



The City of OKLAHOMA CITY

APPLICATION FOR CERTIFICATE OF APPROVAL

<input type="checkbox"/> BC	<input checked="" type="checkbox"/> DBD, DTD-1, DTD-2	<input type="checkbox"/> SRODD	<input type="checkbox"/> SYC, SYT	<input type="checkbox"/> UD
District: <u>DBD</u>				
Fee: \$200		Administrative Review or Extension		
<u>\$750</u>		Commission/Committee Review		
Case Number: _____				

New Project

Revision to Case # DTCA-23-00042 R2

Violation Notice Issued

City Project (If yes, please select type)

Extension to Case # _____

Project Address 520 W Main St

CIP Federal Exempt Maps

COTPA General Fund Special Purpose

Federal GO Bond TIF

Property Owner Name Marcelo Aramendi

Address 3235 Satellite Blvd, suite 550

City, State, Zip Duluth GA 30096

Organization Infiniti Living 1, LLC

Phone 404-610-3899

Email maramendi@aramarinvestments.com

I prefer my documents to be: Mailed or Emailed.

Property Owner: I authorize the applicant to speak for me in matters regarding this application. Any agreement made by the applicant regarding this proposal will be binding upon me. I authorize the City of Oklahoma City Planning Staff to enter the property for the purpose of observing and taking photographs of the project area for presentation and for inspections to insure consistency between approved proposal and completed project. Owner agrees that work will be performed exactly as approved or they will apply for revisions prior to work commencing.

Property Owner's Name Marcelo Aramendi Signature _____ Date 05/21/2024

Applicant Name Matt Thomas Organization QUAD.Build, Inc.

Address 3223 N Lincoln Blvd Phone 405-755-7624

City, State, Zip Oklahoma City, OK 73105 Email matt.thomas@quad.build

I prefer my documents to be: Mailed or Emailed.

Applicant's Name Matt Thomas Signature Matt Thomas Date 05/21/24

BUILDING CONSTRUCTION Square feet of entire structure _____

New Construction Renovation Addition Demolition

OTHER WORK

Parking Lot Square feet of new parking lot or expansion to parking lot _____

Sign Square feet each sign [_____] [_____] [_____] Total Signage [_____] Type: _____

Streetscape Length [_____] Width [_____] Note: Revocable Permits Required

Fence Height [_____] Length [_____] Material _____

Work not specified above paint building

Received by laura gregg Date received _____



Fees effective 07/16/2020



HOLIDAY INN_22.16
EXTERIOR PAINT NARRATIVE

The goal for the exterior paint at the existing Holiday Inn building is to create a subtle gradient of greys as your eye moves up the building. The building is currently beige, the existing storefront frames on the first floor are black, and the windows into the guest rooms are aluminum. Please see attached building elevations, rendered elevations, and rendering. What we are proposing is as follows:

First Floor:

- The first floor and existing privacy wall are to be painted Sherwin Williams Blackfox 7020.
- The existing front door and rear door to be painted black to match the existing storefront conditions, they are currently a dark stained wood.
- All new storefront will be black to match the existing storefronts.
- All existing exterior lights are being repaired to their existing condition.

Floors 2-3:

- Floors 2-3 are to be painted Sherwin Williams Gauntlet Gray 7019.
- All PTAC screens/covers will be painted to match the new paint color.

Floors 4-5:

- Floors 4-5 are to be painted Sherwin Williams Dovetail 7018.
- All PTAC screens/covers will be painted to match the new paint color.

Floors 6-7:

- Floors 6-7 are to be painted Sherwin Williams Dorian Gray 7017.
- All PTAC screens/covers will be painted to match the new paint color.

Floors 8-9:

- Floors 8-9 are to be painted Sherwin Williams Mindful Gray 7016.
- All PTAC screens/covers will be painted to match the new paint color.

Floor 10 and Mechanical Penthouse:

- The 10th floor, stairwell exit, and mechanical penthouse are to be painted Sherwin Williams Snowbound 7004.
- All PTAC screens/covers will be painted to match the new paint color.





22.16_Holiday
Inn

FOR DDRC REVIEW
05/13/24



Rendering



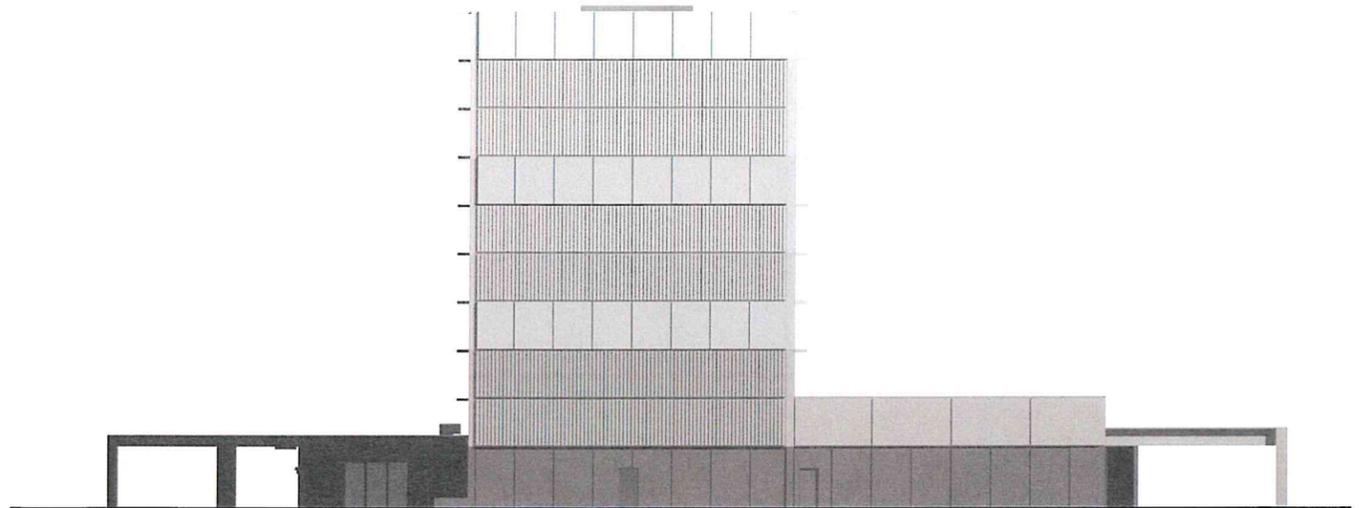
North Elevation



East Elevation



South Elevation



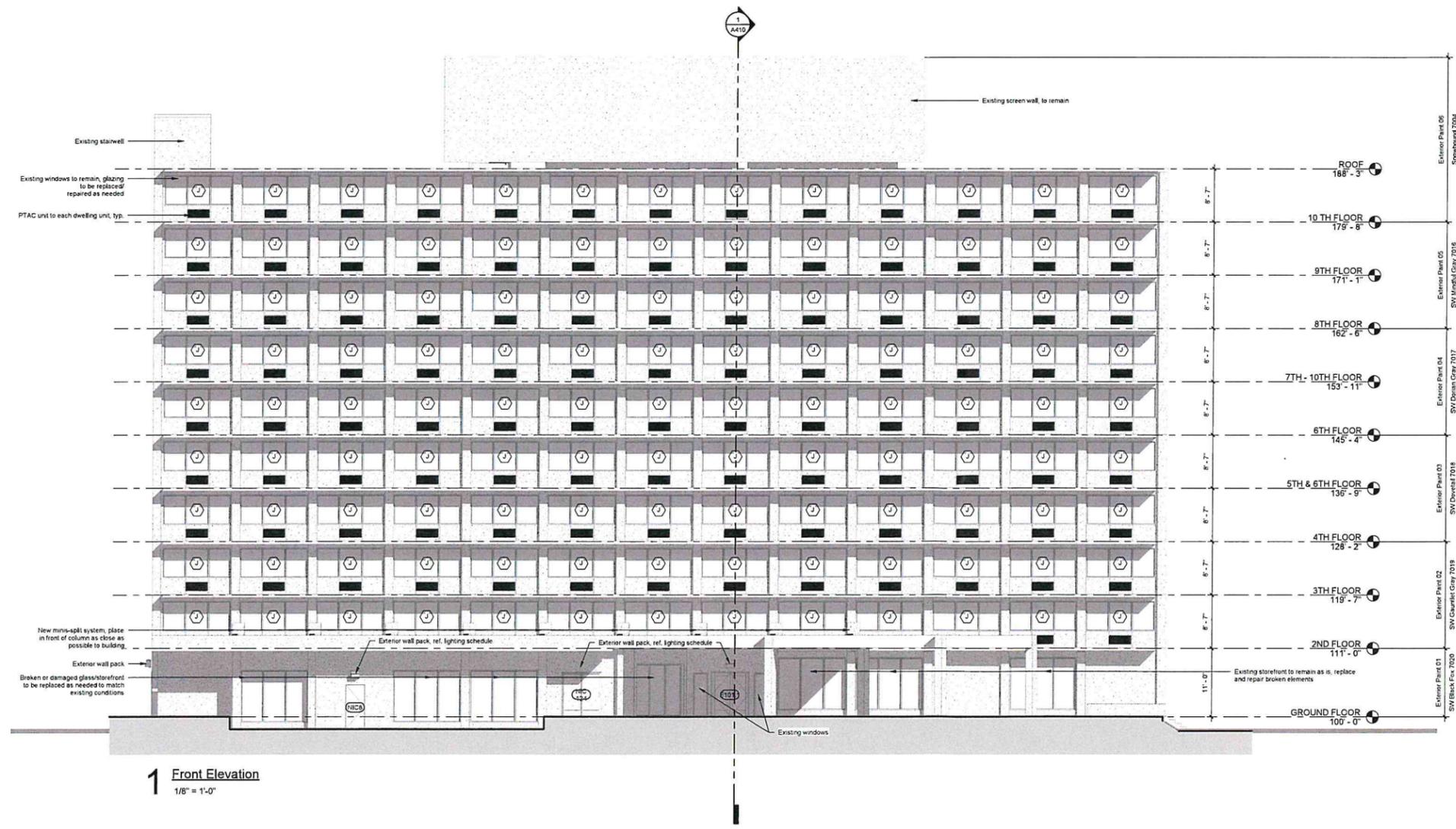
West Elevation

RECEIVED
MAY 21 2024
PLANNING DEPARTMENT

gardner



- General notes:**
1. Repair and clean all existing decorative exterior fixtures. Retrofit light source with LED.
 2. Existing windows and storefront are to remain unless otherwise noted.
 3. Repair/replace all broken glazing as needed.
 4. Where patching of existing conditions is needed, it is to match surrounding finishes unless otherwise noted.
 5. Patch and repair existing porte-cochere's



1 Front Elevation
1/8" = 1'-0"

22.16_Holiday Inn
620 West Main Street, Oklahoma City, Oklahoma 73102, United States

GA Project: 22.16

Date	Submission
07.21.2023	FOR PERMIT
09.01.2023	CD's
10.26.2023	For DDRC
06.13.2024	for DDRC

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Drawing Title
Exterior Elevation - Looking South

Sheet No.

A311.3



General notes

1. Repair and clean all existing decorative exterior fixtures. Retrofit light source with LED.
2. Existing windows and storefront are to remain unless otherwise noted.
3. Repair/replace all broken glazing as needed.
4. Where patching of existing conditions is needed, it is to match surrounding finishes unless otherwise noted.
5. Patch and repair existing porches/terraces.



22.16_Holiday Inn
 520 West Main Street, Oklahoma City, Oklahoma 73102, United States

GA Project 22.16

Date	Submission
07.21.2023	FOR PERMIT
09.01.2023	CD's
10.26.2023	For DDRC
05.13.2024	for DDRC

Form: Date 16.

All drawings and/or material have been compared original with the Contractor, and they only be substituted with their written consent.

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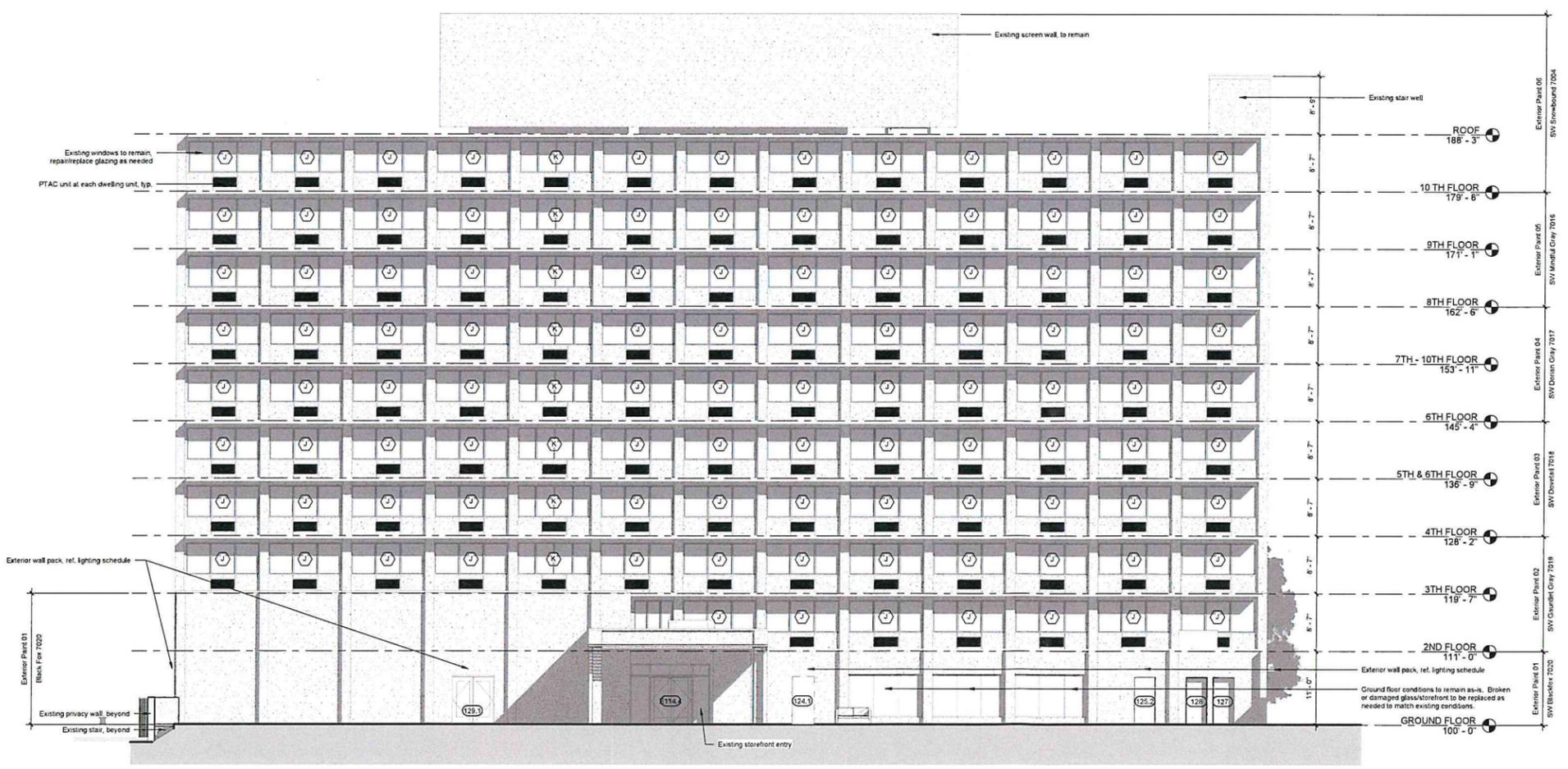
Drawing Title

Exterior Elevation - Looking North

Sheet No.

A312.3

RECEIVED
 MAY 21 2024
 PLANNING DEPARTMENT

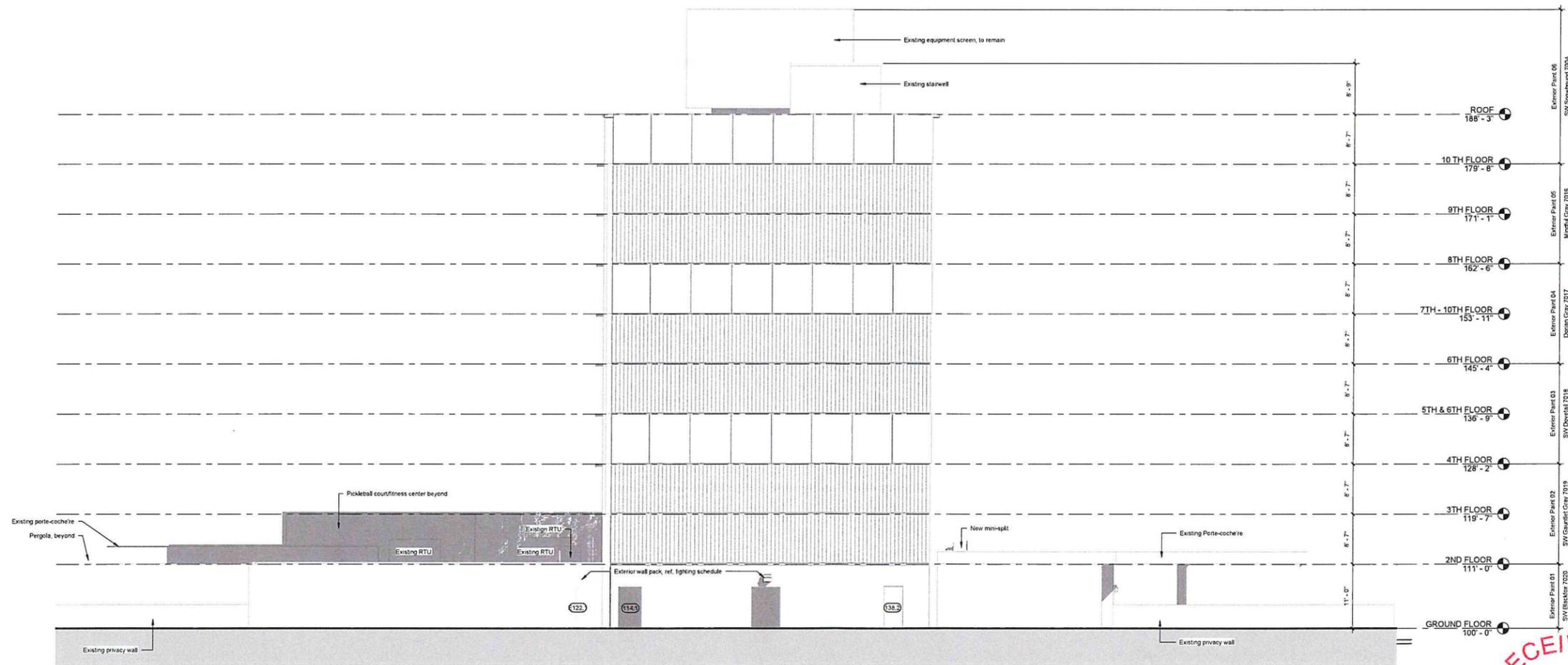


1 Rear Elevation
 1/8" = 1'-0"



General notes

1. Repair and clean all existing decorative exterior fixtures. Retrofit light source with LED.
2. Existing windows and storefront are to remain unless otherwise noted.
3. Repair/replace all broken glazing as needed.
4. Where patching of existing conditions is needed, it is to match surrounding finishes unless otherwise noted.
5. Patch and repair existing porte-cochere.



1 Side Elevation - Looking West
 1/8" = 1'-0"

22.16_Holiday Inn
 620 West Main Street, Oklahoma City, Oklahoma 73102, United States

GA Project: 22.16

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10.26.2023	For DDRC
05.13.2024	For DDRC

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Drawing Title

Exterior Elevation - Looking West

Sheet No.

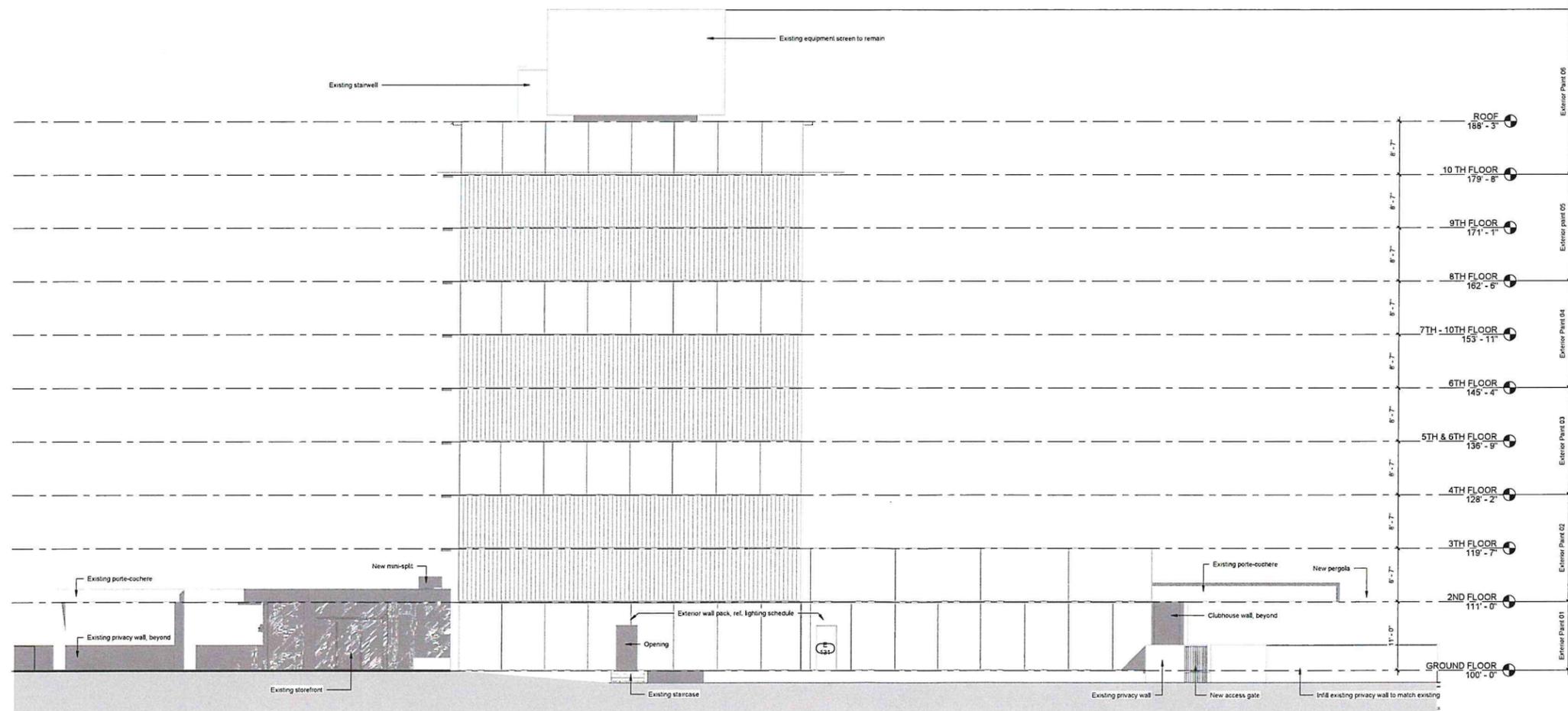
A313.3





General notes

1. Repair and clean all existing decorative exterior fixtures. Retrofit light source with LED.
2. Existing windows and storefront are to remain unless otherwise noted.
3. Repair/replace all broken glazing as needed.
4. Where patching of existing conditions is needed, it is to match surrounding finishes unless otherwise noted.
5. Patch and repair existing porte-cochere's



1 Elevation - Looking East
 1/8" = 1'-0"

22.16_Holiday Inn
 620 West Main Street, Oklahoma City,
 Oklahoma 73102, United States

GA Project: 22.16

Date	Submission
07.21.2023	FOR PERMIT
09.01.2023	CD's
10.26.2023	For DDRC
05.13.2024	for DDRC

Formal Date Title

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Drawing Title

Exterior Elevation -
 Looking East

Sheet No.

A314.3

