



The City of
OKLAHOMA CITY

**CERTIFICATE OF APPROVAL
DOWNTOWN DESIGN REVIEW DISTRICT
DTCA-24-00023**

Applicant:

Amanda LaBrosse
ADGBlatt
920 W Main St
Oklahoma City, OK 73106

Owner:

Barry Drew Haynes
SSM Health St Anthony Hospital
1000 N Lee Ave
Oklahoma City, OK 73106

On 5/15/2024, the Planning Department staff received your application for a Certificate of Approval. In accordance with §59-7200 of the Oklahoma City Municipal Code, also known as the Downtown Zoning Ordinance, staff of the Oklahoma City Planning Department has reviewed in detail the application for **608 NW 9th St**. Staff has determined that the following is in conformance with the provisions of the Ordinance:

- 1) **Remove 2 trees: and**
- 2) **Construct 1,010 sq. ft. addition clad with EIFS.**

Note: All items are elective unless construction is started.

All four (4) attachments must remain together for this document to be valid. Work must be completed within two years of the date of the original approval and must be performed exactly as shown on approved plans.

Approved:

06/03/2024

Effective:

06/18/2024

Expires:

06/03/2026

Note: Work may not commence until after the mandatory 10-working day appeal period starting from the date of approval.

Upon completion of your project, please contact the Planning Department (405-297-1624) for final Special Zoning inspection.

Attest:



Laura Griggs, AICP, Senior Planner
Secretary, Downtown Design Review Committee

*Your project may require a permit. Please check with the **Plan Review** section of the Development Services Department, 8th Floor, 420 W Main St (405-297-2525), for details. To obtain a permit, please submit the Certificate of Approval with the original attachments stamped "approved."*



920 W Main
Oklahoma City, OK, 73106
405.232.5700

101 S Broadway, Suite: #200
Edmond, OK 73034
405.340.8552

DDRC NARRATIVE

DATE: 5/14/2024

PROJECT: SSM Health St Anthony – Cardiology Clinic Addition

PROJECT NO: 23-066

Description of work:

This project shall provide a 1,010 GSF new mechanical space addition to the St. Anthony Professional Building for the purpose of providing additional air handling support to serve patient care departments on the first and second floors.

The addition shall be located at the SW corner of the building - occupying previously undeveloped permeable surface area requiring the removal of two trees located adjacent to the existing south building entrance.

Exterior wall construction is composed of 12-inch CMU bearing a low-slope roof with consistent parapet height on all sides. The finished face of CMU wall shall be a back-drained synthetic stucco system emulating the existing adjacent building's cast concrete wall in texture and color. Horizontal reveal banding shall be provided to match & align with the existing building's reveal profiles.

Overall building addition height is approximately 16'-0" above finish grade and maintains a roughly 8'-0" deep light & mechanical well at the east end of the addition.

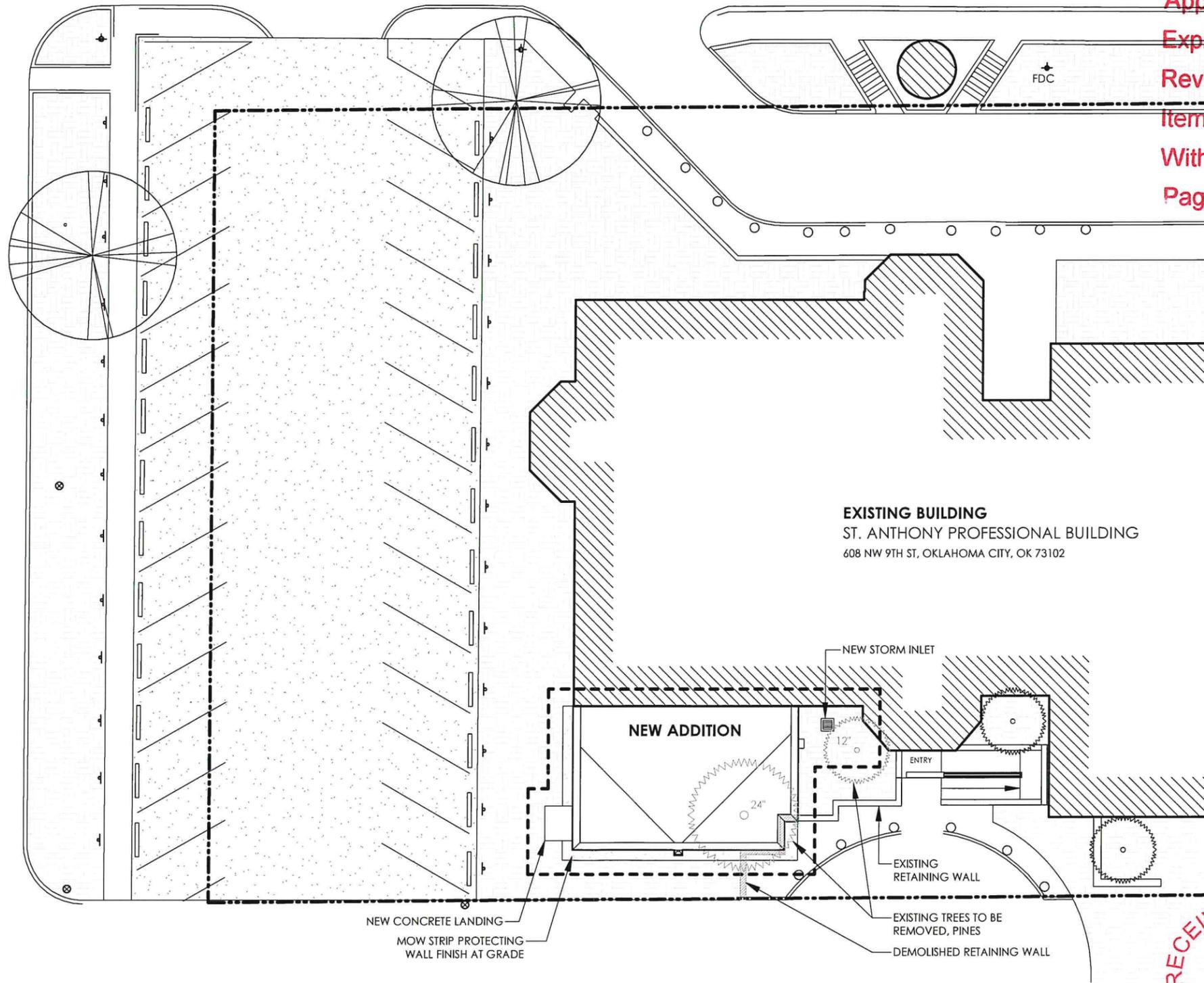
DESIGN REVIEW
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Revised Date: / /
Items: Approved By: lg
With: Condition(s) / Variance
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NW 9TH STREET
CENTER OF RIGHT-OF-WAY

N LEE AVENUE
CENTER OF RIGHT-OF-WAY



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SITE PLAN LEGEND:	
+	EXISTING HYDRANT / FDC
⊙	EXISTING POWER POLE
○	EXISTING BOLLARD
⌵	EXISTING PARKING SIGN
▭	EXISTING PARKING BLOCK
▭	PERMEABLE SITE
▭	EXISTING ASPHALT PAVING
▭	MOW STRIP, CONCRETE
⊙	EXISTING TREE, CONIFER
⊙	EXISTING TREE, DECIDUOUS
- - -	CENTER OF RIGHT-OF-WAY
- - -	PROPERTY LINE
- - -	BUILDING ADDITION AREA OF WORK

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 MAY 31 2024
 PLANNING DEPARTMENT

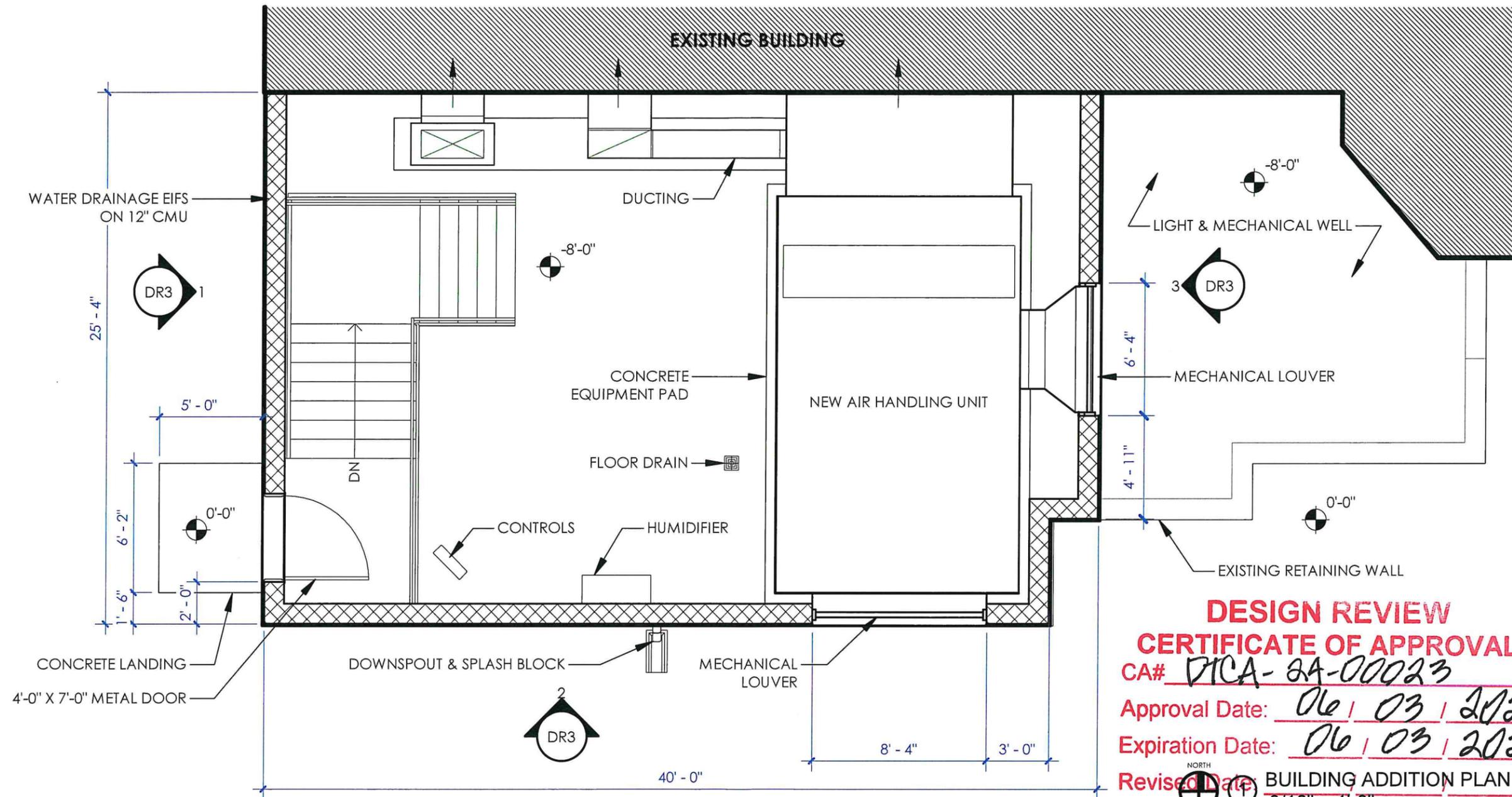


1

SITE PLAN
 3/64" = 1'-0"

SSM Health Cardiology Clinic Addition





**DESIGN REVIEW
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 Revised Date: 3/16" = 1'-0" BUILDING ADDITION PLAN
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MATERIALS:

EXTERIOR INSULATION SYSTEM

- SYNTHETIC STUCCO COATING ON BACK
- DRAINED/VENTILATED 1" RIGID INSULATION OVER CMU WALL
- FINISH COLOR AND TEXTURE TO MATCH ADJACENT BUILDING MATERIAL
- REVEALS TO ALIGN & MATCH EXISTING BUILDING REVEAL PROFILE

METAL FLASHING/TRIM

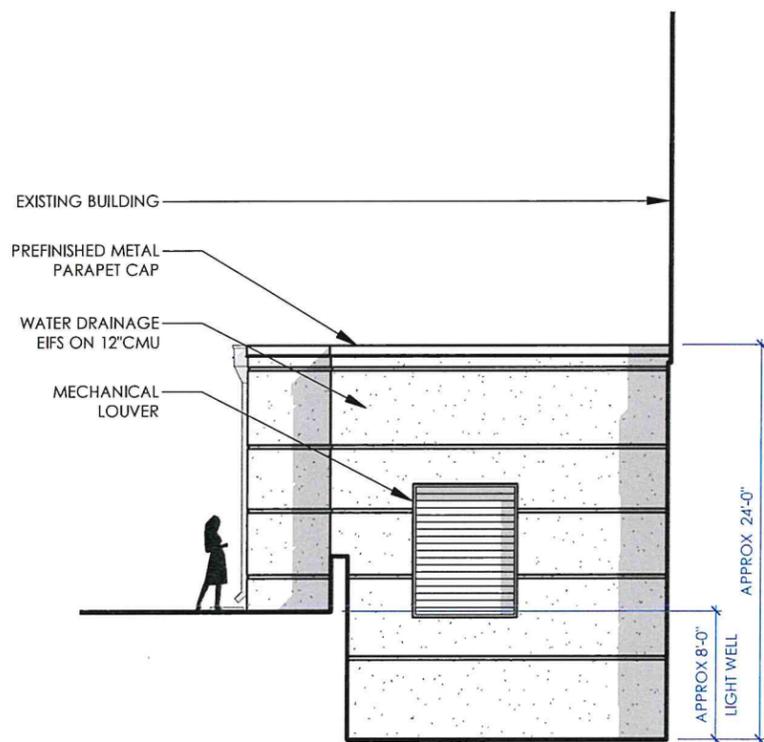
- MINIMUM 22 GAUGE BRAKE METAL PROFILES
- FLUOROPON/KYNAR OR EQUIVALENT PREFINISHED COATING
- COLOR TO MATCH EIFS COATING

EXTERIOR DOOR & FRAME

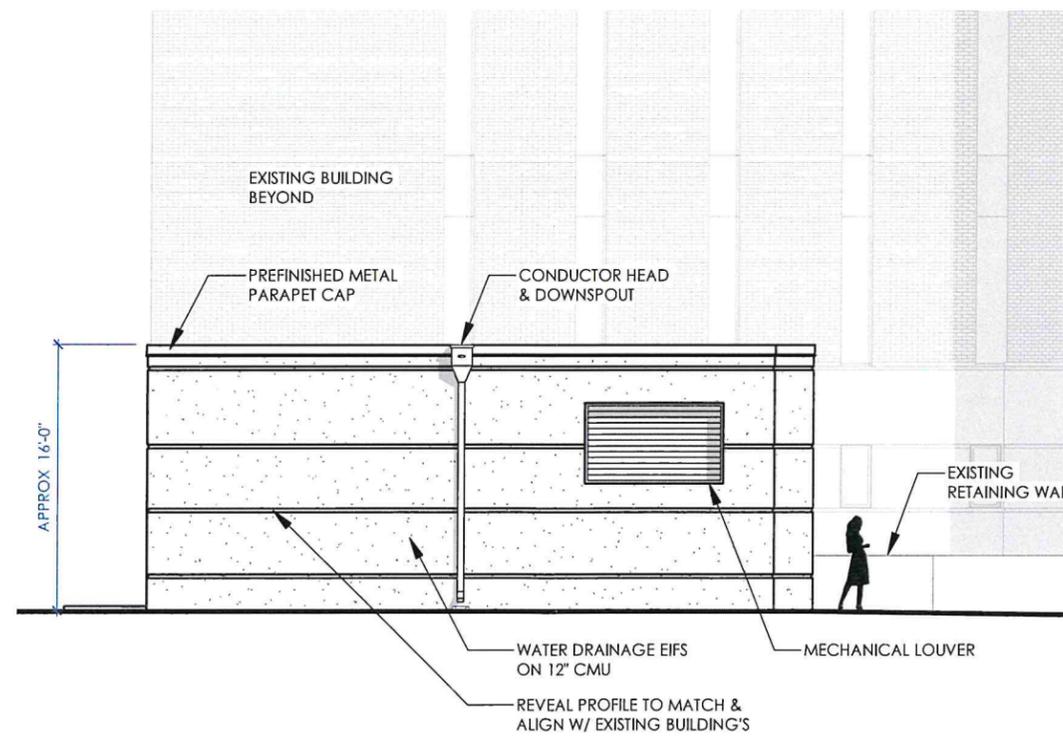
- INSULATED HOLLOW METAL DOOR WITH MASONRY HEAD
- METAL FRAME
- PAINTED TO MATCH PREFINISHED METALS

MECHANICAL LOUVERS

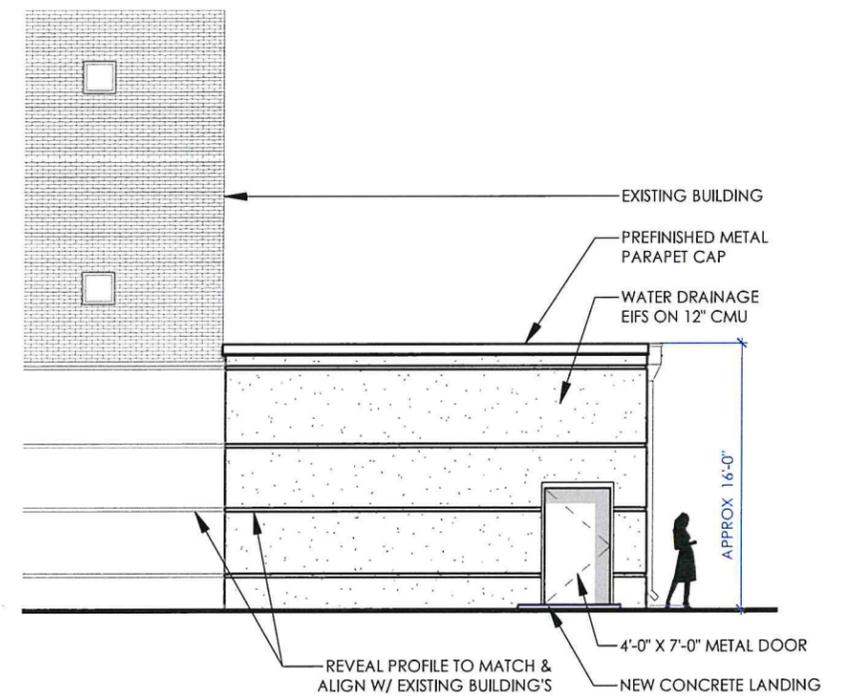
- PREFABRICATED ALUMINUM ASSEMBLY
- PAINTED TO MATCH PREFINISHED METALS



③ EAST ELEVATION
3/32" = 1'-0"



② SOUTH ELEVATION
3/32" = 1'-0"



① WEST ELEVATION
3/32" = 1'-0"

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