

Planning Commission Minutes
February 13, 2025

(The agenda was filed with the City Clerk of The City of Oklahoma City at 4:45 p.m. on February 7, 2025)

20. (SPUD-1709) Application by Harding Family, LLC to rezone 2701 NW 12th Street from R-2 Medium-Low Density Residential District to SPUD-1709 Simplified Planned Unit Development District. Ward 6.

Amended Technical Evaluation:

1. The maximum building height shall be per the base zoning district for the South lot, and 3 Stories and 35 feet for the North lot.
2. Add to Section 10 Sidewalks: Any new sidewalks or repair/replacement of existing sidewalks shall be provided in accordance with the City of Oklahoma City Municipal Code and ADA requirements at the time of construction of this SPUD.
3. The maximum lot coverage shall be 75 percent.

The applicant was present. There were protesters present.

RECOMMENDED APPROVAL SUBJECT TO TECHNICAL EVALUATION AS AMENDED.

MOVED BY GOVIN, SECONDED BY PENNINGTON

AYES: CLAIR, POWERS, MEEK, PRIVETT, NEWMAN, GOVIN, PENNINGTON, NOBLE

ABSENT: LAFORGE



STAFF REPORT
The City of Oklahoma City
Planning Commission
February 13, 2025

Item No. IV. 20.

(SPUD-1709) Application by Harding Family, LLC to rezone 2701 NW 12th Street from R-2 Medium-Low Density Residential District to SPUD-1709 Simplified Planned Unit Development District. Ward 6.

I. GENERAL INFORMATION

A. Contacts

1. Applicant's Representatives

John Beedon, Beehold, Inc., 405-923-2772, beedevel@gmail.com

Randy King Hill, E.D. HILL, 405-232-2208

B. Case History

This is a new application.

C. Reason for Request

The purpose of this application is to allow two duplexes on the subject site.

D. Existing Conditions

1. Size of Site: 0.26 Acres

2. Zoning and Land Use

	Subject Site	North	East	South	West
Zoning	R-2	R-2	R-2	R-2	R-2
Land Use	Residential	Residential	Residential	Residential	Residential

3. Comprehensive Plan Land Use Typology Area: Urban – Medium (UM)

UM applies to fully urbanized areas of the city, most of which were built prior to the 1960s. Developments are expected to be larger in scale and have greater intensity and mixture of uses than developments found in UL. Development within UM areas should support efficient transit usage and provide pedestrian and bicycle access to retail, services, parks, and other destinations. Priorities for the UM areas include “infill” developments on vacant lots, rehabilitation of underutilized property, and development that supports revitalization of distressed neighborhoods.

II. SUMMARY OF SPUD APPLICATION

1. This site will be developed in accordance with the use and development regulations of the **R-2 Two-Family Residential District** (Oklahoma City Zoning Ordinance, 2020, as amended), except that the following restrictions will apply:

2. **Minimum Lot Size:**

The minimum lot size shall be 3,900 square feet.

3. **Minimum Lot Width:**

The minimum lot width shall be 52 feet.

4. **Maximum Building Height:**

The maximum building height shall be per the base zoning district.

5. **Maximum Building Size:**

The maximum building size for the new residence shall not exceed 3,200 square feet not including garage.

6. **Maximum Number of Buildings:**

The maximum number of buildings shall be per the base zoning district.

7. **Building Setback Lines**

Building Setback Lines for structures shall be as follows.

Front Yard: The front yard setback along NW 12th and along N Miller from the exterior boundary of the SPUD shall be twenty feet (20').

Rear Yard: The rear yard (north) setback from the exterior boundary of the SPUD shall be five feet (5').

Side Yard: The side yard setback (west) for new construction from the exterior boundary of the SPUD shall be five feet (5'). There shall be no side yard setback for the existing residential structure.

Interior: The interior lot line setback within this SPUD shall be zero feet (0').

Setbacks in this SPUD district shall prevail over platted setback or building lines.

6. Sight-proof Screening:

The base zoning district regulations shall regulate the sight-proof screening of the exterior boundary of this SPUD.

7. Landscaping:

Landscaping shall comply with the City of Oklahoma City landscape ordinance in effect at the time of development.

8. Signs:

No signs shall be permitted.

9. Access:

There shall be one (1) existing access point allowed from NW 12th Street from this SPUD. And there shall be two (2) access points allowed from N. Miller Blvd. from this SPUD. The existing driveway located at the corner of NW 12th and N Miller Blvd. shall be removed.

10. Sidewalks

There is an existing sidewalk along Miller which shall be maintained. A sidewalk along NW 12th Street shall be constructed as a part of this SPUD.

II. Other Development Regulations:

1. Architecture:

Exterior building wall finish on all structures shall consist of a minimum 70% brick veneer, masonry, rock, stone, stucco, wood, or other similar type finish. EIFS (Exterior Insulation Finish System) material and exposed concrete block buildings shall not be permitted within this SPUD.

2. Open Space: N/A

3. Street Improvements: N/A

4. Site Lighting:

Site Lighting for this SPUD shall be per the base zoning district regulations.

5. Dumpsters:

Trash collection facilities in this SPUD shall be in accordance with Chapter 49 of the Oklahoma City Municipal Code, 2020, as amended.

6. Maintenance:

Maintenance of the common areas in the development shall be the responsibility of the property owner or Property Owners Association. No structures, storage of material, grading, fill, or other obstructions, including fences, either temporary or permanent, that shall cause a blockage of flow or an adverse effect on the functioning of the storm water facility, shall be placed within the common areas intended for the use of conveyance of storm water, and/or drainage easements shown. Certain amenities such as, but not limited to, walks, benches and walls shall be permitted if installed in a manner meeting requirements specified above.

7. Drainage:

Development of this SPUD will comply with Chapter 16 (Drainage Ordinance) of the City of Oklahoma City as amended.

8. Lots:

The south lot will be comprised of a duplex dwelling as existing and/or updated with parking. The north lot is to be comprised of a duplex with garages on the ground level and two-story dwelling units above the garage.

III.Supporting Documents

Exhibit A: Legal Description
Exhibit B: Site Plan
Exhibit C: Aerial Photograph
Exhibit D: Survey

III. REVIEW COMMENTS

This application was submitted to the following agencies, departments, and/or divisions for review and comment. An asterisk * indicates that the agency, department, and/or division responded with no adverse comments.

A. Outside Agencies

- 1. Oklahoma City-County Health Department (OCCHD)**
- 2. Oklahoma City Urban Renewal Authority (OCURA)**
- 3. Oklahoma Gas and Electric (OGE)**
- 4. Oklahoma Natural Gas (ONG)**
- 5. Oklahoma Water Resources Board (OWRB)**
- 6. School District: Oklahoma City**
- 7. Oklahoma Department of Transportation (ODOT)**

B. City Departments

- 1. Airports**
- 2. Central Oklahoma Transportation and Parking Authority (COTPA)**
- 3. Fire ***
- 4. Information Technology/Geographic Support**
- 5. Parks and Recreation**
- 6. Police**
- 7. Public Works**

a. Engineering

Storm Sewer Availability

- 1) The Public Works Drainage Division staff has reviewed the subject application. All development, new construction, and/or substantial improvements planned within the proposed area shall be subject to chapter 16 of the Oklahoma City Municipal Code.
- 2) Storm sewers in accordance with the City's Drainage Ordinance will be required. Development abutting section line roads with drainage flows that exceed the capacity of OKC standard ditch detail (D-100) will necessitate the installation of enclosed storm sewer and/or concrete channel. These improvements shall be placed to provide a minimum of 35' clearance distance from the centerline of the section. Concrete channels must be entirely outside public right-of-way.

- 3) A flood and/or drainage study will be required to establish finished floor elevations, common lot areas or private drainage easements. A final plat should not be submitted until the study has been reviewed and approved by the Public Works Department.
- 4) Plans for drainage improvements within the private drainage reserves and/or common areas must be submitted for review, and payment of inspection fees shall be made prior to construction. Building permits will not be issued until construction is complete. If a subdivision abuts a stream, the private drainage easements and/or common area along stream shall extend to flow line of stream at a minimum.
- 5) Place the following note on the plat and construction plans: Maintenance of the Common Areas and/or Private Drainage Easements shall be the responsibility of the property owner. No structures, storage of material, grading, fill or other obstructions, including fences, either temporary or permanent shall be placed within the common areas and/or drainage easements shown.
- 6) Drainage easements shall be clearly denoted as public or private in owner's dedication, on the plat, and/or in the plat notes.
- 7) Construction within the limits of this SPUD will require an erosion control plan in accordance with EPA Storm Water Discharge permitting: CFR Vol. 57, No. 175, September 9, 1992. A copy of the EPA Notice of Intent (NOI) will be required prior to the issuance of work orders or permits for construction activities disturbing an area of 1/2 acre or greater.
- 8) Sidewalk shall be installed for all new construction and/or at the time of a residential use to a more intense use on all lots having frontage on public streets classified as a major or minor arterial.
- 9) All private roads /streets will have private storm sewer systems.
- 10) Engineer/developers will be contacting PW for detention determination before they submit their final plat and plans.
- 11) Add to Section I.10 Sidewalks: Any new sidewalks or repair/replacement of existing sidewalks shall be provided in accordance with the City of Oklahoma City Municipal Code and ADA requirements at the time of construction of this SPUD.
- 12) Amend Section II.8 Drainage: Development of this SPUD will comply with Chapter 16 (Drainage Ordinance) of the City of Oklahoma City as amended. Or, Development can comply with alternative drainage that does not comply provided that it is approved by the City Engineer of the City of Oklahoma City.
- 13) Replace the text in Section II.7 Maintenance with the following: Maintenance of the Common Areas, private drainage easements, private drives, and Islands/Medians shall be the responsibility of the Property Owners a. No structures, storage of material, grading, fill, or other obstructions, including fences, either temporary or permanent, that shall cause a blockage of flow or an adverse effect on the functioning of the storm water facility, shall be placed within the drainage related common areas and/or drainage areas easements shown. Certain amenities such as, but not limited

to, walks, benches, piers, and docks, shall be permitted if installed in a manner that meets the requirements specified above.

b. Stormwater Quality Management

c. Traffic Services *

8. Utilities

a. Engineering

b. Solid Waste Management

- 1) The City can provide service, providing there is sufficient space for the truck to maneuver to service the addition.

c. Water/Wastewater Quality

Water Availability *

Wastewater Availability *

9. Planning

a. Comprehensive Plan Considerations

1) LUTA Development Policies:

Site Design:

- Maintain historical lot and block sizes where possible and appropriate.
- Utilize Best Management Practices (BMP) for stormwater.

Location:

- Mixture of density, lot size and building scale is appropriate as long as land use compatibility is achieved.

Density: The Urban Medium Intensity LUTA outlines a density range of 10 to 40 dwelling units per acre.

National, state, and local permitting require basic best management practices for stormwater management. The SPUD proposes to retain the existing duplex, and build a new duplex with garage to its north. Four dwelling units over 0.26 acre would be 15 du/acre.

Automobile Connectivity:

- Maintain and enhance the connectivity of the street network.

The subject site currently has three improved drives, two of which are located along North Miller Boulevard, the southern of the two combines with another drive near the intersection to form a circle drive. The SPUD commits to closing/removing the portion of driveway within the intersection.

Pedestrian Connectivity:

- Provide sidewalk connections to nearby uses.

Sidewalks are currently available along North Miller Boulevard. The SPUD will require sidewalks along NW 12th Street.

- 2) **Compatibility:** The comprehensive plan includes a land use compatibility matrix used to identify potential conflicts between major land use categories. When locating the proposed uses adjacent to existing Low Intensity Residential, “Building Scale and Site Design” is a potential compatibility issue identified by the comprehensive plan. Projects in higher intensity LUTAs (UM) may be more appropriate for significant transitions of density, scale and mass.

Building Scale and Site Design: The comprehensive plan calls for mitigation measures for new projects if the setbacks are significantly deeper or more shallow than the predominant character of adjacent development; the building’s orientation to the street differs from the predominant character of adjacent development; building size or street frontage dramatically differs from that of adjacent uses, the lot coverage (including buildings and paved areas) dramatically exceeds that of adjacent uses, or if buildings within 40 ft. of a single-family residential structure exceed a 3:1 ratio in height. *No compatibility issues were identified for the proposal to retain an existing duplex and build a second. However, the intent appears to be a ground floor garage with two stories (units) above. The base R-2 District limits height to 2 ½ stories and 35 feet. Allowing three stories would need to be specified in the MDS.*

- 3) **Service Efficiency:**
- Water: *Served*
 - Sewer: *Fully Served*
 - Fire Service: *Urban Response*
- 4) **Environmentally Sensitive Areas:** The following apply to the proposed development site:
- Riparian Areas: N/A
 - Upland Forests: N/A
 - Vulnerable Aquifers: The aquifer in this area is considered highly vulnerable to depletion. The comprehensive plan recommends preserving natural open spaces and utilizing low impact development techniques whenever possible in new developments in order to maintain water quality and allow for the infiltration of stormwater onsite. Low impact development techniques include, but are not limited to, using pervious surface materials wherever possible for the construction of driveways, parking areas, sidewalks, patios, etc., to promote increased water percolation and infiltration.
- 5) **Transportation System:** This site is located at the northwest corner of NW 12th Street, a Major Connector Street, and North Miller Boulevard, a Neighborhood Street, both in the Urban Low LUTA. The nearest transit (bus) service is located within a quarter mile to the north, along NW 16th Street, or to the south, along NW 10th Street.

- 6) **Other Development Related Policies**

- Support diversity and integration of housing unit types and sizes in all land use typology areas in order to meet the diverse needs of households of different sizes, generational needs, incomes, and preferences. (SU-4)
- Encourage redevelopment and infill development on vacant, underutilized, and brownfield sites in urbanized areas. (SU-19)
- Require sidewalks on both sides of all streets in urban LUTAs. (C-7)
- Limit driveways on arterials and collectors and increase connections between uses to improve safety and traffic efficiency. (C-30)
- Support and incentivize the adaptive use of existing buildings, infill development, and brownfield development. (G-10)
- Preserve mature, healthy trees and incorporate them into the design of new development or redevelopment projects to the greatest extent possible. (G-26)
- Protect the unique character of National Register-listed properties or districts and local Historic Districts and ensure that development and redevelopment is compatible with historic resources and character. (E-29)

7) Other Considerations: Historic Resources

The City's comprehensive plan and the adopted historic preservation plan for Oklahoma City, preserveokc, prioritize protecting National Register-listed properties, local historic districts, and the unique character of historic resources. The subject site is located within the boundary of the Miller's Boulevard Historic District, listed in the National Register of Historic Places in 2014 for its Architectural Significance (Criterion C). *Records indicate that the dwelling at the intersection was constructed in 1929 and is listed as contributing to the Miller's Boulevard Historic District. The northern residence was also constructed in 1929 but is identified as noncontributing due to a lack of historic integrity. Conformance would be achieved by retaining the contributing structure (southern residence). The conceptual plan for the development illustrates the contributing structure would be retained. If the residence is removed, plan conformance would be strengthened by ensuring new development is compatible with adjacent historic development in the Miller Neighborhood.*

b. Plan Conformance Considerations

The subject site is located at the northwest corner of NW 12th Street and North Miller Boulevard, in an area generally located between North May Avenue and North Villa Avenue. The site is zoned R-2 and developed with two residential structures. The northernmost structure is a one-story, single-family residence fronting North Miller Boulevard. The southernmost structure, at the intersection, is a two-story duplex fronting NW 12th Street with a circle drive along North Miller Boulevard. The surrounding area is zoned R-2 and contains a mixture of single-family residences and duplexes.

The SPUD is requested to allow the replacement of the northern home with a new duplex in the Miller neighborhood. The proposal to increase density in the Urban Medium LUTA is in conformance with UM density ranges and comprehensive plan

goals to provide a mixture of residential housing types requested. The Master Design Statement would need to be modified to allow the third story on the northern lot, as the base R-1 District is limited to 2 ½ stories.

IV. STAFF RECOMMENDATION

Staff recommendations are advisory only and do not constitute Planning Commission decisions. Staff recommendations are based on a technical evaluation of information submitted at the time of review. Determination of conformance with policies contained in the comprehensive plan is the purview of the Planning Commission. Planning Commission decisions require a vote of five members to approve or deny an item. The Planning Commission may consider in its decision-making process any additional relevant information presented at the public hearing by the public, applicant, and/or City departments.

Approval of the application subject to the following Technical Evaluations:

1. The maximum building height shall be per the base zoning district for the South lot, and 3 Stories and 35 feet for the North lot.
2. Add to Section 10 Sidewalks: Any new sidewalks or repair/replacement of existing sidewalks shall be provided in accordance with the City of Oklahoma City Municipal Code and ADA requirements at the time of construction of this SPUD.

All Engineering Division and Water/Wastewater Utilities Division requirements must be met. Additional changes to the SPUD may be required during either Divisions review of construction plans and prior to City Council approval.

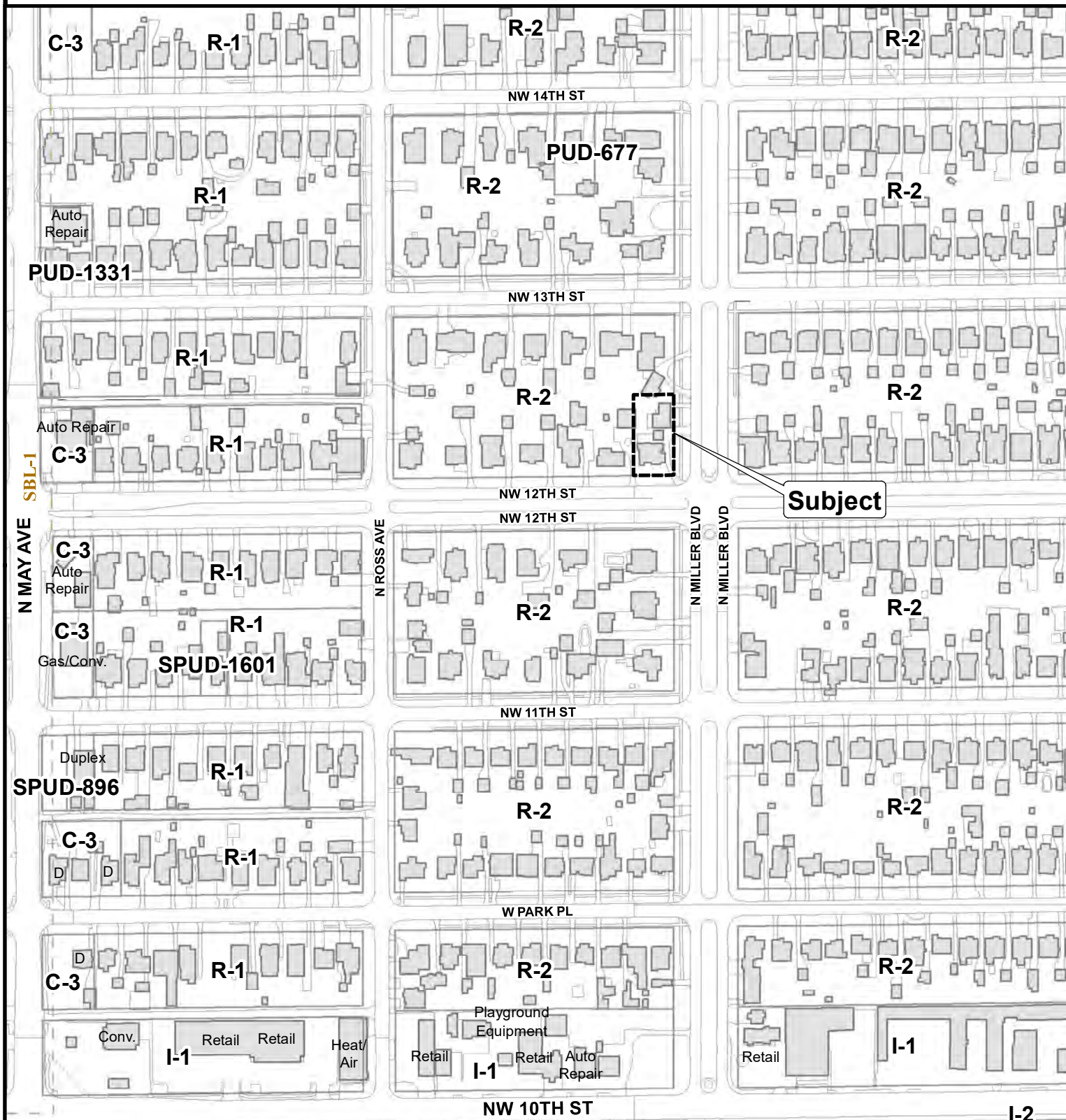
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Case No: SPUD-1709

Applicant: Harding Family, LLC

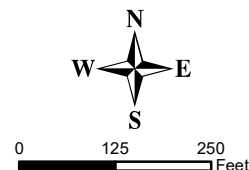
Existing Zoning: R-2

Location: 2701 NW 12th St.



The City of
OKLAHOMA CITY

Simplified Planned Unit Development



*Exhibit
B
Site Plan*

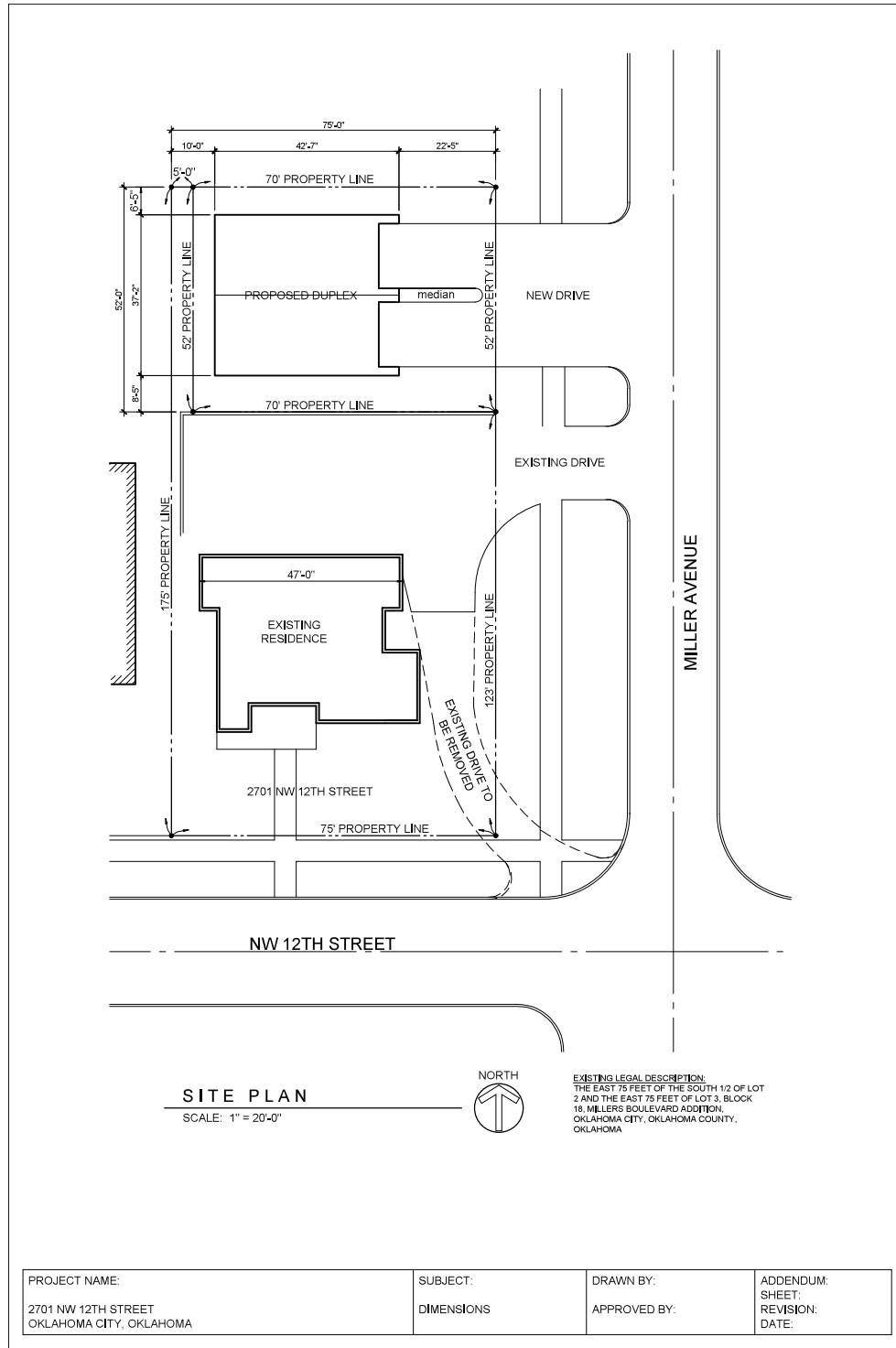
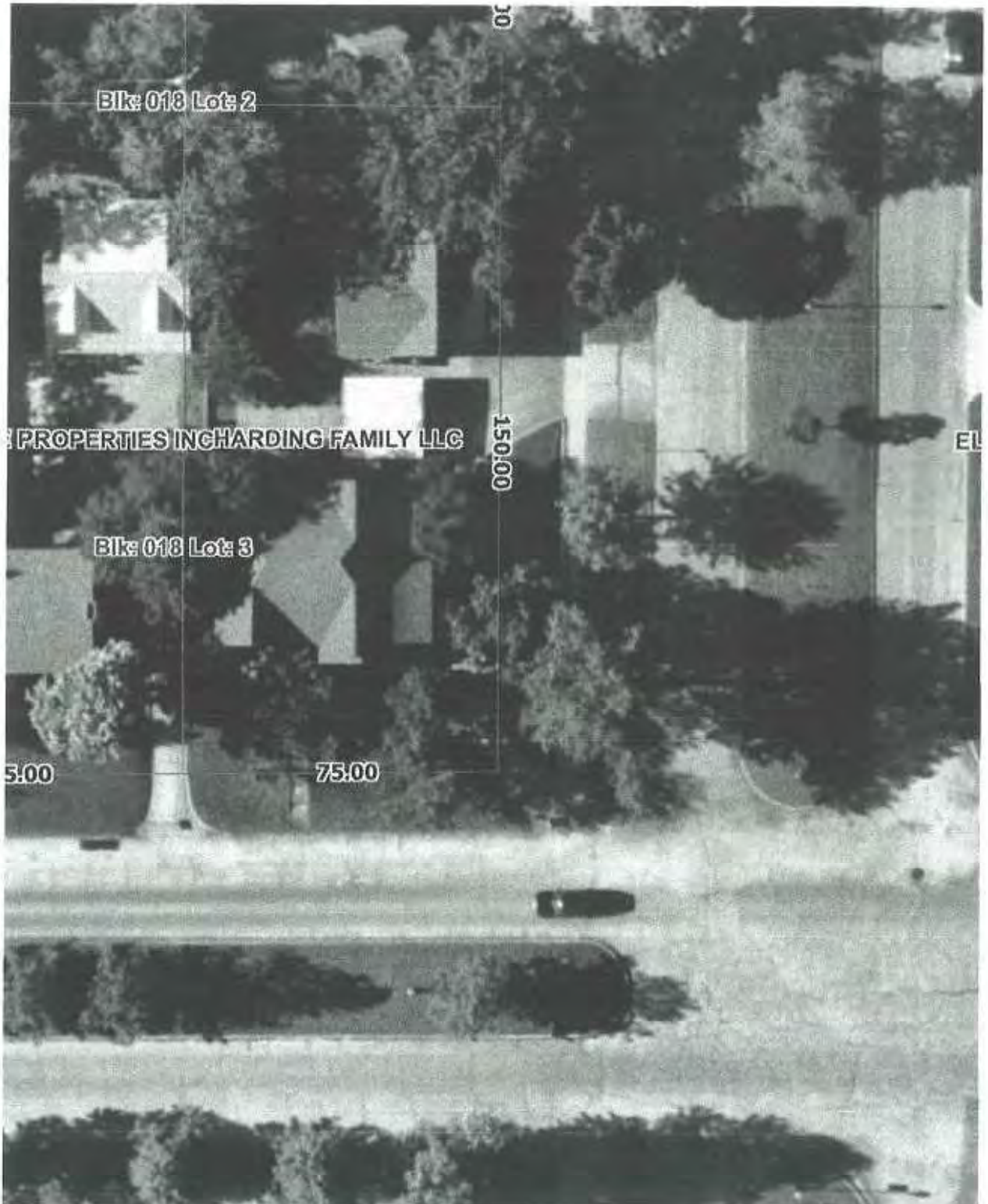
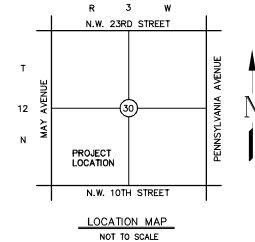
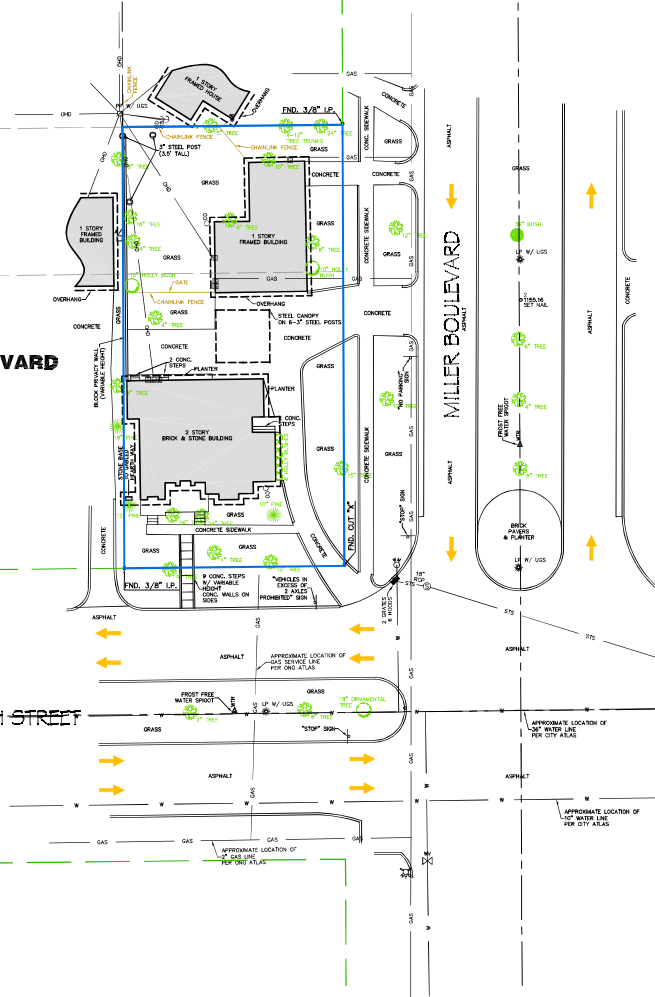


Exhibit C
Aerial Photograph



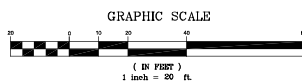


MILLER'S BOULEVARD ADDITION BLOCK 18



LEGEND

— AIR CONDITIONING UNIT	— PAUL BOX
— CLEAN OUT	— POWER POLE
— ELECTRIC MANHOLE	— POWER POLE W/ UNDERGROUND SERVICE
— ELECTRIC RISER	— SPRINKLER HEAD
— FIRE DEPT. CONNECTION	— SPRINKLER VALVE
— FIRE HYDRANT	— SANITARY SEWER MANHOLE
— FUEL FILLER PORT	— STORM SEWER MANHOLE
— GAS METER	— SIGN
— GUARD POST	— TELEPHONE MANHOLE
— GAS VALVE	— TELEPHONE RISER
— GUY WIRE	— TELEPHONE UNDERGROUND
— RILEY	— TRAFFIC SIGNAL LIGHT
— LIGHT POLE	— VENT
— MONITORING WELL	— WATER METER
— MAIL BOX	— WATER VAULT
— MARKER	— WATER VALVE
— ROOF DRAIN	— FRENCH DRAIN
— GROUND LIGHT	— BOLLARD LIGHT
— SIGNAL CONTROL BOX	
— E — ELECTRIC LINE	
— SD — SANITARY SEWER LINE	
— W — WATER LINE	
— F — FENCE	
— C — CONCRETE	
— STS — STORM SEWER LINE	
— F/O — FENCE SPIC LINE	
— GAS — GAS LINE	
— COM — COMMUNICATION LINE	
— S — SET/PHD MARKING	
— (M) — MEASURED DISTANCE	
— (R) — RECORDED DISTANCE	
— (P) — PLATTED DISTANCE	
— (C) — CALCULATED DISTANCE	



SURVEY PREPARED FOR:
EDH
E.D. HILL
RANDOM KNO HILL

2701 N.W. 12th Street
Boundary Survey

P.O. Box 6578 - Norman, OK 73070
405-681-3333 Phone - 405-681-3333 Fax
Certificate of Authorization No. 3045 - Expires June 30, 2020
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Project No: 3666
Drawn By: MHR
DWG File: 3666.dwg
Date: 1/13/22
Party Chief: JHR
Revisions:
Scale: 1"=20'

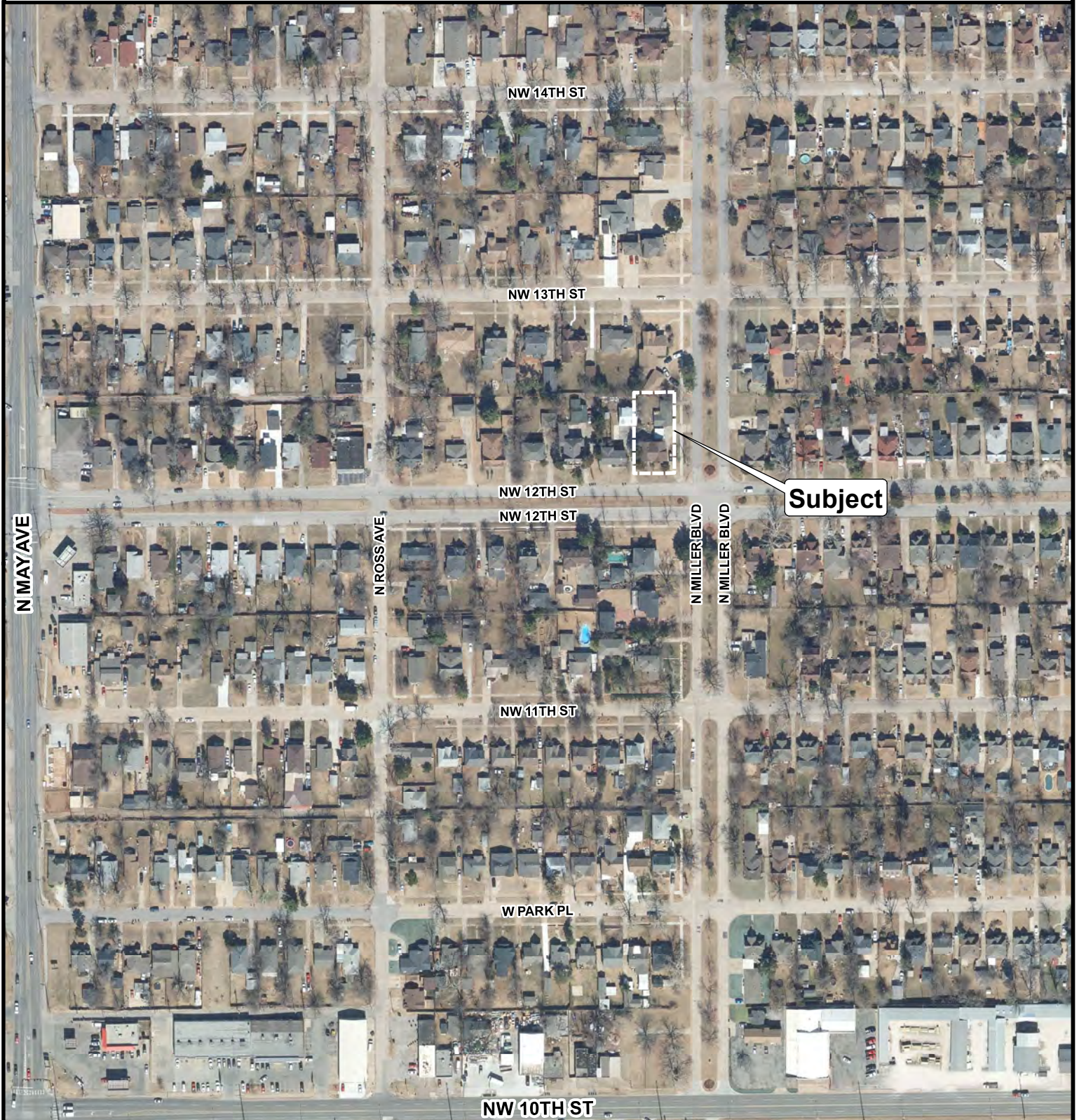


Case No: SPUD-1709

Applicant: Harding Family, LLC

Existing Zoning: R-2

Location: 2701 NW 12th St.



Aerial Photo from 2/2022



The City of
OKLAHOMA CITY

Simplified Planned Unit Development



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Feet