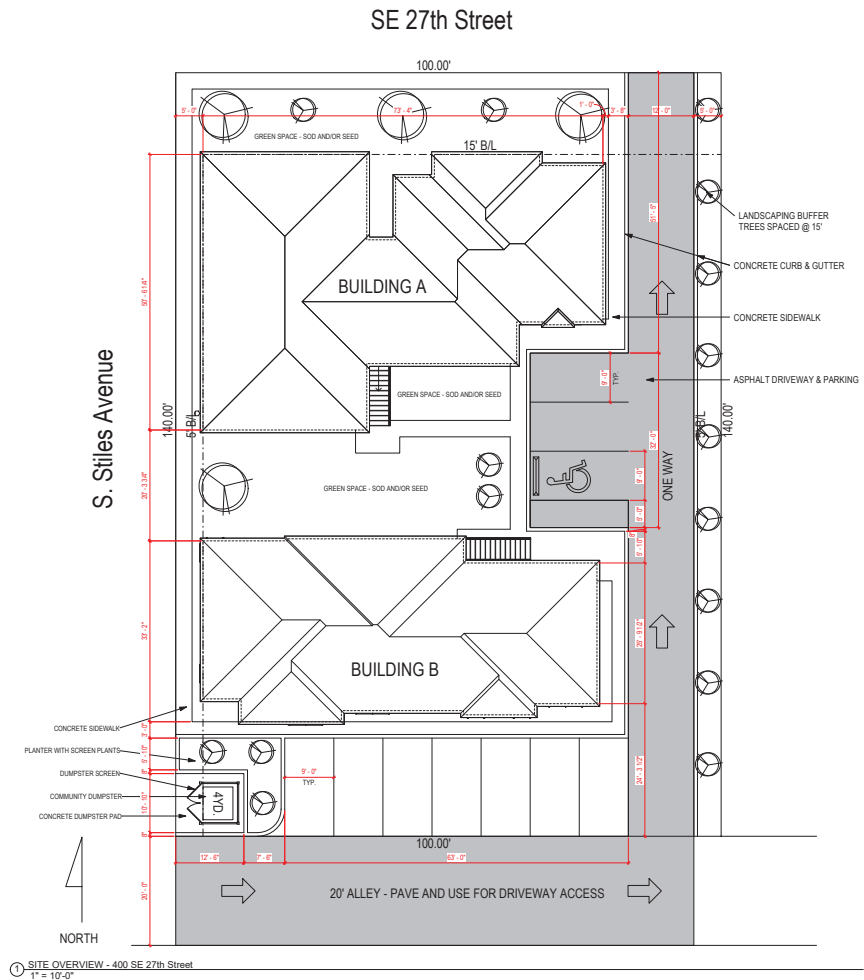
Project number	20252
Date	05.14.2024
Drawn by	EAG
Checked by	EAG

A-001

SITE OVERVIEW

SCALE: 1" = 10'-0"

5/10/2024 6:01:40 PM



WINDOW INFORMATION:
ALL WINDOW SIZES ARE INDICATED ON PLANS:

- SOLAR HEAT GAIN MINIMUM: SHGC ≤ 0.25
- EGRESS AREA MEETS IBC 2015, SECTION 1030.2 MINIMUM OF 5.7 SF.

DOOR INFORMATION:
ALL DOOR SIZES ARE INDICATED ON PLANS:

- ENTRY DOORS: MASONITE HD STEEL - 2P SQUARE
- PATIO DOORS: VISTA GRANDE 1-LITE TEMPERED GLASS
- INTERIOR DOORS: MASONITE SOLID CORE PAINT GRADE - 2P SQUARE
- EXTERIOR MECHANICAL DOORS: MASONITE HD STEEL - 2P SQUARE
- STORM ROOM DOORS: MEET ICC 500 REQUIREMENTS

INSULATION

- R15 BLOWN WALL: CERTAINTED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES
- R38 BLOWN ATTIC: 14.5" CERTAINTED INSULSAFE SP APPLIED TO ATTIC LIVING SPACE
- ENERGY SEAL PACKAGE: SQUAL (WINDOW DOOR) FOAM OR CAULK ALL WINDOWS, DOORS, TOP PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS
- SLAB EDGE: 3/4" DESE EPS TYPE IX V (1.5LB/CF MIN), R-5
- SOUND DAMPENING: AT PARTY WALLS - ACOUSTIC FIBERGLASS OR MINERAL FIBER BATTS IN DOUBLE FRAMED WALL
- AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR. SEAL BETWEEN WALL BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE. BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL ENERGY ANALYSIS AND RATINGS SPECIFICATIONS.

PLAN GENERAL NOTES

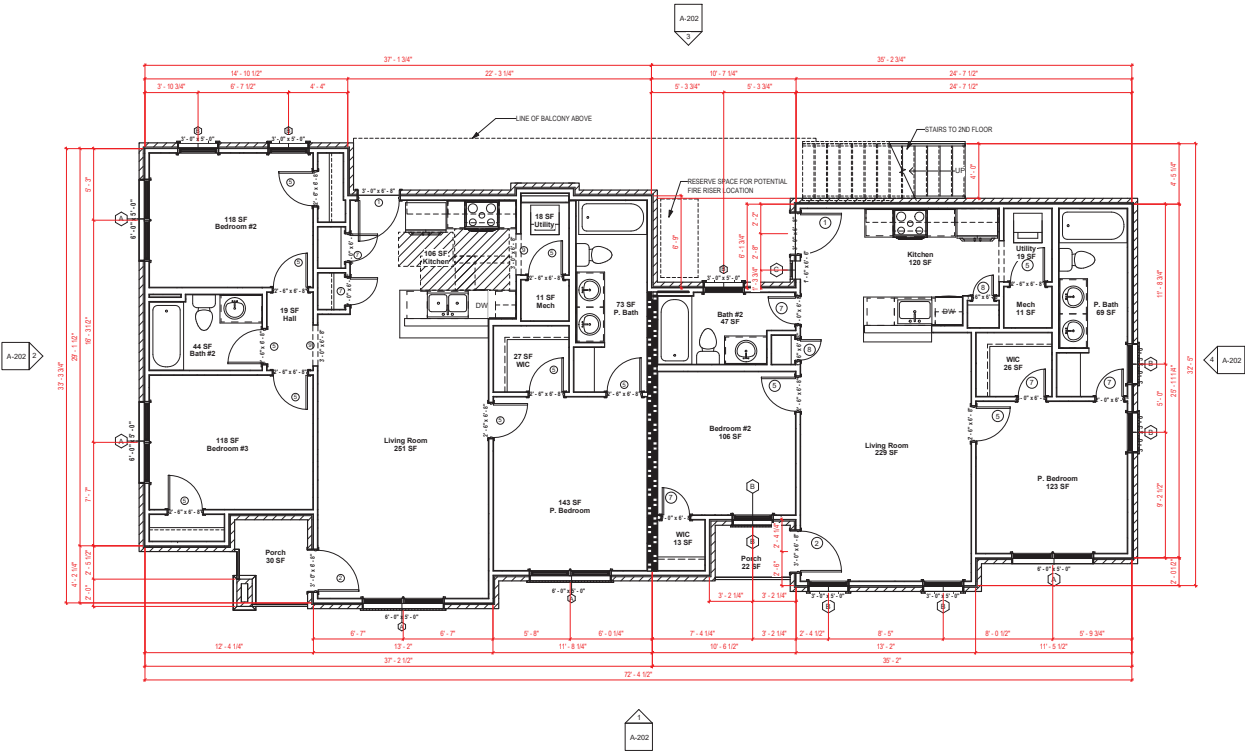
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- ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS.
- DO NOT SCALE DRAWINGS.
- NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE PART OF THE PROJECT COST.
- GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY FAMILIARIZE THEMSELVES TO SITE SPECIFIC REQUIREMENTS AND EXTENTS OF THE NEW WORK PRIOR TO BIDDING. NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION DISCERNABLE FROM THE EXISTING CONDITIONS OR THE PROJECT DOCUMENTS.
- REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF NEW WORK.
- TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS 0'-0". CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH ACTUAL CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CIVIL DRAWINGS.
- PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK.
- CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT, WATERTIGHT, AIRTIGHT, ETC. PERFORMANCE.
- ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING CONTRACTOR.
- ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO END OF CABINET RUN ADJACENT TO REFRIGERATOR, LOCATIONS OF VERTICAL OFFSETS.
- SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE LAYOUTS. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER VERTICALLY. TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL OUTLETS.
- ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION.
- PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN ACCORDANCE WITH 2015 IBC.
- PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS, TYPICAL ALL UNITS.
- PRIME, PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF ME/TELEPHONE/SECURITY INSTALLATION.
- ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS. HARD-WIRED, WITH BATTERY BACKUP PER CODE.
- SMOKE DETECTION / ALARMS SHALL BE INSTALLED PER SECTION 907.2.9 OF THE 2015 IBC.
- CARBON MONOXIDE DETECTION SHALL BE INSTALLED PER SECTION 915 OF THE 2015 IBC.

PLUMBING GENERAL NOTES

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- COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS.
- ALL WATER PIPING SHALL BE 3/4" UNLESS NOTED OTHERWISE.
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- COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL EQUIPMENT.
- NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL INSTALL ALL CODE REQUIRED CLEANOUTS. COORDINATE LOCATIONS WITH ARCHITECT.

NOTE: AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEMS MUST BE INSTALLED IN ACCORDANCE WITH NFPA 13R OF THE 2015 IBC.

CONFIRM SPRINKLER REQUIREMENTS



1. BUILDING B - 1ST FLOOR PLAN
1/4" = 1'-0"

NOT FOR CONSTRUCTION



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5619 Kavanaugh Blvd.
Little Rock, AR 72207
501.788.8373 (PH)
www.sdg-architects.com
Architect of Record: Elizabeth Glasgow, AIA
OK License #: a3742
OK CDA #: 02438

CONSULTANTS:

10-Unit Affordable
Housing - CS
400 27th Street Oklahoma
City, OK
BUILDING A & B

No.	Description	Date

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SCHEMATIC DESIGN DOCUMENTS
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Project number 20252
Date 05.14.2024
Drawn by EAG
Checked by EAG

A-101
BUILDING B - 1ST
FLOOR PLAN

SCALE: As indicated

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- 4. SLAB EDGE: 3/4" DESE EPS TYPE IX V (1.5LB/CF MIN), R-5
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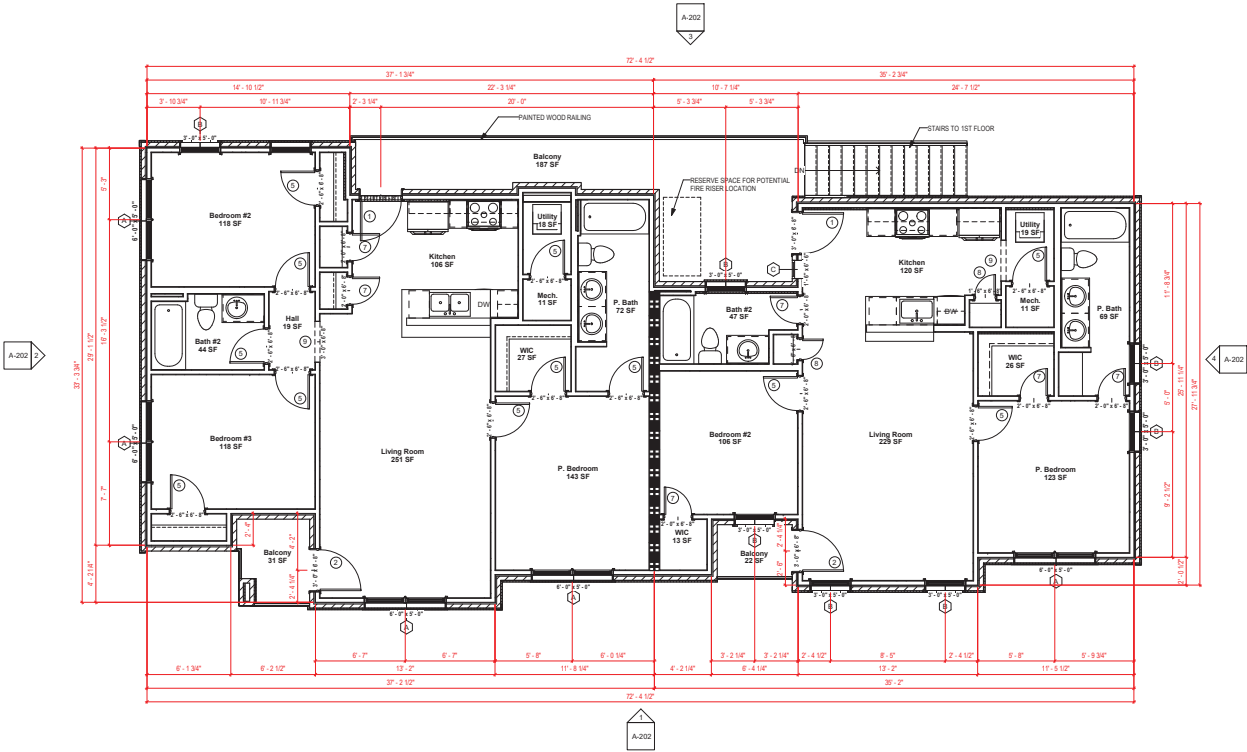
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CONFIRM SPRINKLER REQUIREMENTS



1. BUILDING B - 2ND FLOOR PLAN
1/4" = 1'-0"

NOT FOR CONSTRUCTION



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5619 Kavanaugh Blvd.
Little Rock, AR 72207
501.788.8373 (PH)
www.sdg-architects.com
Architect of Record: Elizabeth Glasgow, AIA
OK License #: a3742
OK CDA #: 02438

CONSULTANTS:

10-Unit Affordable
Housing - CS
400 27th Street Oklahoma
City, OK
BUILDING A & B

No.	Description	Date

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SCHEMATIC DESIGN DOCUMENTS
"NOT FOR CONSTRUCTION"

Project number 20252
Date 05.14.2024
Drawn by EAG
Checked by EAG

A-101.1
BUILDING B - 2ND
FLOOR PLANS

SCALE: As indicated

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4. SLAB EDGE: 3" DENSE EPS, TYPE IV V1 (SLICF MIN), R4
5. SOUND DAMPENING: AT PARTY WALLS - ACOUSTIC FIBERGLASS OR MINERAL FIBER BATTS IN DOUBLE FRAMED WALL.
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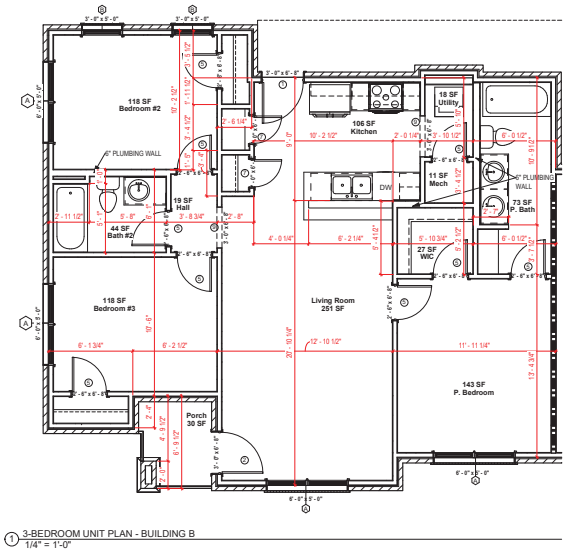
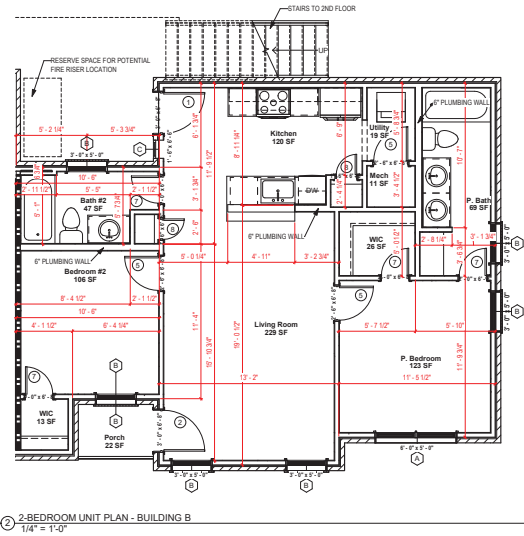
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15. SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE LAYOUTS. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER VERTICALLY. TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL OUTLETS.
16. ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION.
17. PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN ACCORDANCE WITH 2015 IBC.
18. PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS, TYPICAL ALL UNITS.
19. PRIME PAINT, AND SEAL EXISTING WALLS, COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF MEPIPHONE/SECURITY INSTALLATION.
20. ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED. INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE. INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS. HARD-WIRED, WITH BATTERY BACKUP PER CODE.
21. SMOKE DETECTION / ALARMS SHALL BE INSTALLED PER SECTION 907.2.9 OF THE 2015 IBC.
22. CARBON MONOXIDE DETECTION SHALL BE INSTALLED PER SECTION 915 OF THE 2015 IBC.

PLUMBING GENERAL NOTES

1. THE CONTRACTOR SHALL COORDINATE THE ROUTING AND PATH OF PIPING WITH THE POSITION AND LAYOUT OF THE STRUCTURE. THIS CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR PIPING AS NEEDED TO INSTALL THE PLUMBING SYSTEM TO CLEAR STRUCTURE AND OTHER SYSTEMS IN CONFLICT WITH PIPE ROUTING.
2. COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS.
3. ALL WATER PIPING SHALL BE 3/4" UNLESS NOTED OTHERWISE.
4. NO PIPING SHALL BE INSTALLED WHERE IT WILL BE SUBJECT TO FREEZING TEMPERATURES. COORDINATE EXACT ROUTING OF ALL PIPING WITH OTHER TRADES, EQUIPMENT AND PLUMBING FIXTURES.
5. COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL EQUIPMENT.
6. NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL INSTALL ALL CODE REQUIRED CLEANOUTS. COORDINATE LOCATIONS WITH ARCHITECT.

NOTE: AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEMS MUST BE INSTALLED IN ACCORDANCE WITH NFPA 13R OF THE 2015 IBC; IBC.

CONFIRM SPRINKLER REQUIREMENTS

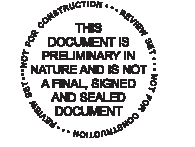


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www.sdg-architects.com
Architect of Record: Elizabeth Glasgow, AIA
OK License #: a3742
OK CDA #: 02438

CONSULTANTS:

10-Unit Affordable Housing - CS 400 27th Street Oklahoma City, OK		
BUILDING A & B		
No.	Description	Date

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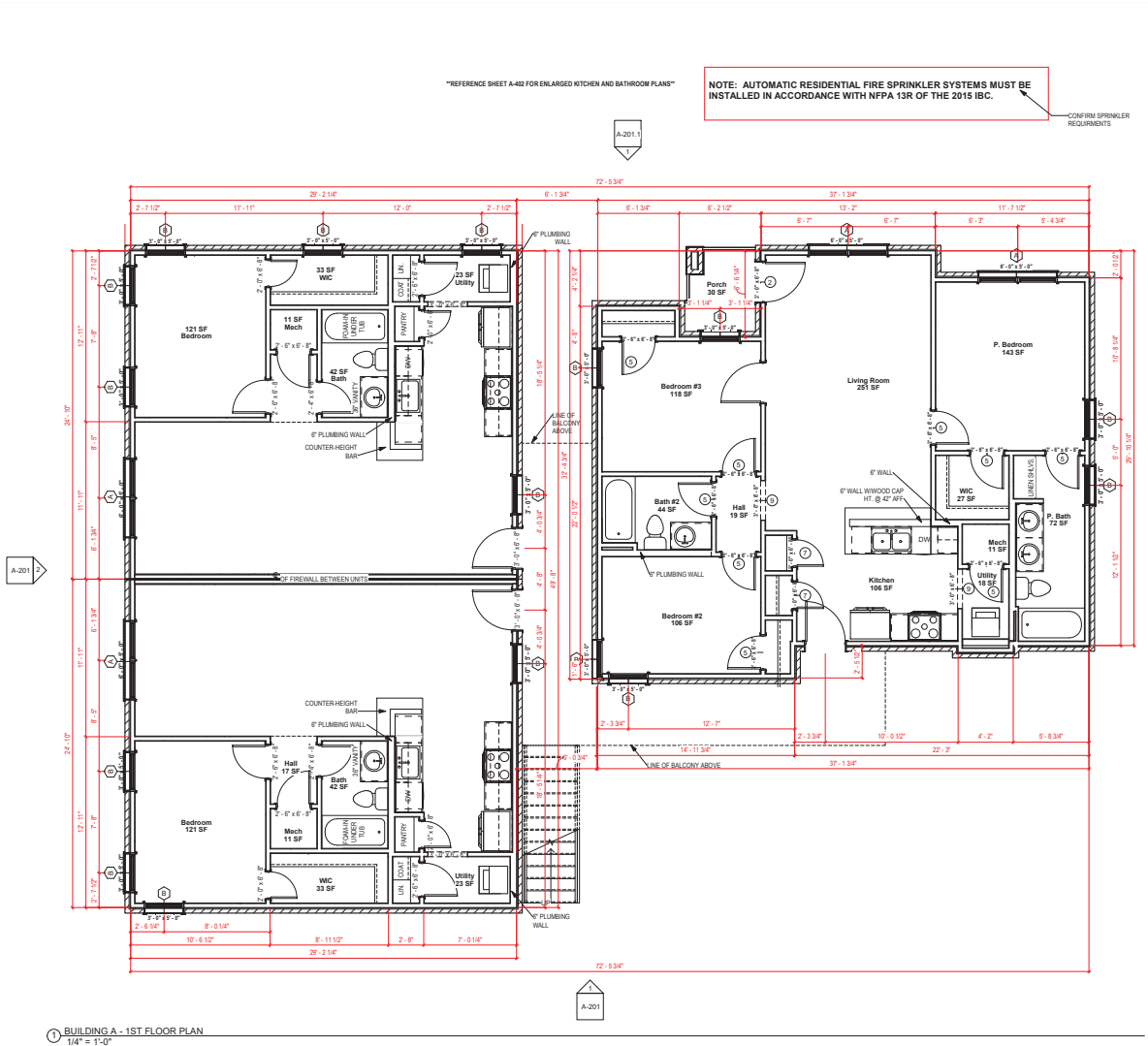


SCHEMATIC DESIGN DOCUMENTS
"NOT FOR CONSTRUCTION"

Project number 20252
Date 05.14.2024
Drawn by EAG
Checked by EAG

A-101.2
BUILDING B - UNIT
PLANS

SCALE: As indicated



WINDOW INFORMATION:
ALL WINDOW SIZES ARE INDICATED ON PLANS:

1. SOLAR HEAT GAIN MINIMUM: SHGC ≤ 0.25
 2. EGRESS AREA MEETS IBC 2015, SECTION 1030.2 MINIMUM OF 5.7 SF.
- DOOR INFORMATION:**
ALL DOOR SIZES ARE INDICATED ON PLANS:
1. ENTRY DOORS: MASONITE HD STEEL - 2P SQUARE
 2. PATIO DOORS: VISTA GRANDE 1-LITE TEMPERED GLASS
 3. INTERIOR DOORS: MASONITE SOLID CORE PAINT GRADE - 3P SQUARE
 4. EXTERIOR MECHANICAL DOORS: MASONITE HD STEEL - 2P SQUARE
 5. STORM DOOR DOORS: MEET ICC 500 REQUIREMENTS

- INSULATION**
1. R-15 BLOWN WALL: CERTAINTED INSULSAFE 5P APPLIED TO ALL EXTERIOR WALL CAVITIES
 2. R-38 BLOWN ATTIC: 14.5" CERTAINTED INSULSAFE 5P APPLIED TO ATTIC FLOOR SPACE
 3. ENERGY SEAL PACKAGE: SODAL (WINDOW DOOR) FOAM OR CAULK ALL WINDOWS, DOORS, TOP PLATE, VERTICAL BEAMS & ALL HOLE PENETRATIONS
 4. SLAB EDGE: 3/4" DESE EPS, TYPE IX V (15LB/CF MIN), R-5
 5. SOUND DAMPENING: AT PARTY WALLS - ACOUSTIC FIBERGLASS OR MINERAL FIBER BATT IN DOUBLE FRAMED WALL
 6. AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR. SEAL BETWEEN WALL BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE. BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL ENERGY ANALYSIS AND RATING SPECIFICATIONS

- PLAN GENERAL NOTES**
1. SEE COVER SHEET FOR GENERAL NOTES.
 2. FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.
 3. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
 4. ALL WORK NEW UNLESS NOTED OTHERWISE.
 5. ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS.
 6. DO NOT SCALE DRAWINGS.
 7. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHALL BE PART OF THE PROJECT COST.
 8. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY FAMILIARIZE THEMSELVES TO SITE SPECIFIC REQUIREMENTS AND EXTENTS OF THE NEW WORK PRIOR TO BIDDING. NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION DISCOVERABLE FROM THE EXISTING CONDITIONS OR THE PROJECT DOCUMENTS.
 9. REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF NEW WORK.
 10. TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS 0'-0". CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH ACTUAL CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CIVIL DRAWINGS.
 11. PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK.
 12. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT, WATERTIGHT, AIR TIGHT, ETC. PERFORMANCE.
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 18. PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN ACCORDANCE WITH 2015 IBC.
 19. PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS, TYPICAL ALL UNITS.
 20. PRIME, PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF MERITELPHONE/SECURITY INSTALLATION.
 21. ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS, HARD-WIRED, WITH BATTERY BACKUP PER CODE.
 22. SMOKE DETECTION / ALARMS SHALL BE INSTALLED PER SECTION 907.2.3 OF THE 2015 IBC.
 23. CARBON MONOXIDE DETECTION SHALL BE INSTALLED PER SECTION 915 OF THE 2015 IBC.

PLUMBING GENERAL NOTES

1. THE CONTRACTOR SHALL COORDINATE THE ROUTING AND PATH OF PIPING WITH THE POSITION AND LAYOUT OF THE STRUCTURE. THIS CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR PIPING AS NEEDED TO INSTALL THE PLUMBING SYSTEM TO CLEAR STRUCTURE AND OTHER SYSTEMS IN CONFLICT WITH PIPE ROUTING.
2. COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS.
3. ALL WATER PIPING SHALL BE 3/4" UNLESS NOTED OTHERWISE.
4. NO PIPING SHALL BE INSTALLED WHERE IT WILL SUBJECT TO FREEZING TEMPERATURES. COORDINATE EXACT ROUTING OF ALL PIPING WITH OTHER TRADES, EQUIPMENT AND PLUMBING FIXTURES.
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6. NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL INSTALL ALL CODE REQUIRED CLEANOUTS. COORDINATE LOCATIONS WITH ARCHITECT.



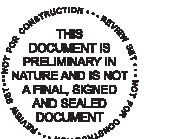
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OK License #: a3742
OK CDA #: 02438

CONSULTANTS:

10-Unit Affordable Housing - CS
400 27th Street Oklahoma City, OK
BUILDING A & B

No.	Description	Date

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SCHEMATIC DESIGN DOCUMENTS
"NOT FOR CONSTRUCTION"

Project number	20252
Date	05.14.2024
Drawn by	EAG
Checked by	EAG

A-101.3
BUILDING A - 1ST FLOOR PLAN

SCALE: As indicated

"REFERENCE SHEET A-403 FOR ENLARGED KITCHEN AND BATHROOM PLANS"

NOTE: AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEMS MUST BE INSTALLED IN ACCORDANCE WITH NFPA 13R OF THE 2015 IBC.

CONFIRM SPRINKLER REQUIREMENTS

WINDOW INFORMATION:

ALL WINDOW SIZES ARE INDICATED ON PLANS:

1. SOLAR HEAT GAIN MINIMUM: SHGC ≤ 0.25
2. EGRESS AREA MEETS IBC 2015, SECTION 1030.2 MINIMUM OF 5.7 SF.

DOOR INFORMATION:

ALL DOOR SIZES ARE INDICATED ON PLANS:

1. ENTRY DOORS: MASONITE HD STEEL - 2P SQUARE
2. PATIO DOORS: VISTA GRANDE 1-LITE TEMPERED GLASS
3. INTERIOR DOORS: MASONITE SOLID CORE PAINT GRADE - 3P SQUARE
4. EXTERIOR MECHANICAL DOORS: MASONITE HD STEEL - 2P SQUARE
5. STORM DOOR DOORS: MEET CC 500 REQUIREMENTS

INSULATION

1. R15 BLOWN WALL: CERTAINTED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES
2. R38 BLOWN ATTIC: 14.5" CERTAINTED INSULSAFE SP APPLIED TO ATTIC LIVING SPACE
3. ENERGY SEAL PACKAGE: SODAL WINDOW DOOR FOAM OR CALK ALL WINDOWS, DOORS, TOP-PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS.
4. SLAB EDGE: 3/4" DESE EPS, TYPE IX V (15LB/CF MIN), R-5
5. SOUND DAMPENING: AT PARTY WALLS - ACOUSTIC FIBERGLASS OR MINERAL FIBER BATTS IN DOUBLE FRAMED WALL
6. AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR - SEAL BETWEEN WALL-BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE. BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL ENERGY ANALYSIS (RENER) RATINGS SPECIFICATIONS.

PLAN GENERAL NOTES

1. SEE COVER SHEET FOR GENERAL NOTES.
2. FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.
3. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
4. ALL WORK NEW UNLESS NOTED OTHERWISE.
5. ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS.
6. DO NOT SCALE DRAWINGS.
7. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHALL BE PART OF THE PROJECT COST.
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9. REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF NEW WORK.
10. TYPICAL TOP OF FIRST FLOOR SUB FLOOR ELEVATION IS REFERENCED AS 0'-0" CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH ACTUAL CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CIVIL DRAWINGS.
11. PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK.
12. CALK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT, WATERTIGHT, AIRTIGHT, ETC. PERFORMANCE.
13. ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING CONTRACTOR.
14. ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO END OF CABINET RUN ADJACENT TO REFRIGERATOR, LOCATIONS OF VERTICAL OFFSETS.
15. SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE (S) AND LOCATIONS. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 1/2" DIA. CENTER VERTICALLY. TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL OUTLETS.
16. ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION.
17. PROVIDE FIRE BLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN ACCORDANCE WITH 2015 IBC.
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19. PRIME, PAINT, AND SEAL EXISTING WALLS, COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF ME/TELEPHONE/SECURITY INSTALLATION.
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21. SMOKE DETECTION / ALARMS SHALL BE INSTALLED PER SECTION 907.2.3 OF THE 2015 IBC.
22. CARBON MONOXIDE DETECTION SHALL BE INSTALLED PER SECTION 915 OF THE 2015 IBC.
23. CARBON MONOXIDE DETECTION SHALL BE INSTALLED PER SECTION 915 OF THE 2015 IBC.

PLUMBING GENERAL NOTES

1. THE CONTRACTOR SHALL COORDINATE THE ROUTING AND PATH OF PIPING WITH THE POSITION AND LAYOUT OF THE STRUCTURE. THIS CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR PIPING AS NEEDED TO INSTALL THE PLUMBING SYSTEM TO CLEAR STRUCTURE AND OTHER SYSTEMS IN CONFLICT WITH PIPE ROUTING.
2. COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS.
3. ALL WATER PIPING SHALL BE 3/4" UNLESS NOTED OTHERWISE.
4. NO PIPING SHALL BE INSTALLED WHERE IT WILL SUBJECT TO FREEZING TEMPERATURES. COORDINATE EXACT ROUTING OF ALL PIPING WITH OTHER TRADES, EQUIPMENT AND PLUMBING FIXTURES.
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Architect of Record: Elizabeth Glasgow, AIA
OK License #: a3742
OK COA #: 02438

CONSULTANTS:

10-Unit Affordable
Housing - CS
400 27th Street Oklahoma
City, OK

BUILDING A & B

No.	Description	Date

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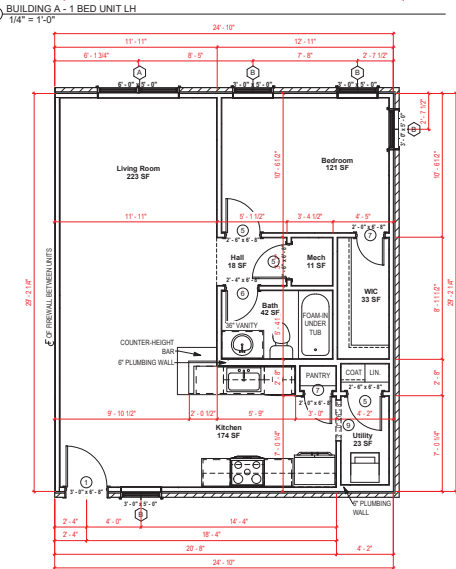
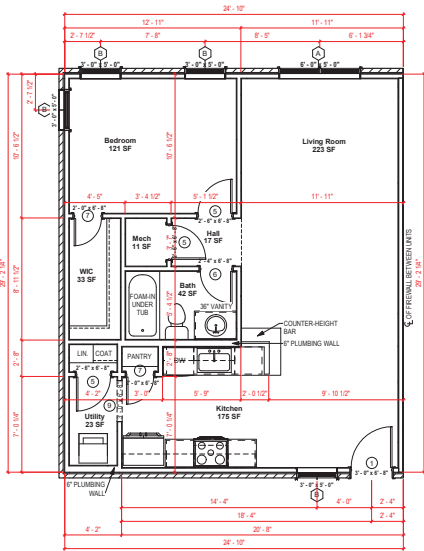
SCHEMATIC DESIGN DOCUMENTS
"NOT FOR CONSTRUCTION"

Project number 20252
Date 05.14.2024
Drawn by EAG
Checked by EAG

A-101.4
BUILDING A - 2ND
FLOOR PLAN

SCALE: As indicated

01/03/2024 6:01:54 PM

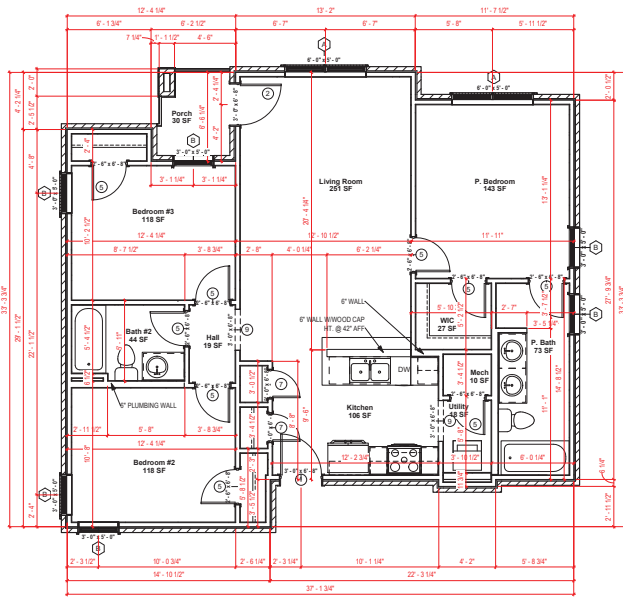


② BUILDING A - 1 BED UNIT RH
1/4" = 1'-0"

"REFERENCE SHEET A-404 AND A-405 FOR ENLARGED KITCHEN AND BATHROOM PLANS"

NOTE: AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEMS MUST BE INSTALLED IN ACCORDANCE WITH NFPA 13R OF THE 2015 IBC.

CONFIRM SPRINKLER REQUIREMENTS



③ BUILDING A - 3 BED UNIT
1/4" = 1'-0"

WINDOW INFORMATION:

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1. SOLAR HEAT GAIN MINIMUM: SHGC ≤ 0.25
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5. STORM DOOR DOORS: MEET ICC 500 REQUIREMENTS

INSULATION

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3. ENERGY SEAL PACKAGE: SQUALD (WINDOW DOOR) FOAM OR CAULK ALL WINDOWS, DOORS, TOP PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS
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PLAN GENERAL NOTES

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Little Rock, AR 72207

588.788.8373 (PH)

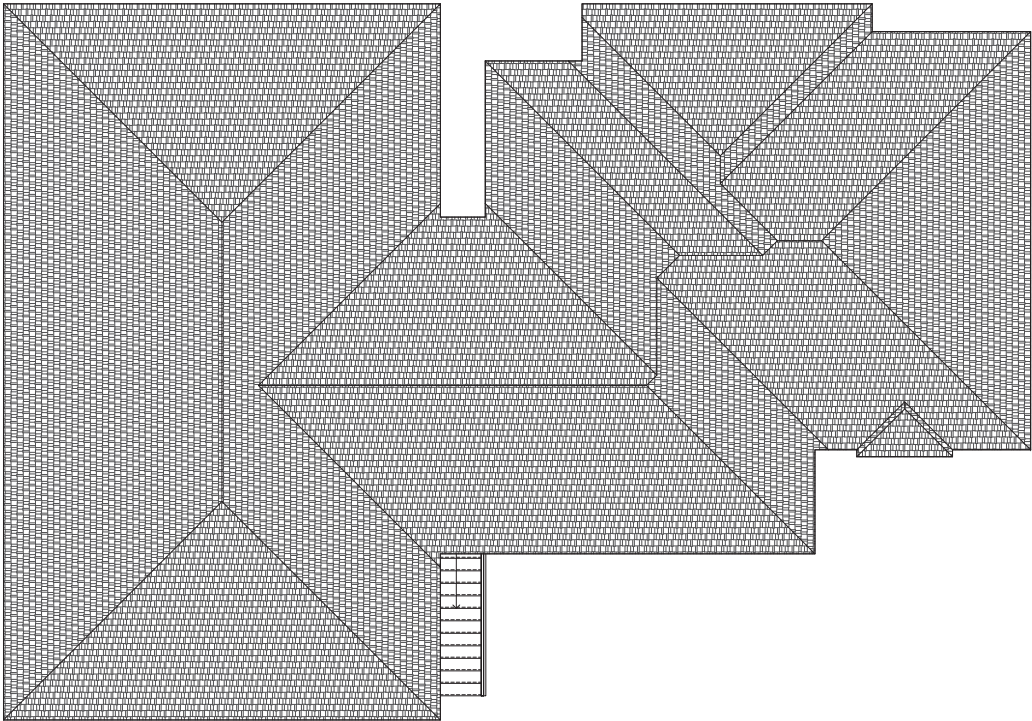
www.sdg-architects.com

Architect of Record: Elizabeth Glasgow, AIA

OK License #: a3742

OK COA #: 02438

CONSULTANTS:



1 BUILDING A - ROOF PLAN
1/4" = 1'-0"

NOT FOR CONSTRUCTION



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Architect of Record: Elizabeth Glasgow, AIA
OK License #: a3742
OK COA #: 02438

CONSULTANTS:

10-Unit Affordable
Housing - CS
400 27th Street Oklahoma
City, OK

BUILDING A & B

No.	Description	Date

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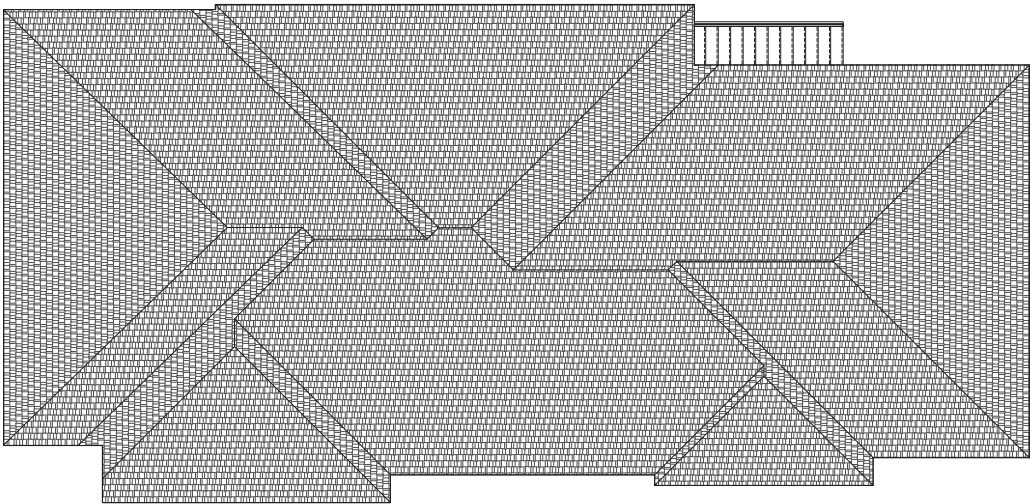


SCHEMATIC DESIGN DOCUMENTS
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Project number 20252
Date 05.14.2024
Drawn by EAG
Checked by EAG

A-102
BUILDING A - ROOF
PLAN

SCALE: 1/4" = 1'-0"



① BUILDING B - ROOF PLAN
1/4" = 1'-0"

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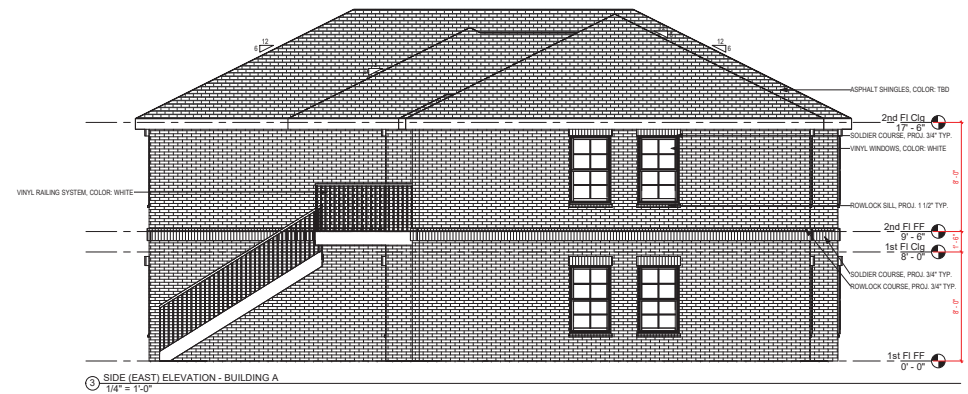
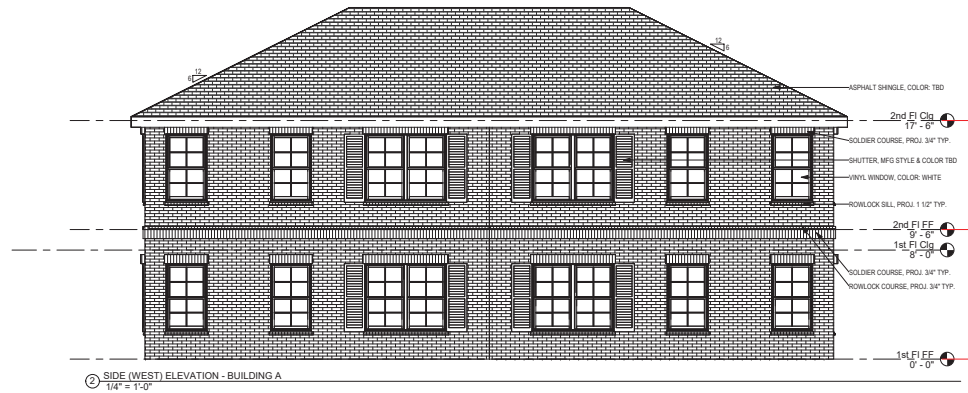
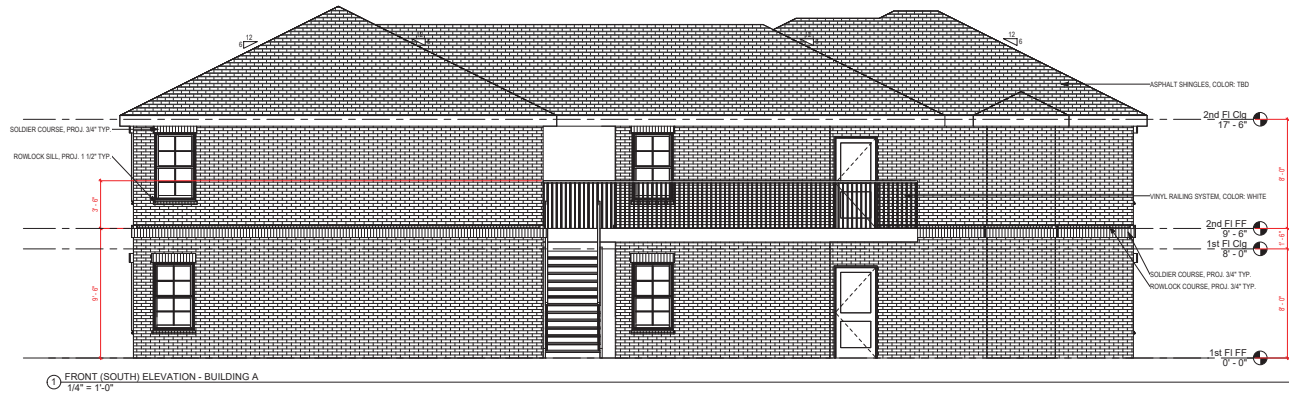
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Project number 20252
Date 05.14.2024
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A-102.1
BUILDING B - ROOF
PLAN

SCALE: 1/4" = 1'-0"

01/05/2024 6:02:01 PM



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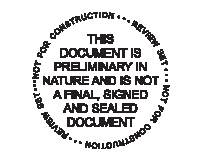
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Project number 20252
Date 05.14.2024
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A-201
EXTERIOR
ELEVATIONS - BLDG.
A

SCALE: 1/4" = 1'-0"

6/10/2024 6:02:04 PM



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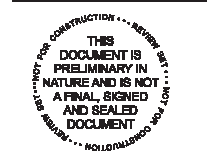
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BUILDING A & B

No.	Description	Date

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Project number 20252
Date 05.14.2024
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Checked by EAG

A-201.1
EXTERIOR
ELEVATIONS - BLDG.
A

SCALE: 1/4" = 1'-0"

01/03/2024 6:02:07 PM



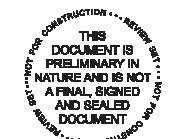
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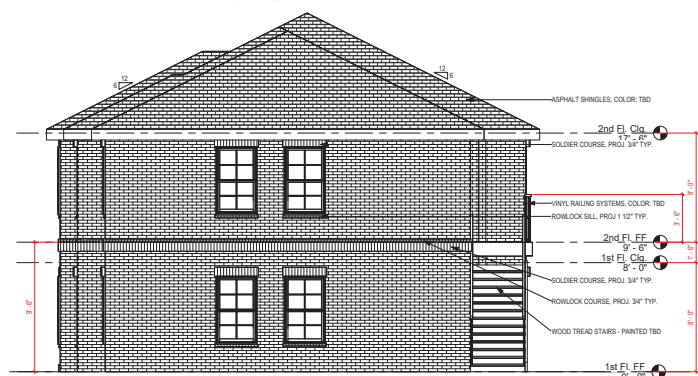
A-202
EXTERIOR
ELEVATIONS - BLDG.
B

SCALE: 1/4" = 1'-0"

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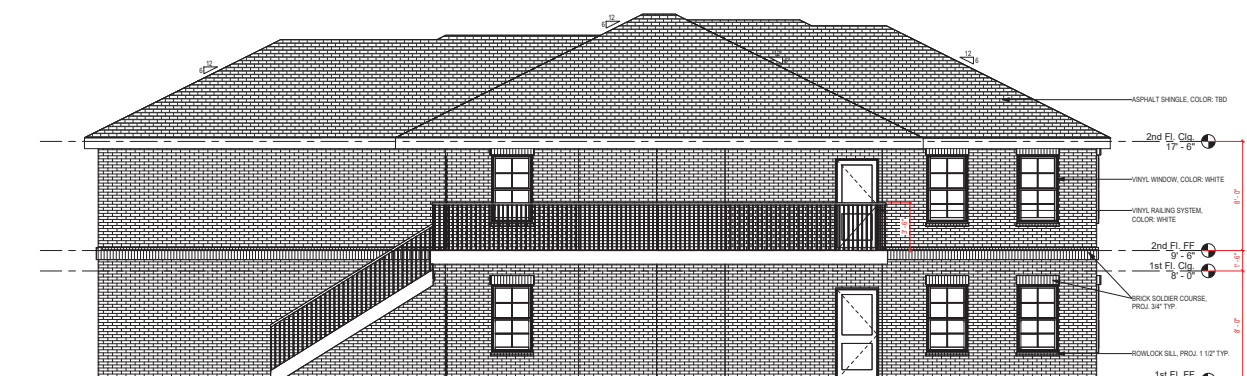
1 REAR (SOUTH) ELEVATION - BUILDING B
1/4" = 1'-0"



4 SIDE (EAST) ELEVATION - BUILDING B
1/4" = 1'-0"



2 SIDE (WEST) ELEVATION - BUILDING B
1/4" = 1'-0"



3 FRONT (NORTH) ELEVATION - BUILDING B
1/4" = 1'-0"