

**SURVEYOR'S CERTIFICATE**

To:  
 430 CAPITAL, LLC, an Oklahoma limited liability company  
 AMERICAN DREAM LLC  
 CHICAGO TITLE INSURANCE COMPANY  
 CHICAGO TITLE OKLAHOMA CO.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7(a)(1)(c), 8, 9, 10, 11, 16 and 17 of Table A thereof.

The field work was completed on July 7, 2023.  
 Darin L. Raibourn, Professional Land Surveyor No. 1637  
 Date of Plat or Map: July 27, 2023  
 Date of Signature: 7/27/2023



**GENERAL SURVEY NOTES:**

- This plat or map and the survey on which it is based were made in accordance with the "Oklahoma Minimum Standards for the Practice of Land Surveying" as adopted by the Oklahoma State Board of Licensure for Professional Engineers and Land Surveyors.
- The property described hereon is the same as the property described in Chicago Title Insurance Company Commitment No. 71072200564 with an effective date of June 15, 2023 and that all easements, covenants and restrictions referenced in said title commitment or apparent from a physical inspection of the site or otherwise known to me have been plotted hereon or otherwise noted as to their effect on the subject property.
- Said described property is located within an area having a Zone Designation "X" (Non-Special Flood Hazard Area) by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map No. 40109C0285H, with a date of identification of December 18, 2009 for Community No. 405378, in Oklahoma County, State of Oklahoma, which is the current Flood Insurance Rate Map for the community in which said premises is situated.
- The Property has access to N.W. 30th Street and N. Hudson Avenue, both being dedicated public streets or highways.
- The total number of striped parking spaces on the subject property is 0.
- There is no observed evidence of current earth moving work, building construction or building additions.
- There are no proposed changes in street right of way lines, to the best of my knowledge.  
 There is no observed evidence of recent street or sidewalk construction or repairs on subject property.
- There is no observed evidence of site use as a solid waste dump, sump or sanitary landfill.
- The assumed bearing of North 89°24'43" East as shown along the north line of Block Twenty-five (25) of JEFFERSON PARK, was used as the basis of bearing for this survey.  
 Said bearings are based upon GPS observations relative to the Oklahoma State Plane (North Zone) coordinate system - NAD83 (2011).

**LEGAL DESCRIPTION:**

Lots One (1), Two (2) and Three (3), in Block Twenty-five (25), of JEFFERSON PARK, an Addition to the City of Oklahoma City, Oklahoma County, according to the recorded plat thereof.  
 Said described tract of land contains an area of 20,993 square feet or 0.4819 acres, more or less.

**TITLE COMMITMENT EXCEPTION NOTES:**

- All matters affecting subject property as shown on the Plat of Jefferson Park Addition, recorded in Book 4, Page 14; Supplemental Dedication, recorded in Book 4, Page 516.  
 Said documents do not describe or graphically depict easements or building set backs. A north/south 20 foot wide alley and an east/west 20 foot wide alley as graphically depicted on the face of the Plat has been shown hereon.
- Restrictive Covenants as set forth in DEED recorded in Book 80, Page 528.  
 Said document establishes a 25 foot Building Setback Line along the front lot lines of Block Twenty-five (25). Said document appears to have expired by the terms contained therein. Current zoning should be verified to determine the current Building Setback Line offset. A current zoning report has not been furnished to the Surveyor for review.
- ORDINANCE NO. 1065 recorded in Book 10, Page 296 does not affect subject property.
- ORDINANCE NO. 5717 recorded in Book 808, Page 275 closes portions of the originally platted north/south and east/west alleys within Block Twenty-five (25) of JEFFERSON PARK. Said document reserves a perpetual utility easement over and across said alley closures. Said perpetual utility easement has been shown hereon.
- GRANT in favor of Oklahoma Natural Gas Company, recorded in Book 73, Page 61; and ASSIGNMENT AND ASSUMPTION OF REAL PROPERTY INTERESTS recorded in Book 12813, Page 1408 lies within the "Public Road" along the east line of the Southeast Quarter (SE1/4) of Section Twenty-one (21), Township Twelve (12) North, Range Three (3) West of the Indian Meridian, and does not affect subject property.
- Property is subject to the terms and conditions as set forth in ORDINANCE NO. 17,757 recorded in Book 5211, Page 1512 inasmuch as subject property lies wholly within the lands described therein. (Non-Plottable)
- Property is subject to the terms and conditions as set forth in PUBLIC NOTICE OF JEFFERSON PARK HISTORIC LANDMARK ZONING DISTRICT recorded in Book 9009, Page 355 inasmuch as subject property lies wholly within the lands described therein. (Non-Plottable)

**LEGEND**

⊗ FND FIRE HYDRANT	⊙ SANITARY SEWER MANHOLE	● FOUND IRON PIN (VARIOUS SIZES)
⊕ WATER VALVE	⊙ SANITARY CLEAN OUT	○ SET 1/2" IRON PIN W/ CA6429 CAP
⊕ WATER METER	⊙ TELEPHONE MANHOLE	
⊕ POWER POLE	⊕ TELEPHONE PEDESTAL	(P) PLATTED DISTANCE
⊕ GUY ANCHOR	⊕ FIBER OPTIC PULLBOX	(M) MEASURED DISTANCE
⊕ ELECTRIC METER	⊕ GAS METER	
⊕ LIGHT POLE		
⊕ AIR CONDITIONING UNIT	SUBJECT PROPERTY BOUNDARY	— — — — —
⊕ STORM SEWER MANHOLE	EXISTING STOCKADE FENCE	— — — — —
⊕ STORM CURB INLET	UNDERGROUND SANITARY LINE	— SAN —
	UNDERGROUND STORM LINE	— ST —
	UNDERGROUND WATER LINE	— W —
	UNDERGROUND GAS LINE	— G —
	OVERHEAD ELECTRIC LINE	— OH-E — OH-E —

REVISION RECORD	
NO.	DESCRIPTION

**430 CAPITAL, LLC**  
**408 NW 30th Street**  
 Lots 1 thru 3, Block 25  
**JEFFERSON PARK ADDITION**  
 Oklahoma County, Oklahoma

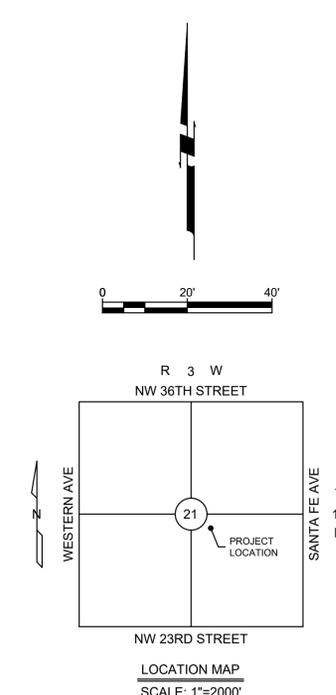
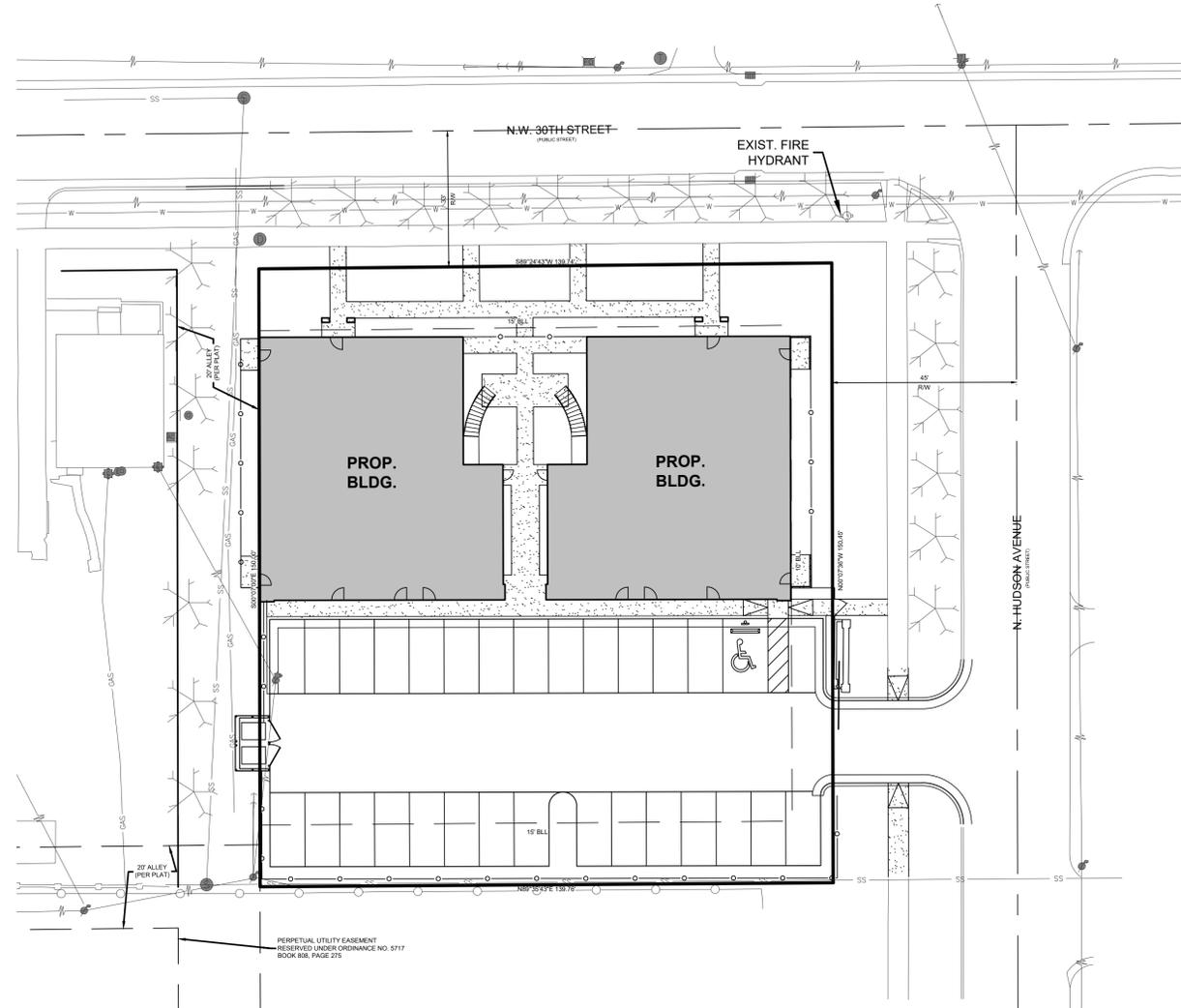
**Civil & Environmental Consultants, Inc.**  
 4700 Gaillardia Parkway · Suite 101 · Oklahoma City, OK 73142  
 Ph: 405.246.9411  
 www.cocinc.com

**ALTA/NSPS LAND TITLE SURVEY**

DATE: 07/26/2023 DRAWN BY: DLR  
 DWG SCALE: 1" = 10' CHECKED BY: DLR  
 PROJECT NO: 3329-939  
 APPROVED BY: DLR

DRAWING NO.: **SV-01**

FILE: P:\30-000\3329-939-SURVEY\DWG\3329-939-SV-01-EXISTING.DWG PLOTTED BY: RAIBOURN, DARIN PLOTTED ON: 07/27/23 12:05:58 AM



**GENERAL NOTES**

1. ALL WORK PERFORMED AND MATERIALS SUPPLIED SHALL CONFORM TO THE SITE WORK SPECIFICATIONS. ANY WORK NOT COVERED IN THE SITE WORK SPECIFICATIONS SHALL CONFORM TO THE OKLAHOMA DEPARTMENT OF TRANSPORTATION CONSTRUCTION SPECIFICATIONS, LATEST EDITION.
2. UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN CONSTRUCTION STAKING.
3. ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION. ALL PAVEMENT STRIPING SHALL BE FOUR (4) INCHES WIDE, UNLESS SHOWN OTHERWISE ON THE PLANS. ALL PARKING STRIPING SHALL BE WHITE.
4. UNLESS OTHERWISE STATED IN THE GENERAL CONDITIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TESTING. THE RESULTS OF THE TESTS SHALL BE FORWARDED TO THE ENGINEER FOR HIS REVIEW AND APPROVAL.
5. THE CONTRACTOR SHALL PROVIDE A MEDIUM BROOM FINISH ON ALL CONCRETE WALKS, RAMPS AND PAVING SURFACES UNLESS OTHERWISE NOTED.
6. THE CONTRACTOR MUST FILE A "NOTICE OF INTENT" WITH THE APPROPRIATE ADMINISTRATIVE AGENCY PRIOR TO COMMENCING EARTHWORK, CLEARING OR DEMOLITION OPERATIONS.
7. THE CONTRACTOR SHALL SATISFY HIMSELF AS TO THE ACCURACY OF ALL SITE PLAN DIMENSIONS AND MEASUREMENTS AND SHALL CONFIRM THE ACCURACY AND LOCATION OF THE PROJECT BOUNDARY PRIOR TO CONSTRUCTION. ANY DISCREPANCIES DISCOVERED SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER-OF-RECORD FOR RESOLUTION PRIOR TO CONSTRUCTION.
8. ALL DIMENSIONS ARE TO FACE-OF-CURB UNLESS OTHERWISE SPECIFIED.
9. PARKING LOT LAYOUT IS PARALLEL AND PERPENDICULAR TO BUILDING ORIENTATION UNLESS OTHERWISE NOTED.
10. SEE ARCHITECTURAL & STRUCTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL EXISTING AND PROPOSED MANHOLES, PULL BOXES AND UTILITY APPURTENANCES TO THE PROPOSED GRADES SHOWN ON THE GRADING PLAN.

**LEGAL DESCRIPTION**

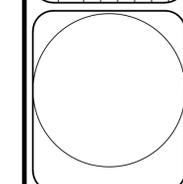
LOTS ONE (1), TWO (2), AND THREE (3), IN BLOCK TWENTY-FIVE (25) OF JEFFERSON PARK, AN ADDITION TO THE CITY OF OKLAHOMA CITY, OKLAHOMA COUNTY, ACCORDING TO THE RECORDED PLAT THEREOF.

**INDEX OF SHEETS**

NO.	DESCRIPTION
C1.0	OVERALL SITE GENERAL LAYOUT
TS	TOPOGRAPHIC SURVEY
C2.0	SITE DIMENSIONAL PLAN
C3.0	PAVING & GRADING PLAN
C4.0	UTILITY PLAN
C5.0	DETAILS
D-300	STANDARD TYPICAL SECTIONS DRIVEWAY DETAILS
D-700A - D-700E	ADA CURB RAMP DETAILS
D-800B	STANDARD DETAILS
EC1-EC2	EROSION CONTROL PLAN

ONE CALL UTILITY LOCATION NUMBER  
 840-5032  
 1-800-522-6543  
 This number is to be used for information on the location of all underground utilities. Contact this number and other numbers specified in the plans prior to any excavation.

NO.	REVISIONS DESCRIPTION	DATE



**Johnson & Associates**  
 1 E. Sheridan Ave., Suite 200  
 Oklahoma City, OK 73104  
 (405) 238-8075 FAX: (405) 238-8078 www.jaac.com  
 Certificate of Authorization #1464 Exp. Date: 03-30-2025  
 ENGINEERS SURVEYORS PLANNERS

**JA**

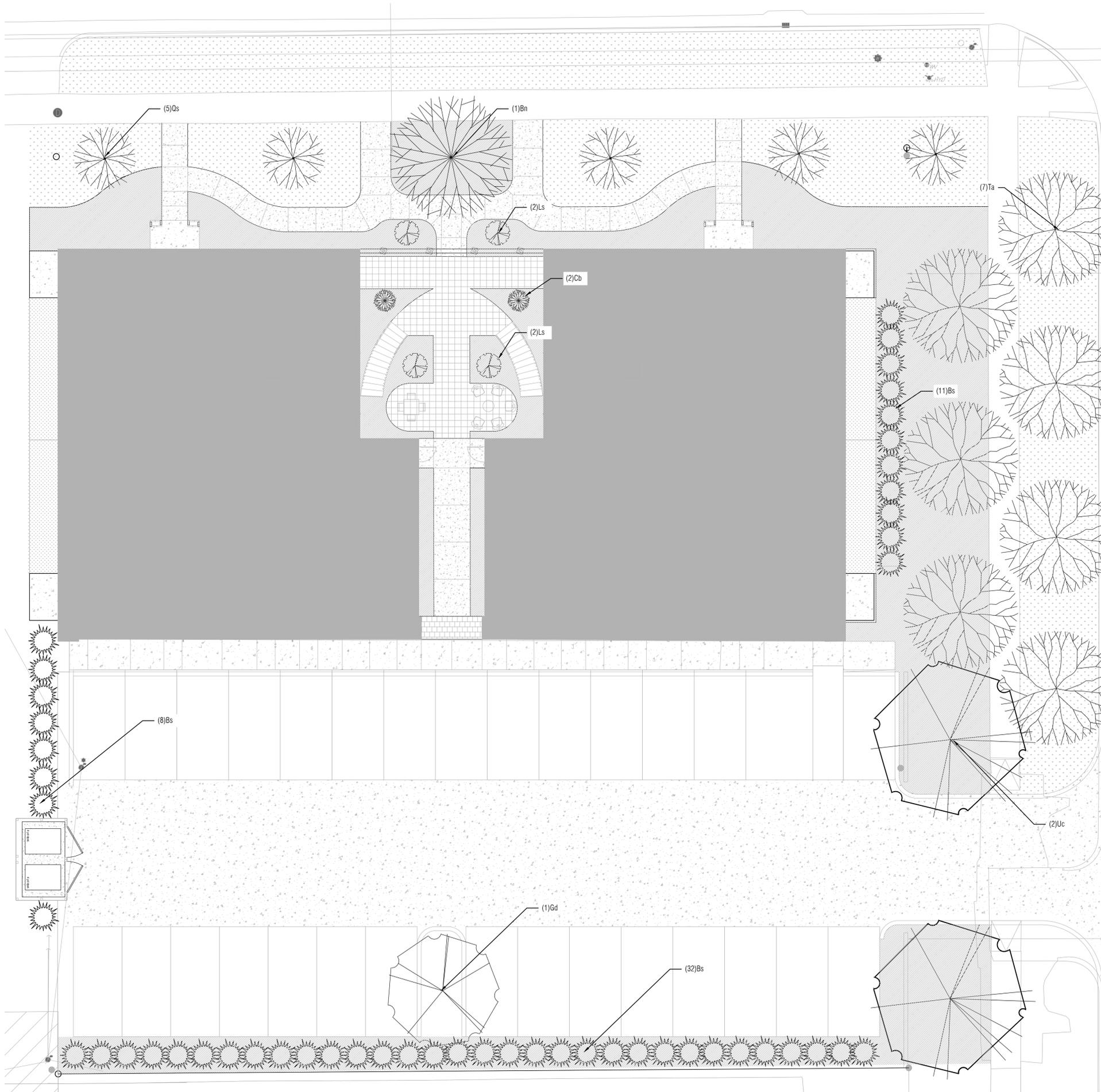
**PASEO VILLAGE**  
 OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA  
**OVERALL SITE PLAN**

Proj. No.:	11-04-24
Date:	11-04-24
Scale:	1"=20'
Checked By:	####
Approved By:	####

**SHEET NUMBER**  
**C1.0**

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ASAD FILE: H:\02\0204\0204-OVERALL SITE PLAN\_11/04/24 3:48 PM.dwg, Title: 02 - Johnson & Associates - Paseo Village Overall Site Plan.dwg, User: jjaac\jjaac, Plot Date: 11/04/24 3:48 PM



**PLANTING NOTES**

BY USE OF THESE DRAWINGS BEARING THE SEAL AND SIGNATURE OF THE LANDSCAPE ARCHITECT, FOR ANY REASON, THE USER ACKNOWLEDGES AND ACCEPTS THE FOLLOWING:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH UNDERGROUND UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED TO DAMAGE OF SAID UTILITIES OR STRUCTURES IF PROPER VERIFICATION BY CONTRACTOR WAS NOT PERFORMED.
2. DO NOT WILLFULLY PROCEED WITH PLANTING OPERATIONS AS DESIGNED WHEN IT IS OBVIOUS THAT OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT WERE NOT KNOWN DURING THE DESIGN PROCESS. SUCH CONDITIONS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER AND LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ALL NECESSARY CHANGES DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH PLANTING OPERATIONS.
4. ANY DISCREPANCIES BETWEEN THE NOTES AND PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION.
5. IF CONFLICTS ARISE BETWEEN THE ACTUAL SIZE OF THE AREAS ON SITE AND THE DRAWINGS THE CONTRACTOR SHALL CONTACT THE OWNER'S AUTHORIZED REPRESENTATIVE FOR RESOLUTION. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
6. AFTER FINISH GRADES HAVE BEEN ESTABLISHED FOR ALL ON-GRADE PLANTING AREAS, THE CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY A QUALIFIED SOILS TESTING LABORATORY FOR SOIL FERTILITY, AGRICULTURAL SUITABILITY, AND SOIL PREPARATION RECOMMENDATIONS. THE CONTRACTOR MAY BE REQUESTED TO AMEND THE SOIL TO CONFORM TO THE RECOMMENDATIONS. HOWEVER, ANY AMENDMENT THAT MIGHT BE REQUESTED OF THE CONTRACTOR SHALL ONLY BE UPON RECEIPT OF WRITTEN CHANGE ORDER FROM OWNER.
7. REFER TO DRAWINGS FOR PLANTING REQUIREMENTS, MATERIALS, AND EXECUTION. MULCH SHALL BE CEDAR.
8. ALL TREES SHALL BE TAGGED BY THE LANDSCAPE ARCHITECT.
9. FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE LANDSCAPE ARCHITECT. CONTRACTOR SHALL COMPLETE THE FOLLOWING TASKS BEFORE BEGINNING PLANTING OPERATIONS:  
  
SHRUBS- LAYOUT CONTAINER LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT ONSITE PRIOR TO DIGGING HOLES FOR PLANTING.  
  
TREES- STAKE ALL TREE LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO DIGGING HOLES FOR PLANTING. ANY TREE PLANTED WITHOUT ITS FINAL LOCATION APPROVED BY THE LANDSCAPE ARCHITECT IS SUBJECT TO RELOCATION AT THE SOLE EXPENSE OF THE CONTRACTOR. ENSURE PROPER COORDINATION OF ALL FOOTINGS, SUB-STRUCTURE AND UTILITIES.  
  
ELECTRICAL- STAKE THE LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. REVIEW WITH PROPOSED TREE STAKING MENTIONED ABOVE. ANY SITE LIGHTING INSTALLED WITHOUT ITS FINAL LOCATION APPROVED BY THE LANDSCAPE ARCHITECT IS SUBJECT TO RELOCATION AT THE SOLE EXPENSE OF THE CONTRACTOR.
10. THE CONTRACTOR SHALL ALWAYS ASSUME THE SMALLER SIZE OF EACH PLANT WHEN A RANGE IS GIVEN CONCERNING SPACING, i.e. PLANT TYPE IS 12" TO 18" WIDE. THE CONTRACTOR SHALL USE 12" (THE SMALLER SIZE) TO ESTIMATE PLANTS REQUIRED TO FILL A GIVEN AREA.
11. SPECIAL WARRANTY: WARRANT THE FOLLOWING PLANTS, FOR THE WARRANTY PERIOD INDICATED, AGAINST DEFECTS AND/OR LOSS RESULTING FROM MATERIALS AND EXECUTION INCLUDING DEATH AND UNSATISFACTORY GERMINATION/GROWTH, BUT EXCLUDING DAMAGE AND/OR LOSS RESULTING FROM MAINTENANCE, NEGLIGENCE, ABUSE, VANDALISM, THEFT BY OTHERS AND/OR UNSEASONAL SEVERE WEATHER CONDITIONS.
12. WARRANTY PERIOD FOR TURF, GRASSES, SHRUBS TREES AND ALL VEGETATION: TWELVE MONTHS FROM DATE OF SUBSTANTIAL COMPLETION.
13. WARRANTEE REPLACEMENTS: REMOVE DEAD AND/OR DEFECTIVE PLANTS IMMEDIATELY AND REPLACE WITHIN THIRTY DAYS WHEN WEATHER CONDITIONS PERMIT BUT BEFORE FINAL COMPLETION. MATCH SIZE AND SPECIES OF ADJACENT PLANTS. REINSTATE THE WARRANTY FOR THE CORRECTED WORK FROM DATE WHEN THE CORRECTION IS COMPLETED.



**PASEO VILLAGE SD**

Location: 408 NW 30TH ST.  
OKC, OK 73118  
Project #: 23014

OWNER:  
SFR-WR, LLC  
6624 North Holliston Ave.  
Oklahoma City, Oklahoma 73116

GENERAL CONTRACTOR:  
State Construction  
1742 NW 159 St.  
Oklahoma City, Oklahoma 73106

STRUCTURAL ENGINEER:  
Obelsk Engineering Inc.  
305 NW 5th St. #1257  
Oklahoma City, Oklahoma 73102  
405 413 9060

CIVIL ENGINEER:  
Johnson & Associates Inc.  
1 East Sheridan Ave., OKC, OK 73104  
405 235 8075

LANDSCAPE ARCHITECT:  
LAUD Studio LLC  
220 NW 13th St., Suite 1, OKC, OK 73103  
405 420 8800

DRAWING ISSUE / DATE	REVISION NO.
HP 11/05/2024	

NOT FOR CONSTRUCTION

KEYPLAN

SHEET TITLE

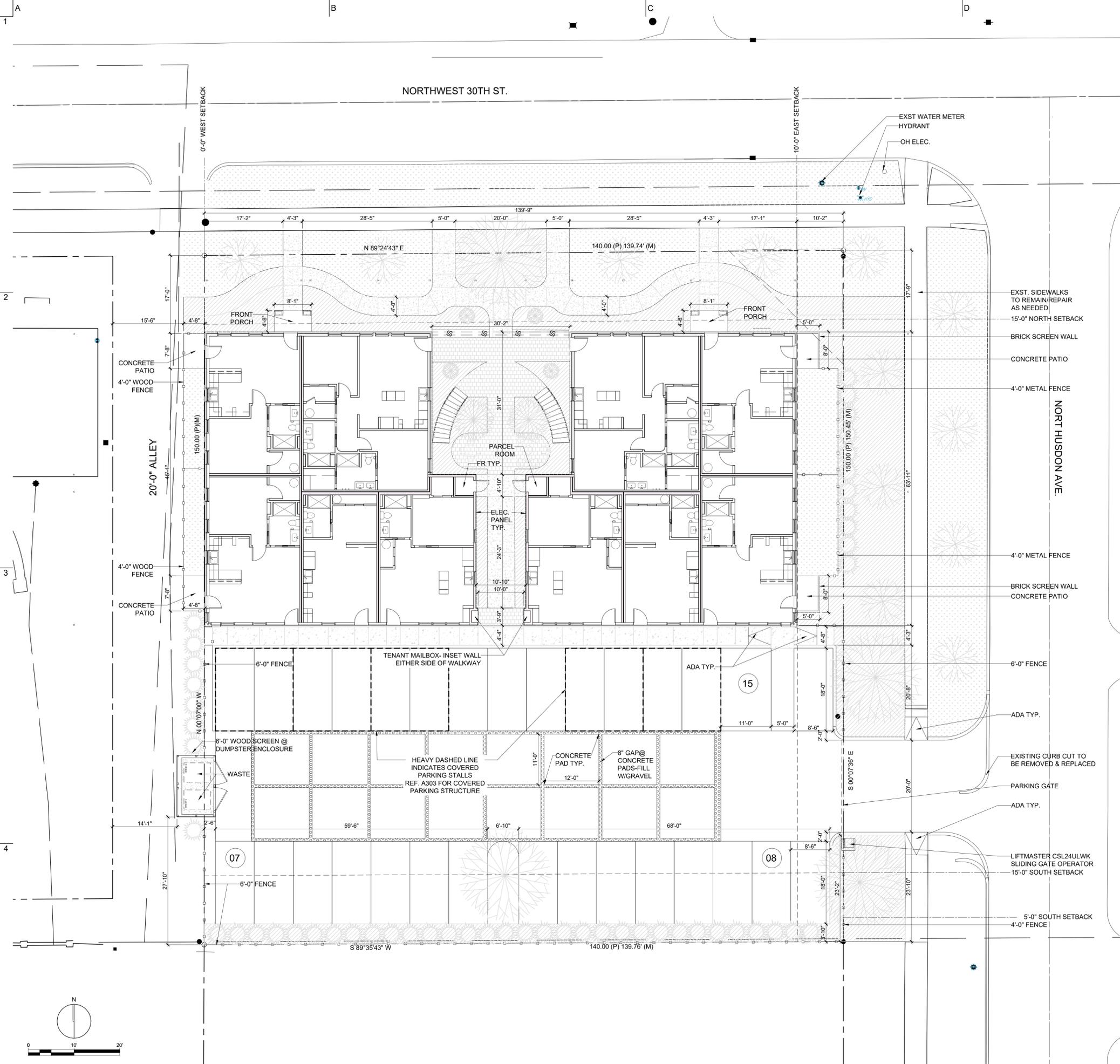
TREE PLAN

SHEETNUMBER

**L8.01**







**SITE PLAN NOTES:**

1. ALL PAVING TO MEET MINIMUM REQUIREMENTS OF THE OKLAHOMA CITY DEPARTMENT OF PUBLIC WORKS PAVING STANDARDS AS PUBLISHED ON THE PUBLIC WORKS DEPARTMENT WEBSITE BY THE CITY OF OKLAHOMA CITY.
2. EXISTING ZONING IS PER SPUD-1581
3. CURRENT USE - NO STRUCTURES
4. THIS SITE PLAN HAS BEEN DESIGNED TO COMPLY WITH THE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
5. REFER TO LANDSCAPE PLAN FOR PLANTING INFORMATION
6. EXISTING CONCRETE CURB CUTS AND APRONS TO BE REPAIRED AND UPDATED AS NEEDED DURING NORMAL COURSE OF CONSTRUCTION.
7. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM FIELD SURVEY



**PASEO VILLAGE SD**

Location: 408 NW 30TH ST.  
OKC, OK 73118  
Project #: 23014

OWNER:  
SFR WR, LLC  
6524 North Robinson Ave  
Oklahoma City, Oklahoma 73116

GENERAL CONTRACTOR:  
Site Construction  
1742 NW 10th St.  
Oklahoma City, Oklahoma 73106

STRUCTURAL ENGINEER:  
Obelisk Engineering Inc  
305 NW 5th St, #1251  
Oklahoma City, Oklahoma 73102  
405-413-9080

CIVIL ENGINEER:  
Johnson & Associates Inc  
1 East Sheridan Ave., OKC, OK, 73104  
405-238-8979

LANDSCAPE ARCHITECT:  
LADD Studio LLC  
200 NW 10th St., Suite 1, OKC, OK 73103  
405-420-8800

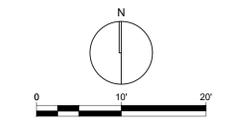
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HP 11/05/2024	

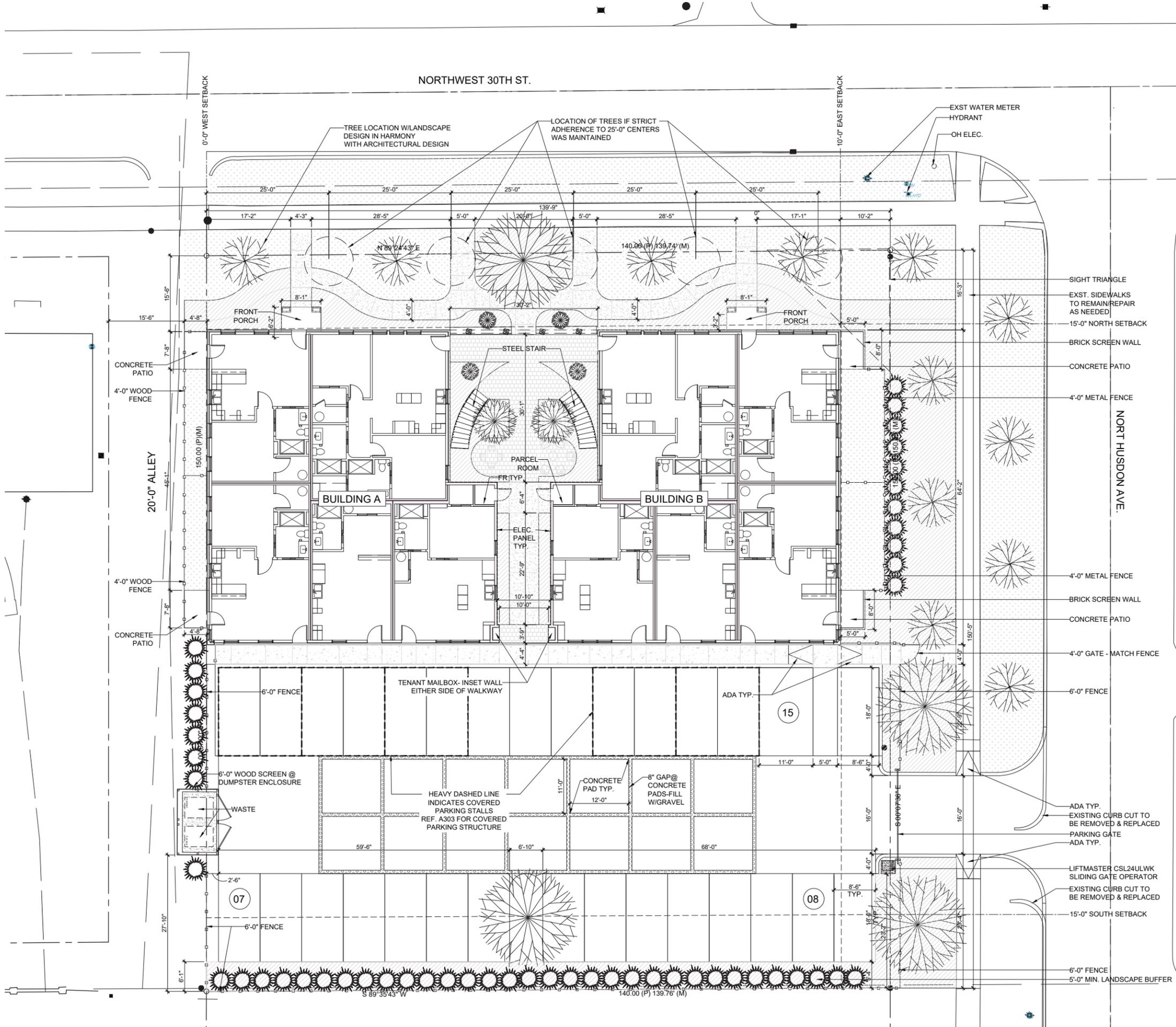
NOT FOR CONSTRUCTION

KEY PLAN

**ARCH. SITE PLAN**

**A100**





- SITE PLAN NOTES:**
1. ALL PAVING TO MEET MINIMUM REQUIREMENTS OF THE OKLAHOMA CITY DEPARTMENT OF OF PUBLIC WORKS PAVING STANDARDS AS PUBLISHED ON THE PUBLIC WORKS DEPARTMENT WEBSITE BY THE CITY OF OKLAHOMA CITY.
  2. EXISTING ZONING IS PER SPUD-1581
  3. CURRENT USE - NO STRUCTURES
  4. THIS SITE PLAN HAS BEEN DESIGNED TO COMPLY WITH THE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
  5. REFER TO LANDSCAPE PLAN FOR PLANTING INFORMATION
  6. EXISTING CONCRETE CURB CUTS AND APRONS TO BE REPAIRED AND UPDATED AS NEEDED DURING NORMAL COURSE OF CONSTRUCTION.
  7. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM FIELD SURVEY

  
**NORTH**  
**ARCHITECTURAL SITE PLAN**

**OPEN SPACE CALCULATION:**

TOTAL REQUIRED OPEN SPACE ACCORDING TO SPUD-1581:  
 "There shall be a minimum of 40% open space."

<b>TOTAL OPEN SPACE WITHIN PROPERTY LINE:</b>	
LANDSCAPE AND HARDSCAPE ZONES: Includes patios, walkways, landscape beds, planting areas, and walkways	5,722 SQUARE FEET
PARKING AREA: Includes parking stalls intended for common use of residents of the development	8,122 SQUARE FEET
<b>TOTAL OPEN SPACE:</b>	<b>13,844 SQUARE FEET</b>
<b>TOTAL SITE AREA:</b>	<b>20,944 SQUARE FEET</b>

OPEN SPACE CALCULATION:  
 Percentage Open Space Provided=  $\left( \frac{\text{Total Site Area}}{\text{Total Open Space}} \right) \times 100$

Percentage Open Space Provided= 0.6611 X 100 = 66.11% > 40%



**PASEO VILLAGE SD**  
 Location: 408 NW 30TH ST.  
 OKC, OK 73118  
 Project #: 23014

OWNER:  
 SFRWR, LLC  
 624 North Robinson Ave  
 Oklahoma City, Oklahoma 73116

GENERAL CONTRACTOR:  
 Site Construction  
 1742 NW 19th St.  
 Oklahoma City, Oklahoma 73106

STRUCTURAL ENGINEER:  
 Coble Engineering Inc  
 305 NW 29th St, #1251  
 Oklahoma City, Oklahoma 73102  
 405-413-9000

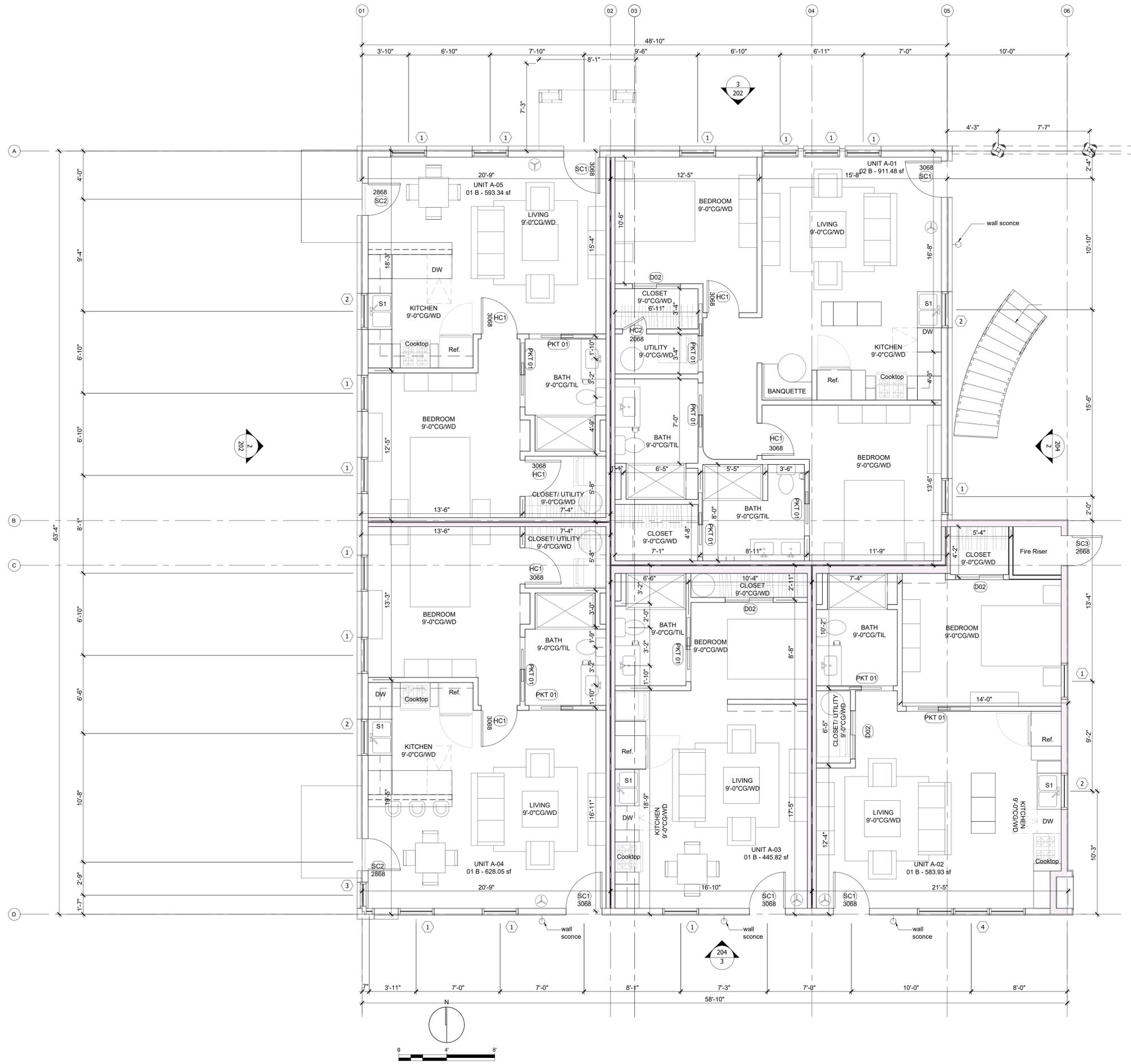
CIVIL ENGINEER:  
 Johnson & Associates Inc  
 1 East Sheridan Ave., OKC, OK, 73104  
 405-238-8975

LANDSCAPE ARCHITECT:  
 LAUD Studio LLC  
 220 NW 19th St., Suite 1, OKC, OK 73103  
 405-420-8800

DRAWING ISSUE / DATE	REVISION NO.
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KEYPLAN



**DOOR SCHEDULE LEVEL 01 BUILDING A**

MARK	COUNT	WIDTH	HEIGHT	TYPE	FINISH	COMMENTS
SC1	5	3'-0"	6'-8"	3/4 light entry door	paint, typ.	All doors facing streets are wood
SC2	2	2'-8"	6'-8"	Pella, 3/4 light Fiberglass	TBD	-
SC3	1	2'-6"	6'-8"	HM utility door	TBD	-
HC01	6	3'-0"	6'-8"	Single panel, shaker style	TBD	-
HC02	2	2'-0"	6'-8"	Single panel, utility door	TBD	-
PKT01	11	2'-8" open	6'-8"	Flat slab door	site finish	-
D02	1	4'-0"	6'-8"	Bi-pass closet door, flat slab	site finish	-

**WINDOW SCHEDULE LEVEL 01 BUILDING A**

MARK	COUNT	WIDTH	HEIGHT	TYPE	FINISH	COMMENTS
01	15	36"	72"	Single Hung, Clad wood	TBD	-
02	4	36"	54"	Single Hung, Clad wood	TBD	-
03	1	24"/10"	72"	Fixed, Mullied Corner Unit, Clad wood	TBD	-
04	2	(3X)36"	72"	Mullied triple unit Clad Wood	TBD	-

**Building A  
 Level 01  
 Floor Plan**

SHEETNUMBER

**A102**

01: BUILDING A LEVEL 01 FLOOR PLAN - SCALE: 1/4"=1'-0"



**PASEO VILLAGE  
SD**

Location: 408 NW 30TH ST.  
OKC, OK 73118  
Project #: 23014

OWNER:  
SFRWR, LLC  
624 North Robinson Ave  
Oklahoma City, Oklahoma 73106

GENERAL CONTRACTOR:  
Slate Construction  
1742 NW 15th St.  
Oklahoma City, Oklahoma 73106

STRUCTURAL ENGINEER:  
Obelisk Engineering Inc  
305 NW 5th St, #1251  
Oklahoma City, Oklahoma 73102  
405 413 9000

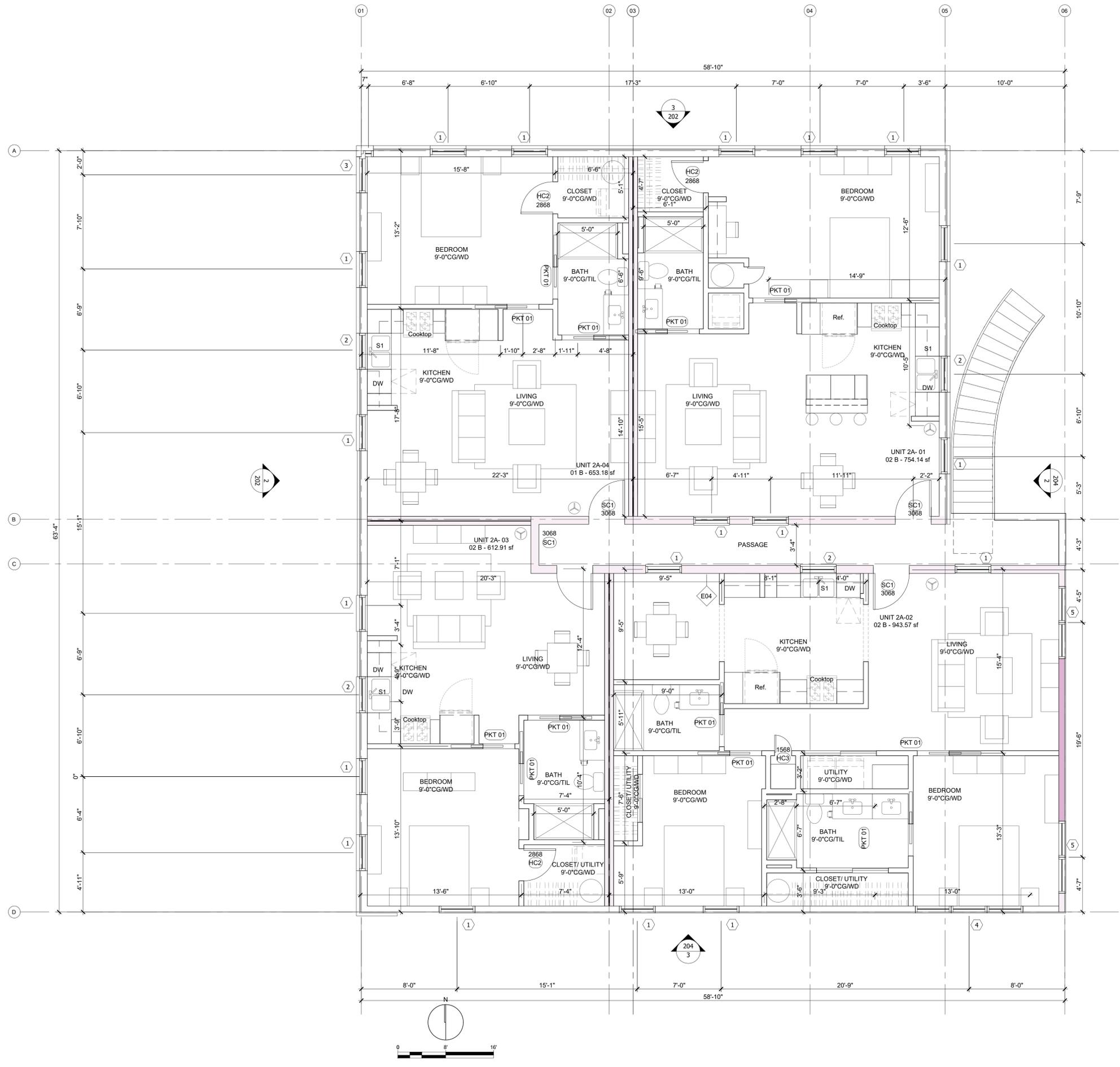
CIVIL ENGINEER:  
Johnson & Associates Inc  
1 East Sheridan Ave., OKC, OK 73104  
405 238 8975

LANDSCAPE ARCHITECT:  
LADD Studio LLC  
200 NW 15th St., Suite 1, OKC, OK 73103  
405 420 8800

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NOT FOR CONSTRUCTION

KEYPLAN



**DOOR SCHEDULE LEVEL 02 BUILDING A**

MARK	COUNT	WIDTH	HEIGHT	TYPE	FINISH	COMMENTS
SC1	4	3'-0"	6'-8"	Pella, Fiberglass	TBD	-
HC01	-	2'-8"	6'-8"	Single panel, shaker style	TBD	-
HC2	2	2'-8"	6'-8"	Single panel, shaker style	TBD	-
HC3	2	2'-0"	6'-8"	Single panel, shaker style	TBD	-
PKT01	12	2'-8" open	6'-8"	Flat slab door	site finish	-
D02	3	4'-0"	6'-8"	Bi-pass closet door, flat slab	site finish	-

**WINDOW SCHEDULE LEVEL 02 BUILDING A**

MARK	COUNT	WIDTH	HEIGHT	TYPE	FINISH	COMMENTS
01	19	36"	72"	Single Hung, Clad wood	TBD	-
02	5	36"	54"	Single Hung, Clad wood	TBD	-
03	1	24"/10"	72"	Fixed, Muller Corner Unit, Clad wood	TBD	-
04	1	(3X)36"	72"	Muller triple unit Clad Wood	TBD	-
05	2	(2X)36"	72"	Muller Dbl unit Clad Wood	TBD	-

01: BUILDING A LEVEL 02 PLAN - SCALE: 1/4"=1'-0"

**Building A  
Level 02  
Floor Plan**

SHEET NUMBER  
**A104**



PASEO VILLAGE SD

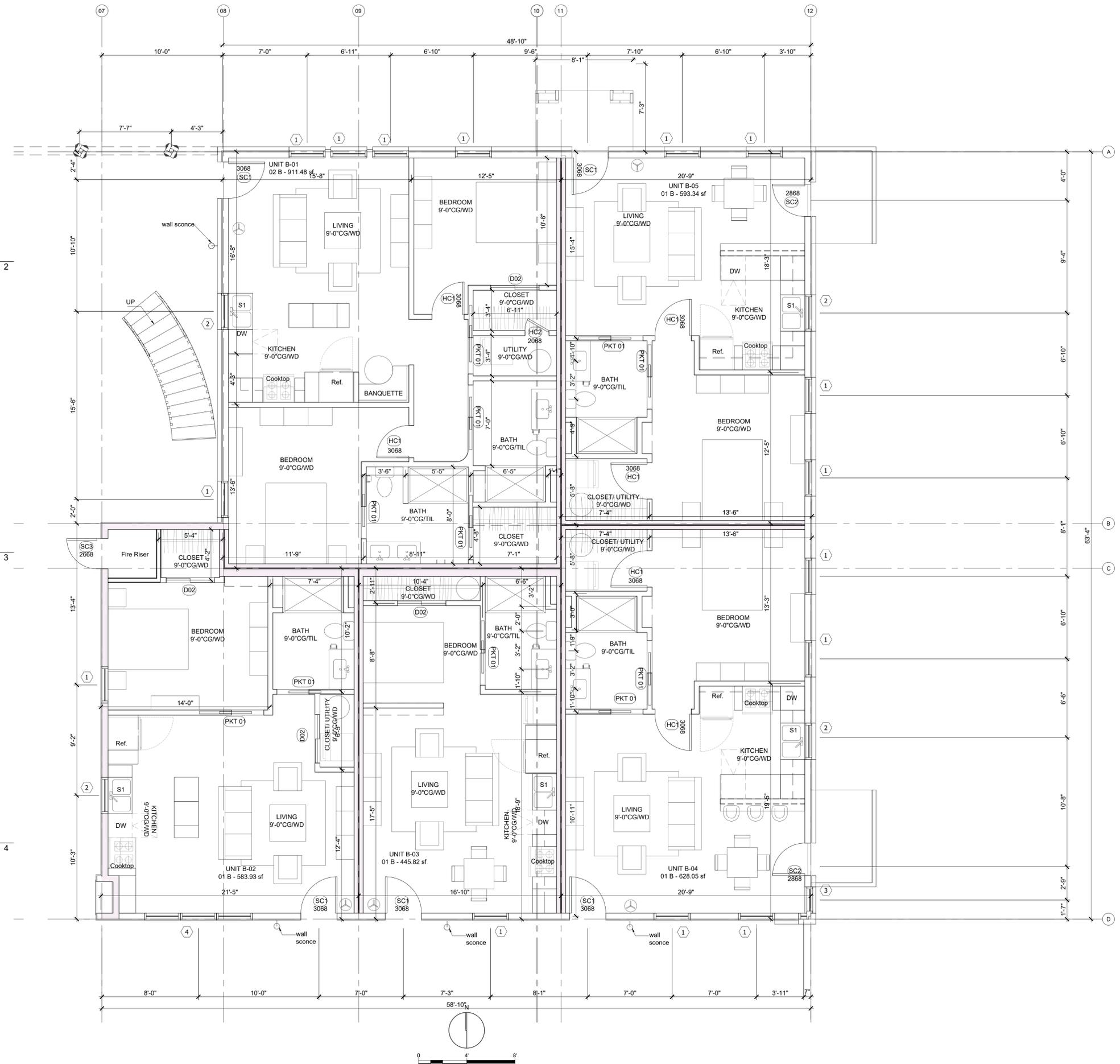
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STRUCTURAL ENGINEER: Obelisk Engineering Inc 305 NW 5th St, #1251 Oklahoma City, Oklahoma 73102 405 413 9000
CIVIL ENGINEER: Johnson & Associates Inc 1 East Sheridan Ave., OKC, OK, 73104 405 238 8975
LANDSCAPE ARCHITECT: LAUD Studio LLC 220 NW 15th St., Suite 1, OKC, OK 73103 405 420 8800

Table with 2 columns: DRAWING ISSUE / DATE, REVISION NO. Includes revision HP 11/05/2024.

NOT FOR CONSTRUCTION

KEYPLAN



DOOR SCHEDULE LEVEL 01 BUILDING B. Table with columns: MARK, COUNT, WIDTH, HEIGHT, TYPE, FINISH, COMMENTS. Lists items SC1, SC2, SC3, HC01, HC02, PKT01, D02.

WINDOW SCHEDULE LEVEL 01 BUILDING B. Table with columns: MARK, COUNT, WIDTH, HEIGHT, TYPE, FINISH, COMMENTS. Lists items 01, 02, 03, 04.

01: BUILDING A LEVEL 01 FLOOR PLAN - SCALE: 1/4"=1'-0"

Building B Level 01 Floor Plan

SHEETNUMBER

A106



**PASEO VILLAGE  
SD**  
Location: 408 NW 30TH ST.  
OKC, OK 73118  
Project #: 23014

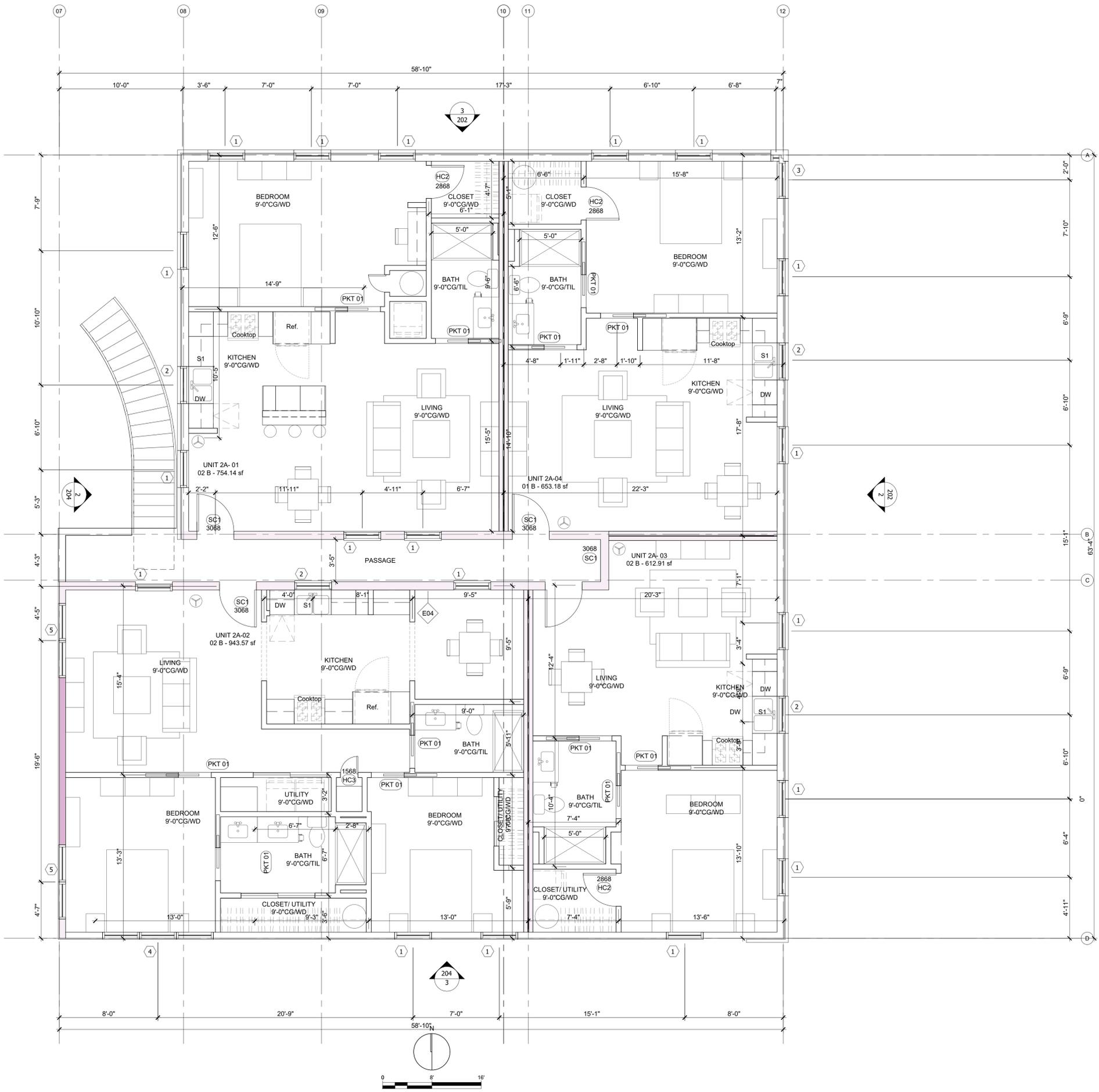
OWNER:  
SFR WR, LLC  
6824 North Robinson Ave  
Oklahoma City, Oklahoma 73116  
GENERAL CONTRACTOR:  
Slate Construction  
1742 NW 15th St.  
Oklahoma City, Oklahoma 73106  
STRUCTURAL ENGINEER:  
Obelisk Engineering Inc  
305 NW 5th St, #1251  
Oklahoma City, Oklahoma 73102  
405 413 9000  
CIVIL ENGINEER:  
Johnson & Associates Inc  
1 East Sheridan Ave., OKC, OK 73104  
405 238 8975  
LANDSCAPE ARCHITECT:  
LADD Studio LLC  
220 NW 15th St., Suite 1, OKC, OK 73103  
405 420 8800

DRAWING ISSUE / DATE REVISION NO.  
HP 11/05/2024

DRAWING ISSUE / DATE	REVISION NO.
HP 11/05/2024	

NOT FOR CONSTRUCTION

KEYPLAN



**DOOR SCHEDULE LEVEL 02 BUILDING B**

MARK	COUNT	WIDTH	HEIGHT	TYPE	FINISH	COMMENTS
SC1	4	3'-0"	6'-8"	Pella, Fiberglass	TBD	-
HC01	-	2'-8"	6'-8"	Single panel, shaker style	TBD	-
HC2	2	2'-8"	6'-8"	Single panel, shaker style	TBD	-
HC3	2	2'-0"	6'-8"	Single panel, shaker style	TBD	-
PKT01	12	2'-8" open	6'-8"	Flat slab door	site finish	-
D02	3	4'-0"	6'-8"	Bi-pass closet door, flat slab	site finish	-

**WINDOW SCHEDULE LEVEL 02 BUILDING B**

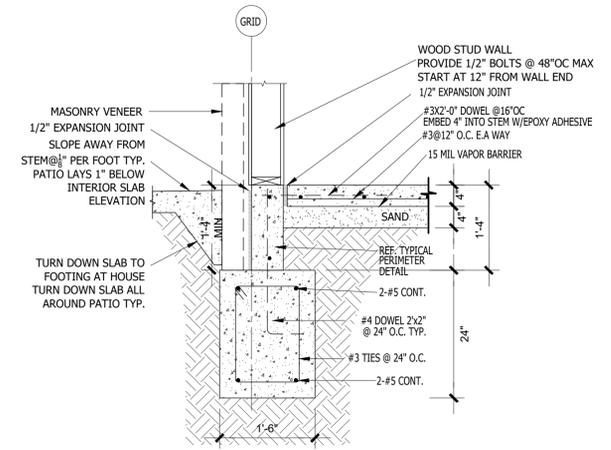
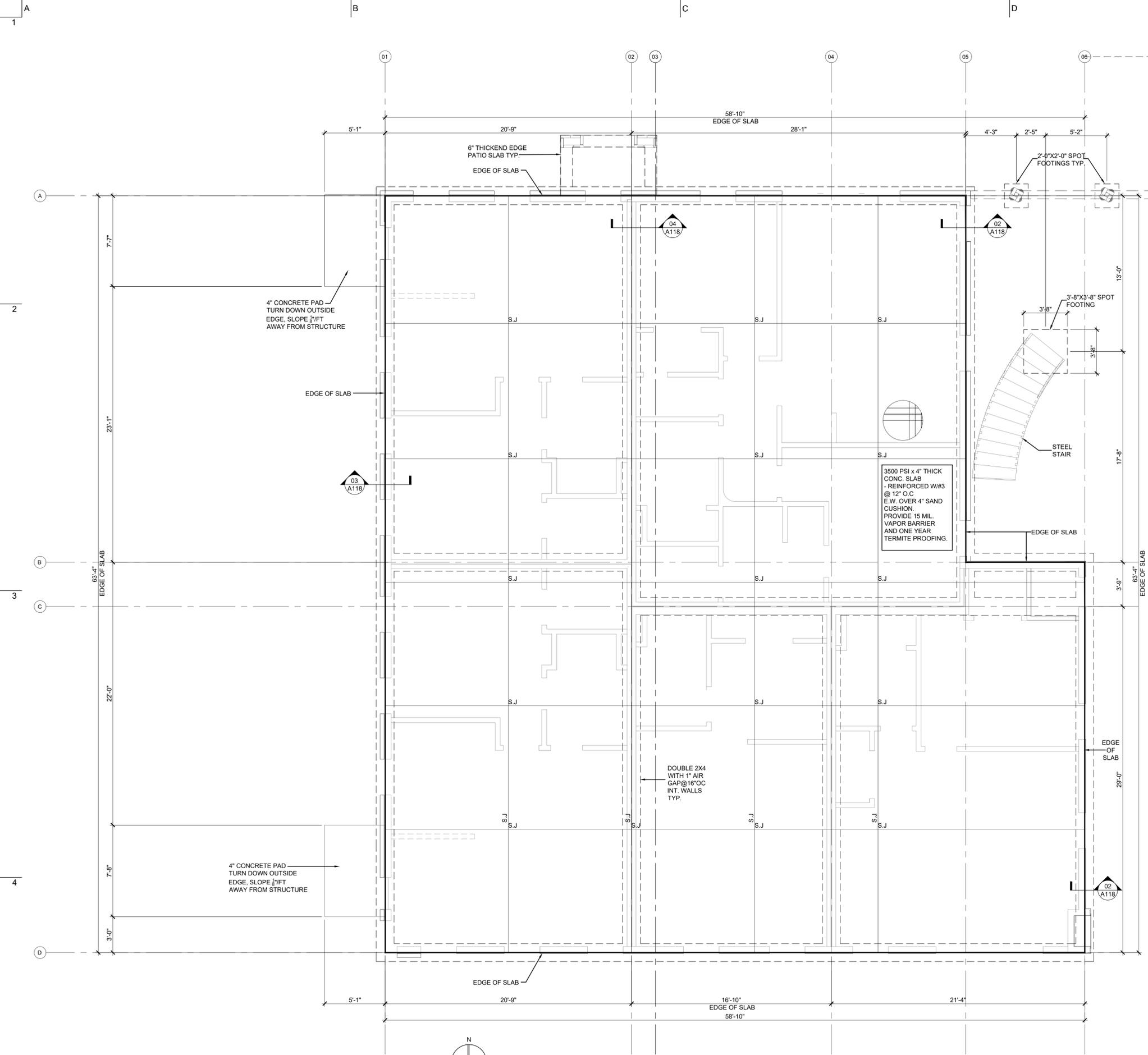
MARK	COUNT	WIDTH	HEIGHT	TYPE	FINISH	COMMENTS
01	19	36"	72"	Single Hung, Clad wood	TBD	-
02	5	36"	54"	Single Hung, Clad wood	TBD	-
03	1	24"/10"	72"	Fixed, Muller Corner Unit, Clad wood	TBD	-
04	1	(3X)36"	72"	Muller triple unit Clad Wood	TBD	-
05	2	(2X)36"	72"	Muller Dbl unit Clad Wood	TBD	-

01: BUILDING A LEVEL 02 PLAN - SCALE: 1/4"=1'-0"

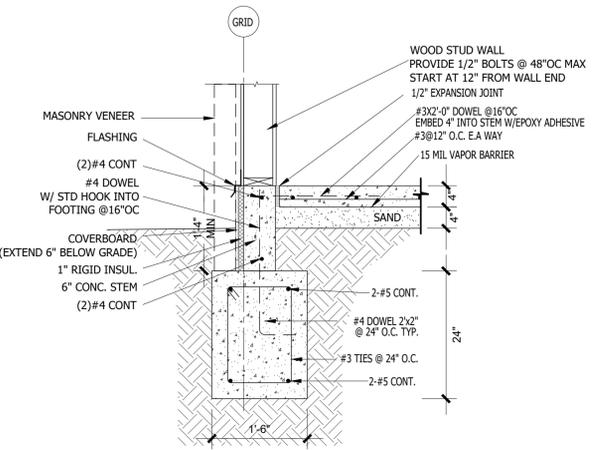
**Building B  
Level 02  
Floor Plan**

SHEETNUMBER

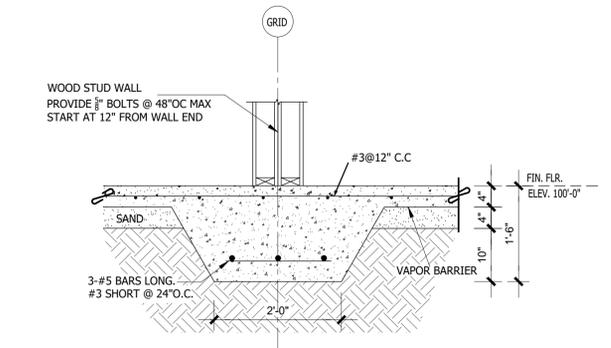
**A108**



02: FOUNDATION DETAIL - SCALE: 3/4"=1'-0"



03: FOUNDATION DETAIL - SCALE: 3/4"=1'-0"



04: FOUNDATION DETAIL - SCALE: 3/4"=1'-0"

**dl**  
 Adam L. LLC  
 Adam Lamm, AIA  
 405-425-7191  
 © 2024

**PASEO VILLAGE SD**

Location: 408 NW 30TH ST.  
 OKC, OK 73118  
 Project #: 23014

OWNER:  
 SFR WR, LLC  
 6824 North Robinson Ave  
 Oklahoma City, Oklahoma 73116

GENERAL CONTRACTOR:  
 Sible Construction  
 1742 NW 19th St.  
 Oklahoma City, Oklahoma 73106

STRUCTURAL ENGINEER:  
 Obelisk Engineering Inc  
 305 NW 9th St, #1251  
 Oklahoma City, Oklahoma 73102  
 405-413-9090

CIVIL ENGINEER:  
 Johnson & Associates Inc  
 1 East Sheridan Ave., OKC, OK 73104  
 405-238-8975

LANDSCAPE ARCHITECT:  
 LAUD Studio LLC  
 200 NW 19th St., Suite 1, OKC, OK 73103  
 405-420-8800

DRAWING ISSUE / DATE	REVISION NO.
HP 11/05/2024	

NOT FOR CONSTRUCTION

KEYPLAN

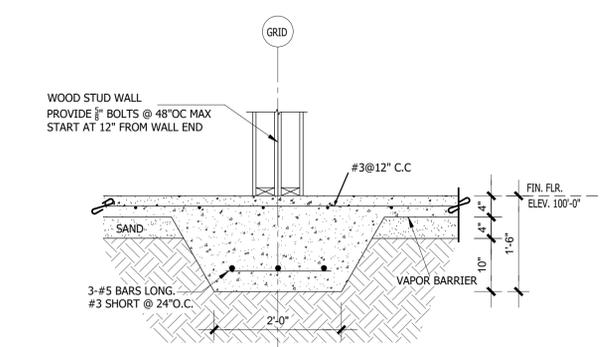
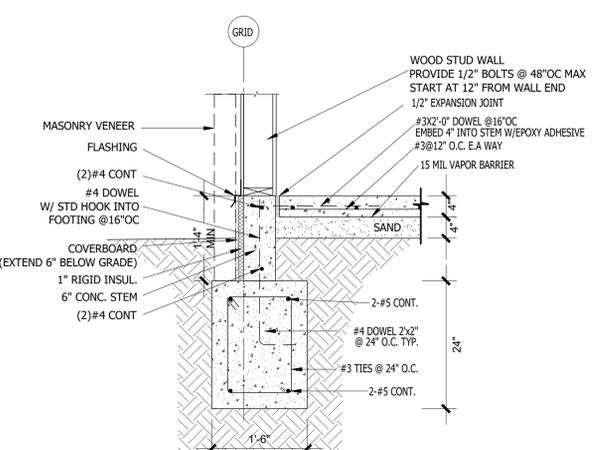
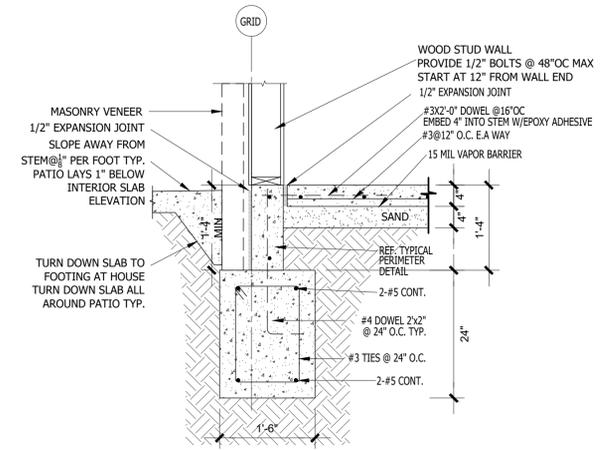
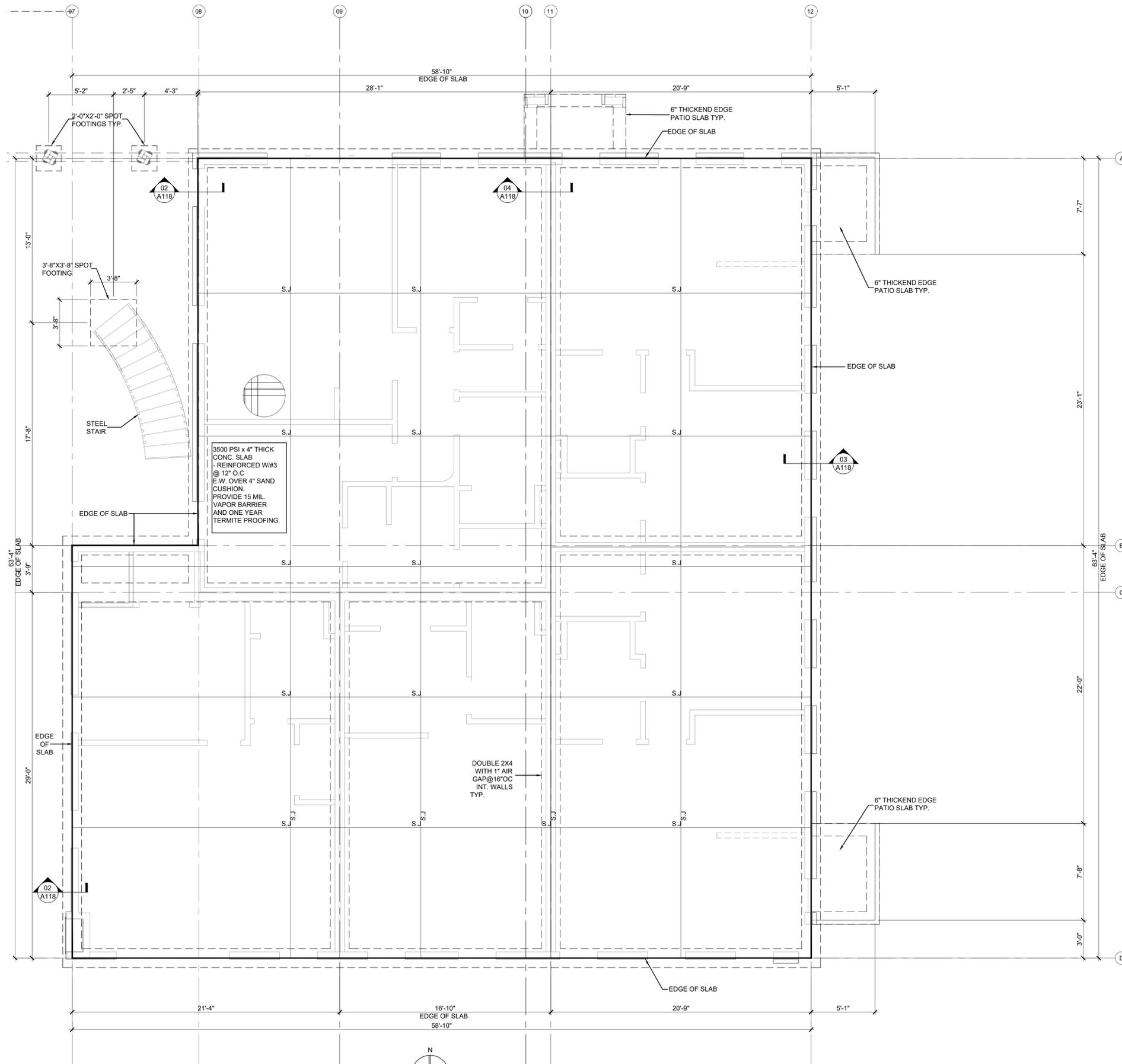
SHEET TITLE

Building A  
 Arch.  
 Foundations  
 Plan

SHEETNUMBER

**A118**

01: BUILDING A FOUNDATION PLAN - SCALE: 1/4"=1'-0"



**dl**  
 Adam L. L.L.C.  
 Adam Lamm, AIA  
 405-425-7191  
 © 2024

**PASEO VILLAGE SD**

Location: 408 NW 30TH ST. OKC, OK 73118  
 Project #: 23014

OWNER: SFR WR, LLC  
 6224 North Robinson Ave  
 Oklahoma City, Oklahoma 73116

GENERAL CONTRACTOR: Slite Construction  
 1742 NW 15th St.  
 Oklahoma City, Oklahoma 73102

STRUCTURAL ENGINEER: Obelisk Engineering Inc  
 305 NW 9th St. #1251  
 Oklahoma City, Oklahoma 73102  
 405-413-9000

CIVIL ENGINEER: Johnson & Associates Inc  
 1 East Sheridan Ave., OKC, OK 73104  
 405-238-8975

LANDSCAPE ARCHITECT: LAUD Studio LLC  
 220 NW 15th St., Suite 1, OKC, OK 73103  
 405-420-8800

DRAWING ISSUE / DATE	REVISION NO.
HP 11/05/2024	

KEYPLAN

NOT FOR CONSTRUCTION

Building B  
 Arch.  
 Foundations  
 Plan

SHEET NUMBER

**A119**



**PASEO VILLAGE SD**

Location: 408 NW 30TH ST.  
OKC, OK 73118  
Project #: 23014

OWNER:  
SFR WR, LLC  
6824 North Robinson Ave  
Oklahoma City, Oklahoma 73116  
GENERAL CONTRACTOR:  
Slate Construction  
1742 NW 10th St.  
Oklahoma City, Oklahoma 73106  
STRUCTURAL ENGINEER:  
Obelisk Engineering Inc  
305 NW 5th St, #1251  
Oklahoma City, Oklahoma 73102  
405 413 9000  
CIVIL ENGINEER:  
Johnson & Associates Inc  
1 East Sheridan Ave., OKC, OK 73104  
405 238 8975  
LANDSCAPE ARCHITECT:  
LADD Studio LLC  
200 NW 10th St., Suite 1, OKC, OK 73103  
405 420 8800

DRAWING ISSUE / DATE	REVISION NO.
HP 11/05/2024	

NOT FOR CONSTRUCTION

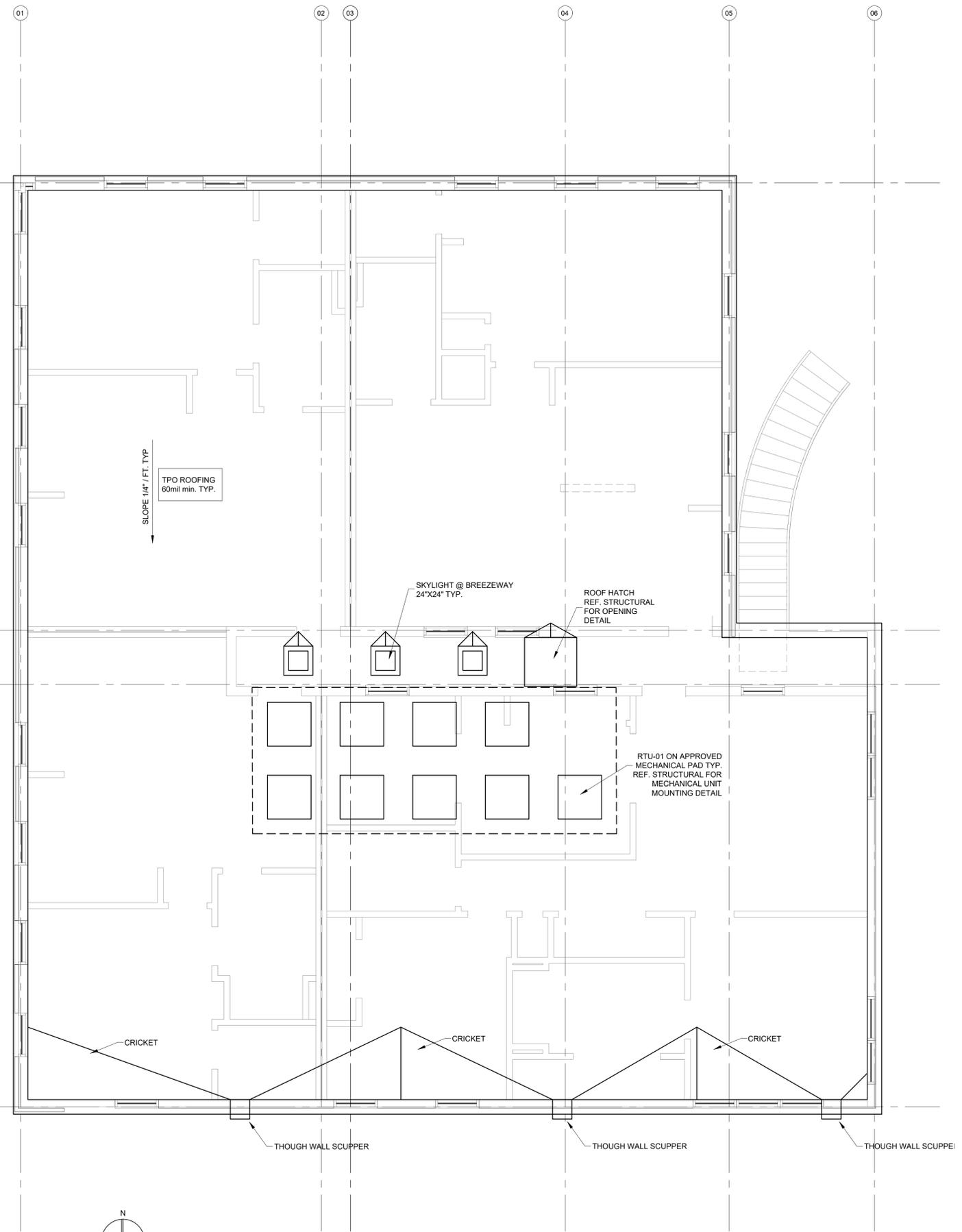
KEY PLAN

SHEET TITLE

Building A  
Roof Plan

SHEET NUMBER

A124



01: BUILDING A ROOF PLAN - SCALE: 1/4"=1'-0"

1

2

3

4



PASEO VILLAGE SD

Location: 408 NW 30TH ST.  
OKC, OK 73118  
Project #: 23014

OWNER:  
SFR WR, LLC  
6824 North Robinson Ave  
Oklahoma City, Oklahoma 73116  
GENERAL CONTRACTOR:  
Slate Construction  
1742 NW 15th St.  
Oklahoma City, Oklahoma 73106  
STRUCTURAL ENGINEER:  
Obelisk Engineering Inc  
305 NW 9th St, #1251  
Oklahoma City, Oklahoma 73102  
405 413 9000  
CIVIL ENGINEER:  
Johnson & Associates Inc  
1 East Sheridan Ave., OKC, OK 73104  
405 238 8975  
LANDSCAPE ARCHITECT:  
LADD Studio LLC  
220 NW 15th St., Suite 1, OKC, OK 73103  
405 420 8800

DRAWING ISSUE / DATE	REVISION NO.
HP 11/05/2024	

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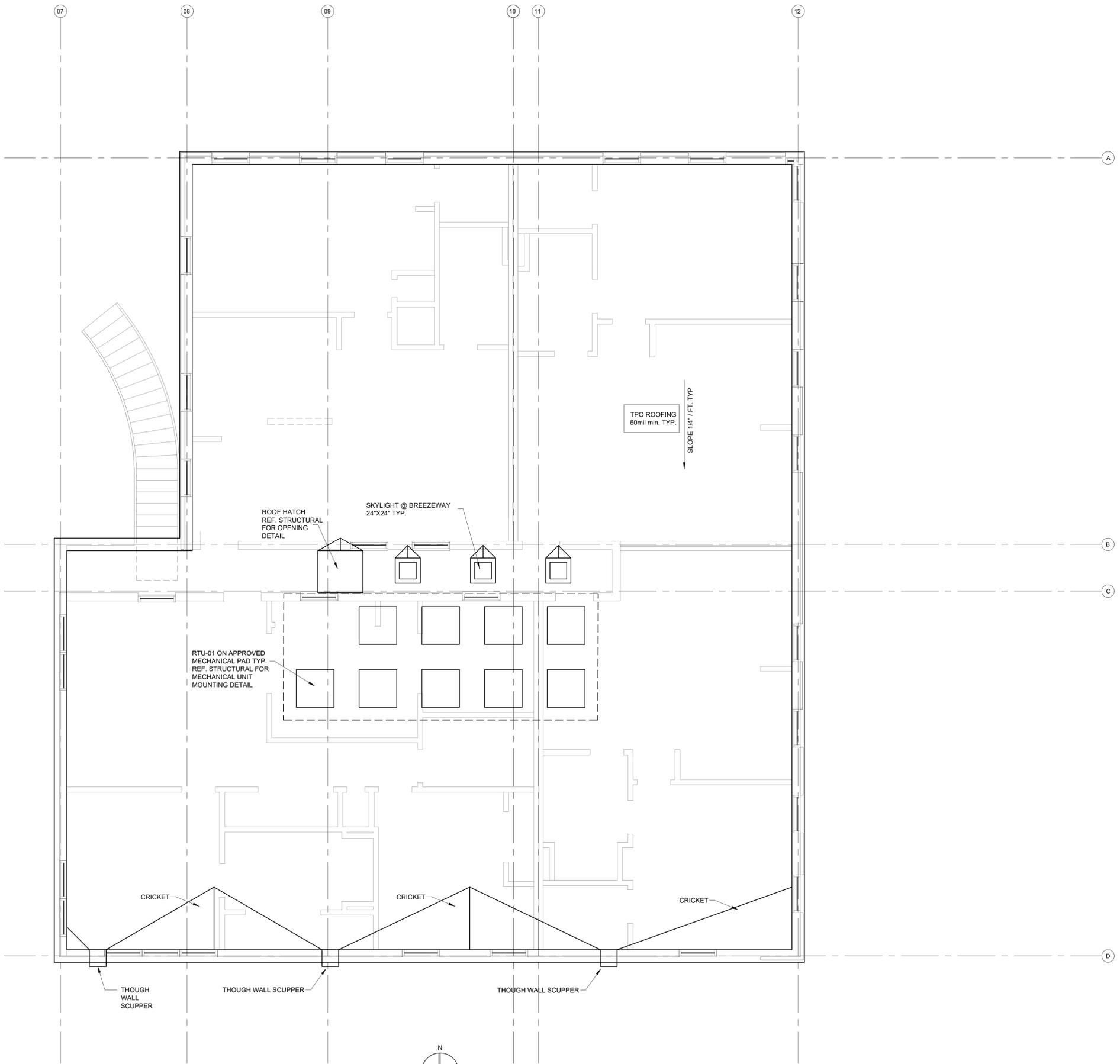
KEYPLAN

SHEET TITLE

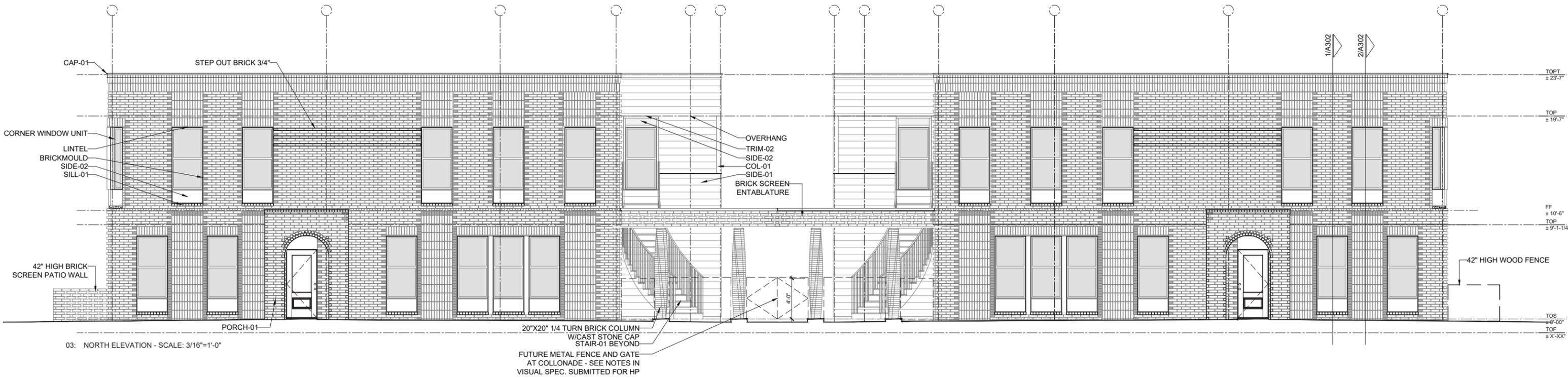
Building B  
Roof Plan

SHEETNUMBER

A125



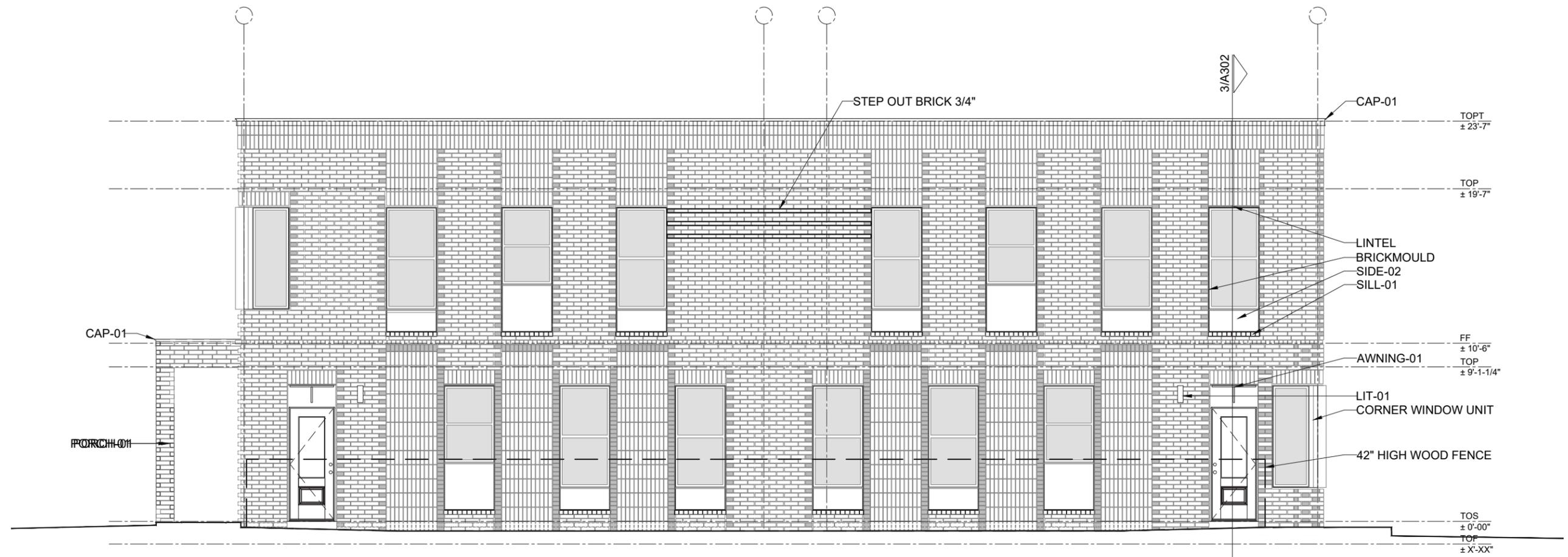
01: BUILDING B ROOF PLAN - SCALE: 1/4"=1'-0"



**BUILDING B NORTH ELEVATION**

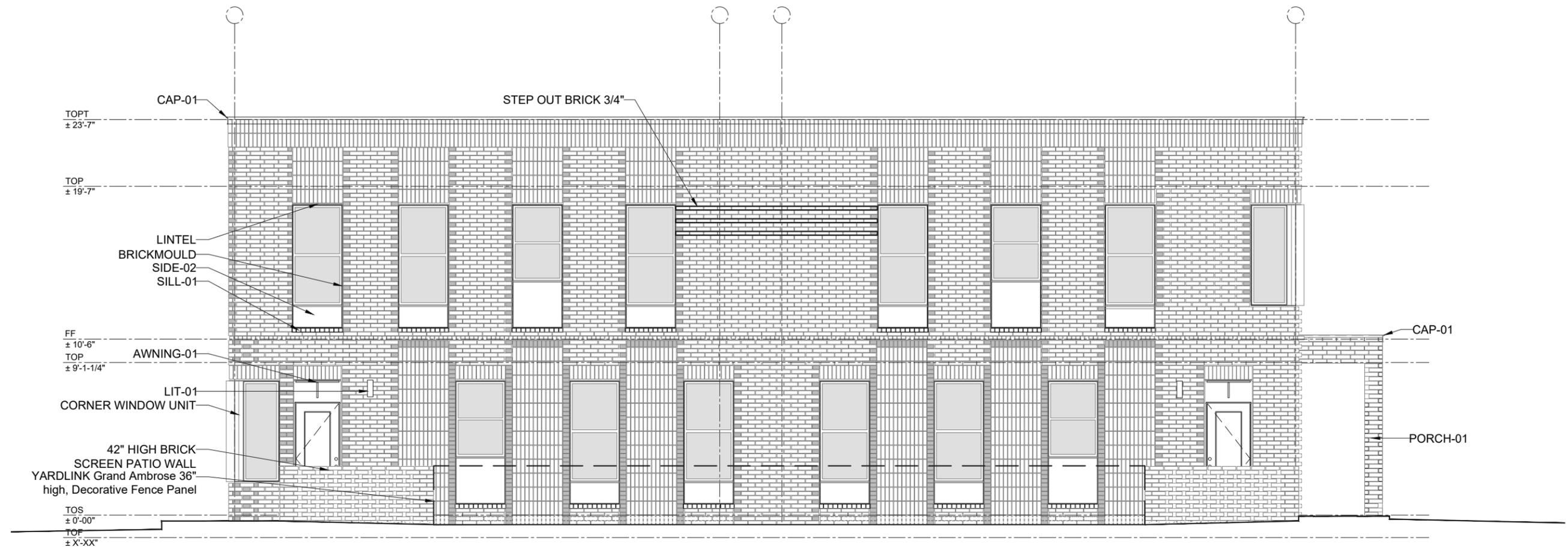
**BUILDING A NORTH ELEVATION**

MARK	PRODUCT	MANUFACTURER /TYPE	COLOR/SIZING	ADDITIONAL COMMENTS	MARK	PRODUCT	MANUFACTURER /TYPE	COLOR/SIZING	ADDITIONAL COMMENTS
SIDE-01	Fiber Cement ShipLap Siding, 5" Exposure typical on all	Hardie Board - Smooth Finish	Prime for paint/ 10.250"x 144"x0.625"	Applied horizontally in rainscreen configuration, use 1/2" furring strips vertically @2'-0" oc	LIT-01	Brentwood LED 12" Bronze Outdoor Wall Sconce, Large	Nuvo Lighting	Bronze Finish	Typical fixture @ ground floor unit entries - see plans
SIDE-02	5/16" Fiber Cement Panel	Hardie Board - Smooth Finish	Prime for paint	At window bases/heads and entry doors as indicated	BASE-01	Weep Screen at wall base w/1x trim board, typical at base of lap siding wall.	By GC/Sub	per manufacturer recommendations per material. Provide cut sheet for approval and warrantee	Paint 1x trim board to match siding
BRICK-01	Masonry Veneer	Interstate brick, Glacier White, King Size, texture is Matte and Ruff blend W 2.75 x H 2.625 x L 9.625 Soldier Course = RUFF Common Bond = Matte	Arctic White	Slotted anchors of type DW10, Open head joints every third brick at lintels and other location, Vertical expansion joints indicated in drawings, Horizontal expansion joints locate under shelf angles and other dissimilar materials abutted by brick, Rake all mortar joints.	PORCH-01	5'-0"x8'-0" Brick Porch - see notes	Brick to match exterior of building- all Matte finish	-	2x6 internal frame @ roof, provide internal gutter and downspout at brick column - final detail tbd.
STAIR-01	Steel Stair	Gy GC/Sub	GC to provide shop drawings for approval. Powder Coat finish	36" wide stair, 12" channel stringer rolled to spec., 1.25" posts, 1/2" square vertical pickets, molded steel cap rail.	AWNING-01	BESPOKE STEEL AWNING	By GC/Sub - provide shop drawings for final approval	Paint to match trim color	36"x18"x1" PLT.STL., prime and paint w/oil based exterior epoxy, final color to be determined, match color to door paint color
SILL-01	Row lock brick sill	Match Brick-01	-	Typical sill plate at all masonry set windows-ref. wall section	BRICK SCREEN ENTABLATURE	1/3 COURSE BRICK SCREEN W/1" PLT.STL. CONT. LINTEL, GROUT FILLED TOP ROWLOCK	By GC/Sub - provide shop drawings for final approval, coordinate with steel sub.	See BRICK-01, all matte finish	Drill 1/2" drain holes @12" OC on centerline of PLT.STL. lintel, prime and paint w/oil based exterior epoxy, final color to be determined
COL-01	6X6 Treated PSL column w/1x wood casing	By GC/Sub	Prime and Paint, TYP. color to be approved by Architect	Post boots and Caps to be approved by structural engineer typ.	MAIL-01	Recessed mounted 4c horizontal mailbox	Salsbury 6 Door High Recessed Mounted 4C Horizontal Mailbox with 9 Doors in Bronze with Private Access - Front Loading Model # 3706D-09ZFP	Dark Bronze Color	-
GUT-01	Collector box	By GC/Sub	Color TBD, provide sample for approval	Refer to roofplan for actual gutter locations and lengths and downspout locations	ART-01	Wall mounted art/signage and/or wall applied art/signage	By GC/Sub	to be determined	final design to be determined
DSP-01	Square Downspout	By GC/Sub	3"x4", color to be approved by architect/owner	See above	UTILITY ZONE	Electrical meter bank and panel locations	By GC/Sub	to be confirmed	location to be confirmed
TRIM-01	1x4 trim board	By GC/Sub	Paint, Color TBD	Typical trim at doors and corners, fiber cement siding only					
TRIM-02	1x3 trim board	By GC/Sub	Paint, Color TBD	Typical trim at windows set in fiber cement siding					
CAP-01	Break metal cap flashing, 4" visible exposure w/1" drip edge	By GC/Sub	Pre-finished, dark bronze, final color to be approved. Size and shape to be provided by architect	Cut corners @45° and fold to overlap typ., final details to be provided					



**BUILDING A WEST ELEVATION**

MARK	PRODUCT	MANUFACTURER /TYPE	COLOR/SIZING	ADDITIONAL COMMENTS	MARK	PRODUCT	MANUFACTURER /TYPE	COLOR/SIZING	ADDITIONAL COMMENTS
SIDE-01	Fiber Cement ShipLap Siding, 5" Exposure typical on all	Hardie Board - Smooth Finish	Prime for paint/ 10.250"x 144"x0.625"	Applied horizontally in rainscreen configuration, use 1/2" furring strips vertically @2'-0"oc	LIT-01	Brentwood LED 12" Bronze Outdoor Wall Sconce, Large	Nuvo Lighting	Bronze Finish	Typical fixture @ ground floor unit entries - see plans
SIDE-02	5/16" Fiber Cement Panel	Hardie Board - Smooth Finish	Prime for paint	At window bases/heads and entry doors as indicated	BASE-01	Weep Screen at wall base w/1x trim board, typical at base of lap siding wall.	By GC/Sub	per manufacturer recommendations per material. Provide cut sheet for approval and warrantee	Paint 1x trim board to match siding
BRICK-01	Masonry Veneer	Interstate brick, Glacier White, King Size, texture is Matte and Ruff blend W 2.75 x H 2.625 x L 9.625 Soldier Course = RUFF Common Bond = Matte	Arctic White	Slotted anchors of type DW10, Open head joints every third brick at lintels and other location, Vertical expansion joints indicated in drawings, Horizontal expansion joints locate under shelf angles and other dissimilar materials abutted by brick, Rake all mortar joints.	PORCH-01	5'-0"x8'-0" Brick Porch - see notes	Brick to match exterior of building- all Matte finish	-	2x6 internal frame@roof, provide internal gutter and downspout at brick column - final detail tbd.
STAIR-01	Steel Stair	Gy GC/Sub	GC to provide shop drawings for approval. Powder Coat finish	36" wide stair, 12" channel stringer rolled to spec., 1.25" posts, 1/2" square vertical pickets, molded steel cap rail.	AWNING-01	BESPOKE STEEL AWNING	By GC/Sub - provide shop drawings for final approval	Paint to match trim color	36"x18"x1" PLT.STL., prime and paint w/oil based exterior epoxy, final color to be determined, match color to door paint color
SILL-01	Row lock brick sill	Match Brick-01	-	Typical sill plate at all masonry set windows-ref. wall section	BRICK SCREEN	1/3 COURSE BRICK SCREEN W/1" PLT.STL. CONT. LINTEL, GROUT FILLED TOP ROWLOCK	By GC/Sub - provide shop drawings for final approval, coordinate with steel sub.	See BRICK-01, all matte finish	Drill 1/2" drain holes@12"OC on centerline of PLT.STL. lintel, prime and paint w/oil based exterior epoxy, final color to be determined
COL-01	6X6 Treated PSL column w/1x wood casing	By GC/Sub	Prime and Paint, TYP. color to be approved by Architect	Post boots and Caps to be approved by structural engineer typ.	MAIL-01	Recessed mounted 4c horizontal mailbox	Salsbury 6 Door High Recessed Mounted 4C Horizontal Mailbox with 9 Doors in Bronze with Private Access - Front Loading Model # 3706D-09ZFP	Dark Bronze Color	-
GUT-01	Collector box	By GC/Sub	Color TBD, provide sample for approval	Refer to roofplan for actual gutter locations and lengths and downspout locations	ART-01	Wall mounted art/signage and/or wall applied art/signage	By GC/Sub	to be determined	final design to be determined
DSP-01	Square Downspout	By GC/Sub	3"x4", color to be approved by architect/owner	See above	UTILITY ZONE	Electrical meter bank and panel locations	By GC/Sub	to be confirmed	location to be confirmed
TRIM-01	1x4 trim board	By GC/Sub	Paint, Color TBD	Typical trim at doors and corners, fiber cement siding only					
TRIM-02	1x3 trim board	By GC/Sub	Paint, Color TBD	Typical trim at windows set in fiber cement siding					
CAP-01	Break metal cap flashing, 4" visible exposure w/1" drip edge	By GC/Sub	Pre-finished, dark bronze, final color to be approved. Size and shape to be provided by architect	Cut corners @45° and fold to overlap typ., final details to be provided					



**BUILDING B EAST ELEVATION**

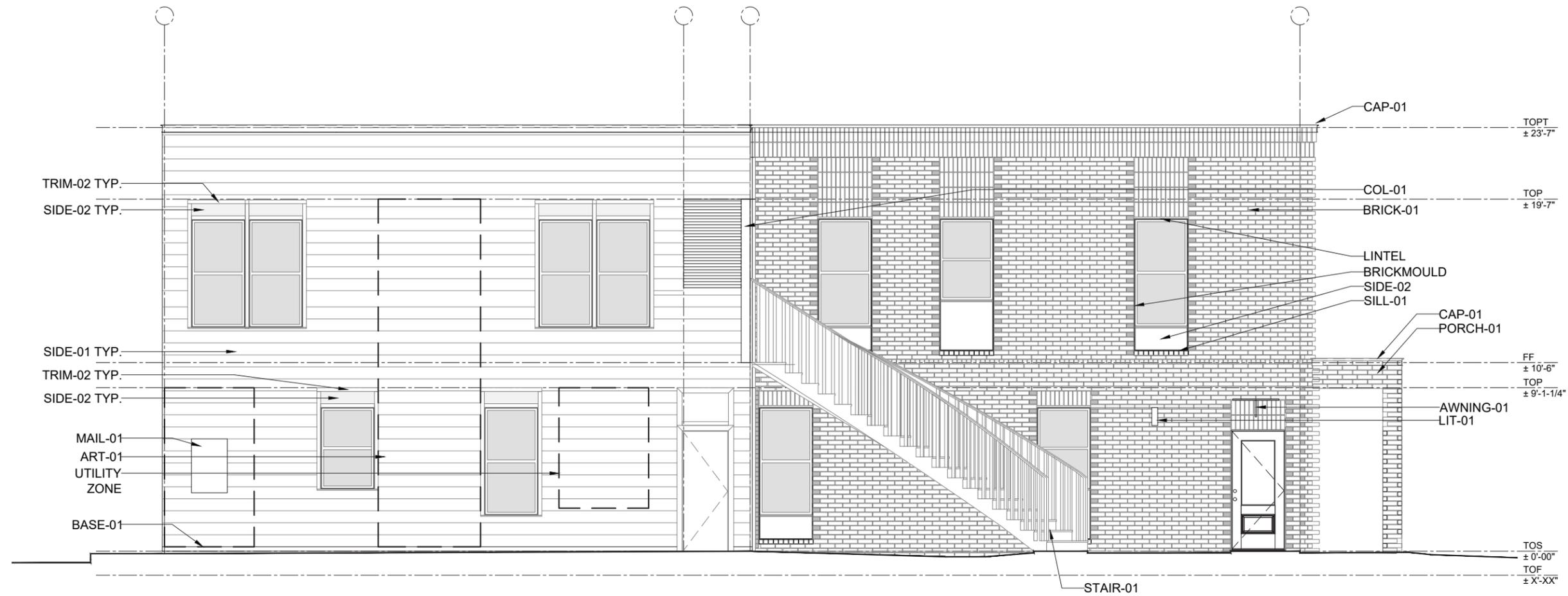
MARK	PRODUCT	MANUFACTURER /TYPE	COLOR/SIZING	ADDITIONAL COMMENTS	MARK	PRODUCT	MANUFACTURER /TYPE	COLOR/SIZING	ADDITIONAL COMMENTS
SIDE-01	Fiber Cement ShipLap Siding, 5" Exposure typical on all	Hardie Board - Smooth Finish	Prime for paint/ 10.250"x 144"x0.625"	Applied horizontally in rainscreen configuration, use 1/2" furring strips vertically @2'-0"oc	LIT-01	Brentwood LED 12" Bronze Outdoor Wall Sconce, Large	Nuvo Lighting	Bronze Finish	Typical fixture @ ground floor unit entries - see plans
SIDE-02	5/16" Fiber Cement Panel	Hardie Board - Smooth Finish	Prime for paint	At window bases/heads and entry doors as indicated	BASE-01	Weep Screen at wall base w/1x trim board, typical at base of lap siding wall.	By GC/Sub	per manufacturer recommendations per material. Provide cut sheet for approval and warrantee	Paint 1x trim board to match siding
BRICK-01	Masonry Veneer	Interstate brick, Glacier White, King Size, texture is Matte and Ruff blend W 2.75 x H 2.625 x L 9.625 Soldier Course = RUFF Common Bond = Matte	Arctic White	Slotted anchors of type DW10, Open head joints every third brick at lintels and other location, Vertical expansion joints indicated in drawings, Horizontal expansion joints locate under shelf angles and other dissimilar materials abutted by brick, Rake all mortar joints.	PORCH-01	5'-0"x8'-0" Brick Porch - see notes	Brick to match exterior of building- all Matte finish	-	2x6 internal frame@roof, provide internal gutter and downspout at brick column - final detail tbd.
STAIR-01	Steel Stair	Gy GC/Sub	GC to provide shop drawings for approval. Powder Coat finish	36" wide stair, 12" channel stringer rolled to spec., 1.25" posts, 1/2" square vertical pickets, molded steel cap rail.	AWNING-01	BESPOKE STEEL AWNING	By GC/Sub - provide shop drawings for final approval	Paint to match trim color	36"x18"x1" PLT.STL., prime and paint w/oil based exterior epoxy, final color to be determined, match color to door paint color
SILL-01	Row lock brick sill	Match Brick-01	-	Typical sill plate at all masonry set windows-ref. wall section	BRICK SCREEN	1/3 COURSE BRICK SCREEN W/1" PLT.STL. CONT. LINTEL, GROUT FILLED TOP ROWLOCK	By GC/Sub - provide shop drawings for final approval, coordinate with steel sub.	See BRICK-01, all matte finish	Drill 1/2" drain holes@12"OC on centerline of PLT.STL. lintel, prime and paint w/oil based exterior epoxy, final color to be determined
COL-01	6X6 Treated PSL column w/1x wood casing	By GC/Sub	Prime and Paint, TYP. color to be approved by Architect	Post boots and Caps to be approved by structural engineer typ.	MAIL-01	Recessed mounted 4c horizontal mailbox	Salsbury 6 Door High Recessed Mounted 4C Horizontal Mailbox with 9 Doors in Bronze with Private Access - Front Loading Model # 3706D-09ZFP	Dark Bronze Color	-
GUT-01	Collector box	By GC/Sub	Color TBD, provide sample for approval	Refer to roofplan for actual gutter locations and lengths and downspout locations	ART-01	Wall mounted art/signage and/or wall applied art/signage	By GC/Sub	to be determined	final design to be determined
DSP-01	Square Downspout	By GC/Sub	3"x4", color to be approved by architect/owner	See above	UTILITY ZONE	Electrical meter bank and panel locations	By GC/Sub	to be confirmed	location to be confirmed
TRIM-01	1x4 trim board	By GC/Sub	Paint, Color TBD	Typical trim at doors and corners, fiber cement siding only					
TRIM-02	1x3 trim board	By GC/Sub	Paint, Color TBD	Typical trim at windows set in fiber cement siding					
CAP-01	Break metal cap flashing, 4" visible exposure w/1" drip edge	By GC/Sub	Pre-finished, dark bronze, final color to be approved. Size and shape to be provided by architect	Cut corners @45° and fold to overlap typ., final details to be provided					



**BUILDING A SOUTH ELEVATION**

**BUILDING B SOUTH ELEVATION**

MARK	PRODUCT	MANUFACTURER /TYPE	COLOR/SIZING	ADDITIONAL COMMENTS	MARK	PRODUCT	MANUFACTURER /TYPE	COLOR/SIZING	ADDITIONAL COMMENTS
SIDE-01	Fiber Cement ShipLap Siding, 5" Exposure typical on all	Hardie Board - Smooth Finish	Prime for paint/ 10.250"x144"x0.625"	Applied horizontally in rainscreen configuration, use 1/2" furring strips vertically @2'-0"oc	LIT-01	Brentwood LED 12" Bronze Outdoor Wall Sconce, Large	Nuvo Lighting	Bronze Finish	Typical fixture @ ground floor unit entries - see plans
SIDE-02	5/16" Fiber Cement Panel	Hardie Board - Smooth Finish	Prime for paint	At window bases/heads and entry doors as indicated	BASE-01	Weep Screen at wall base w/1x trim board, typical at base of lap siding wall.	By GC/Sub	per manufacturer recommendations per material. Provide cut sheet for approval and warrantee	Paint 1x trim board to match siding
BRICK-01	Masonry Veneer	Interstate brick, Glacier White, King Size, texture is Matte and Ruff blend W 2.75 x H 2.625 x L 9.625 Soldier Course = RUFF Common Bond = Matte	Arctic White	Slotted anchors of type DW10, Open head joints every third brick at lintels and other location, Vertical expansion joints indicated in drawings, Horizontal expansion joints locate under shelf angles and other dissimilar materials abutted by brick, Rake all mortar joints.	PORCH-01	5'-0"x8'-0" Brick Porch - see notes	Brick to match exterior of building- all Matte finish	-	2x6 internal frame@roof, provide internal gutter and downspout at brick column - final detail tbd.
STAIR-01	Steel Stair	Gy GC/Sub	GC to provide shop drawings for approval. Powder Coat finish	36" wide stair, 12" channel stringer rolled to spec., 1.25" posts, 1/2" square vertical pickets, molded steel cap rail.	AWNING-01	BESPOKE STEEL AWNING	By GC/Sub - provide shop drawings for final approval	Paint to match trim color	36"x18"x1" PLT.STL., prime and paint w/oil based exterior epoxy, final color to be determined, match color to door paint color
SILL-01	Row lock brick sill	Match Brick-01	-	Typical sill plate at all masonry set windows-ref. wall section	BRICK SCREEN ENTABLATURE	1/3 COURSE BRICK SCREEN W/1" PLT.STL. CONT. LINTEL, GROUT FILLED TOP ROWLOCK	By GC/Sub - provide shop drawings for final approval, coordinate with steel sub.	See BRICK-01, all matte finish	Drill 1/2" drain holes@12"OC on centerline of PLT.STL. lintel, prime and paint w/oil based exterior epoxy, final color to be determined
COL-01	6X6 Treated PSL column w/1x wood casing	By GC/Sub	Prime and Paint, TYP. color to be approved by Architect	Post boots and Caps to be approved by structural engineer typ.	MAIL-01	Recessed mounted 4c horizontal mailbox	Salsbury 6 Door High Recessed Mounted 4C Horizontal Mailbox with 9 Doors in Bronze with Private Access - Front Loading Model # 3706D-09ZFP	Dark Bronze Color	-
GUT-01	Collector box	By GC/Sub	Color TBD, provide sample for approval	Refer to roofplan for actual gutter locations and lengths and downspout locations	ART-01	Wall mounted art/signage and/or wall applied art/signage	By GC/Sub	to be determined	final design to be determined
DSP-01	Square Downspout	By GC/Sub	3"x4", color to be approved by architect/owner	See above	UTILITY ZONE	Electrical meter bank and panel locations	By GC/Sub	to be confirmed	location to be confirmed
TRIM-01	1x4 trim board	By GC/Sub	Paint, Color TBD	Typical trim at doors and corners, fiber cement siding only					
TRIM-02	1x3 trim board	By GC/Sub	Paint, Color TBD	Typical trim at windows set in fiber cement siding					
CAP-01	Break metal cap flashing, 4" visible exposure w/1" drip edge	By GC/Sub	Pre-finished, dark bronze, final color to be approved. Size and shape to be provided by architect	Cut corners @45° and fold to overlap typ., final details to be provided					



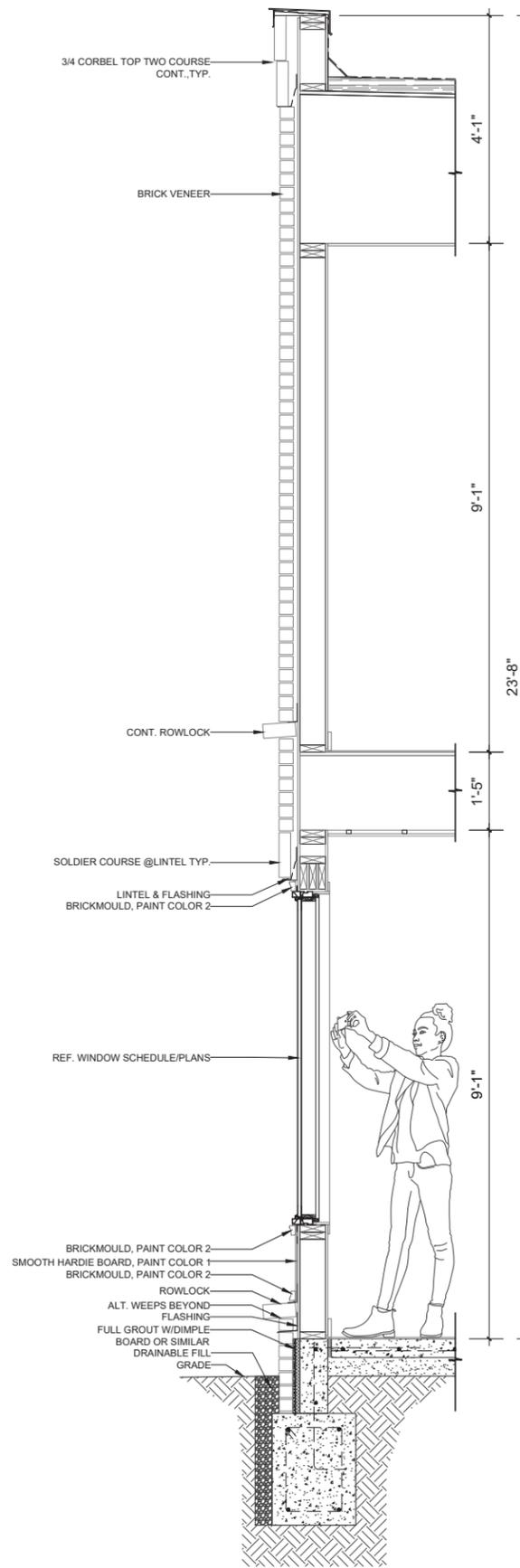
BUILDING A EAST ELEVATION

MARK	PRODUCT	MANUFACTURER /TYPE	COLOR/SIZING	ADDITIONAL COMMENTS	MARK	PRODUCT	MANUFACTURER /TYPE	COLOR/SIZING	ADDITIONAL COMMENTS
SIDE-01	Fiber Cement ShipLap Siding, 5" Exposure typical on all	Hardie Board - Smooth Finish	Prime for paint/ 10.250"x 144"x0.625"	Applied horizontally in rainscreen configuration, use 1/2" furring strips vertically @2'-0"oc	LIT-01	Brentwood LED 12" Bronze Outdoor Wall Sconce, Large	Nuvo Lighting	Bronze Finish	Typical fixture @ ground floor unit entries - see plans
SIDE-02	5/16" Fiber Cement Panel	Hardie Board - Smooth Finish	Prime for paint	At window bases/heads and entry doors as indicated	BASE-01	Weep Screen at wall base w/1x trim board, typical at base of lap siding wall.	By GC/Sub	per manufacturer recommendations per material. Provide cut sheet for approval and warrantee	Paint 1x trim board to match siding
BRICK-01	Masonry Veneer	Interstate brick, Glacier White, King Size, texture is Matte and Ruff blend W 2.75 x H 2.625 x L 9.625 Soldier Course = RUFF Common Bond = Matte	Arctic White	Slotted anchors of type DW10, Open head joints every third brick at lintels and other location, Vertical expansion joints indicated in drawings, Horizontal expansion joints locate under shelf angles and other dissimilar materials abutted by brick, Rake all mortar joints.	PORCH-01	5'-0"x8'-0" Brick Porch - see notes	Brick to match exterior of building- all Matte finish	-	2x6 internal frame@roof, provide internal gutter and downspout at brick column - final detail tbd.
STAIR-01	Steel Stair	Gy GC/Sub	GC to provide shop drawings for approval. Powder Coat finish	36" wide stair, 12" channel stringer rolled to spec., 1.25" posts, 1/2" square vertical pickets, molded steel cap rail.	AWNING-01	BESPOKE STEEL AWNING	By GC/Sub - provide shop drawings for final approval	Paint to match trim color	36"x18"x1" PLT.STL., prime and paint w/oil based exterior epoxy, final color to be determined, match color to door paint color
SILL-01	Row lock brick sill	Match Brick-01	-	Typical sill plate at all masonry set windows-ref. wall section	BRICK SCREEN	1/3 COURSE BRICK SCREEN W/1" PLT.STL. CONT. LINTEL, GROUT FILLED TOP ROWLOCK	By GC/Sub - provide shop drawings for final approval, coordinate with steel sub.	See BRICK-01, all matte finish	Drill 1/2" drain holes@12"OC on centerline of PLT.STL. lintel, prime and paint w/oil based exterior epoxy, final color to be determined
COL-01	6X6 Treated PSL column w/1x wood casing	By GC/Sub	Prime and Paint, TYP. color to be approved by Architect	Post boots and Caps to be approved by structural engineer typ.	MAIL-01	Recessed mounted 4c horizontal mailbox	Salsbury 6 Door High Recessed Mounted 4C Horizontal Mailbox with 9 Doors in Bronze with Private Access - Front Loading Model # 3706D-09ZFP	Dark Bronze Color	-
GUT-01	Collector box	By GC/Sub	Color TBD, provide sample for approval	Refer to roofplan for actual gutter locations and lengths and downspout locations	ART-01	Wall mounted art/signage and/or wall applied art/signage	By GC/Sub	to be determined	final design to be determined
DSP-01	Square Downspout	By GC/Sub	3"x4", color to be approved by architect/owner	See above	UTILITY ZONE	Electrical meter bank and panel locations	By GC/Sub	to be confirmed	location to be confirmed
TRIM-01	1x4 trim board	By GC/Sub	Paint, Color TBD	Typical trim at doors and corners, fiber cement siding only					
TRIM-02	1x3 trim board	By GC/Sub	Paint, Color TBD	Typical trim at windows set in fiber cement siding					
CAP-01	Break metal cap flashing, 4" visible exposure w/1" drip edge	By GC/Sub	Pre-finished, dark bronze, final color to be approved. Size and shape to be provided by architect	Cut corners @45° and fold to overlap typ., final details to be provided					

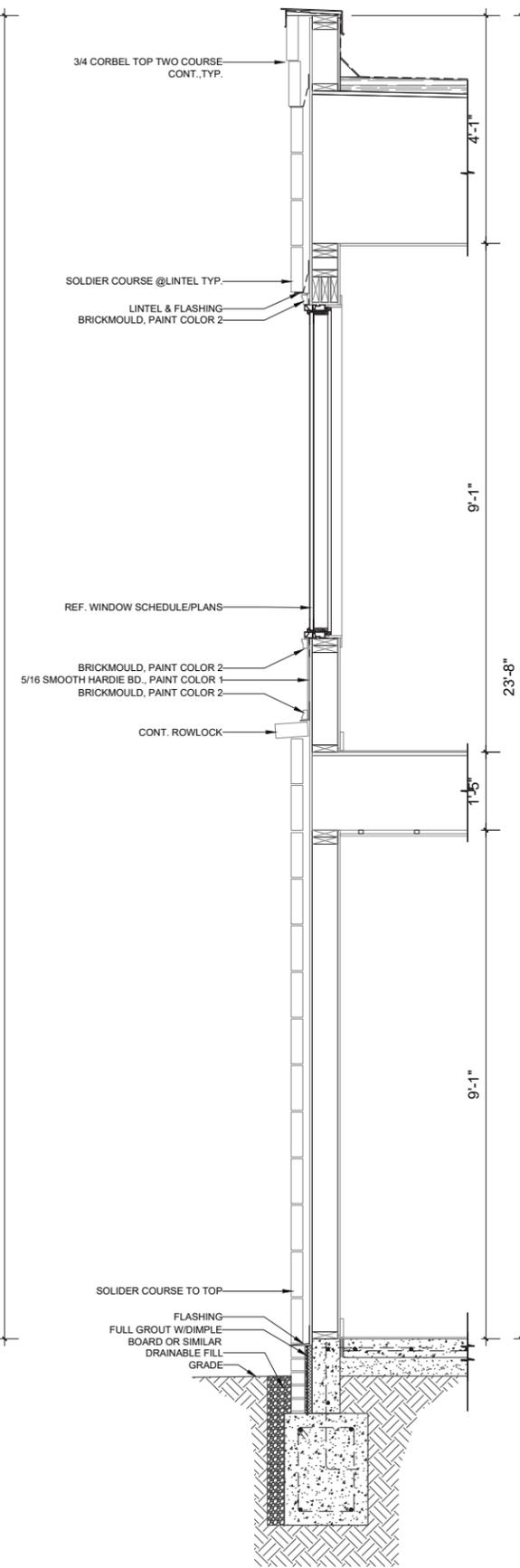


**BUILDING B WEST ELEVATION**

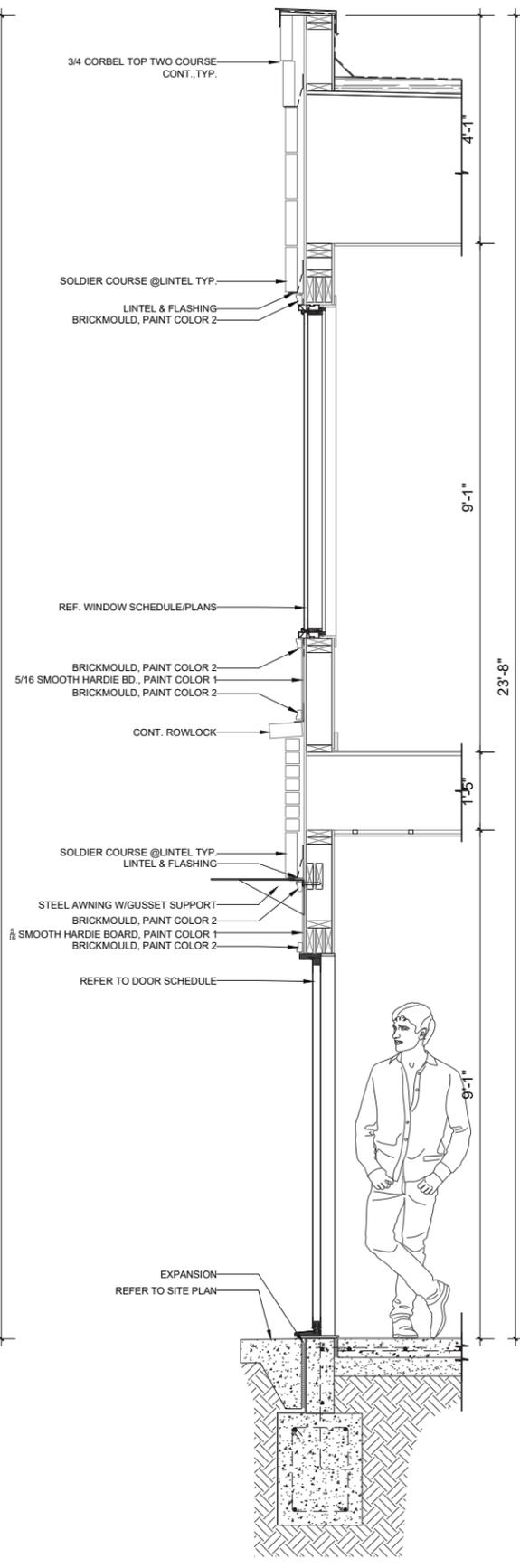
MARK	PRODUCT	MANUFACTURER /TYPE	COLOR/SIZING	ADDITIONAL COMMENTS	MARK	PRODUCT	MANUFACTURER /TYPE	COLOR/SIZING	ADDITIONAL COMMENTS
SIDE-01	Fiber Cement ShipLap Siding, 5" Exposure typical on all	Hardie Board - Smooth Finish	Prime for paint/ 10.250"x 144"x0.625"	Applied horizontally in rainscreen configuration, use 1/2" furring strips vertically @2'-0"oc	LIT-01	Brentwood LED 12" Bronze Outdoor Wall Sconce, Large	Nuvo Lighting	Bronze Finish	Typical fixture @ ground floor unit entries - see plans
SIDE-02	5/16" Fiber Cement Panel	Hardie Board - Smooth Finish	Prime for paint	At window bases/heads and entry doors as indicated	BASE-01	Weep Screen at wall base w/1x trim board, typical at base of lap siding wall.	By GC/Sub	per manufacturer recommendations per material. Provide cut sheet for approval and warrantee	Paint 1x trim board to match siding
BRICK-01	Masonry Veneer	Interstate brick, Glacier White, King Size, texture is Matte and Ruff blend W 2.75 x H 2.625 x L 9.625 Soldier Course = RUFF Common Bond = Matte	Arctic White	Slotted anchors of type DW10, Open head joints every third brick at lintels and other location, Vertical expansion joints indicated in drawings, Horizontal expansion joints locate under shelf angles and other dissimilar materials abutted by brick, Rake all mortar joints.	PORCH-01	5'-0"x8'-0" Brick Porch - see notes	Brick to match exterior of building- all Matte finish	-	2x6 internal frame@roof, provide internal gutter and downspout at brick column - final detail tbd.
STAIR-01	Steel Stair	Gy GC/Sub	GC to provide shop drawings for approval. Powder Coat finish	36" wide stair, 12" channel stringer rolled to spec., 1.25" posts, 1/2" square vertical pickets, molded steel cap rail.	AWNING-01	BESPOKE STEEL AWNING	By GC/Sub - provide shop drawings for final approval	Paint to match trim color	36"x18"x1" PLT.STL., prime and paint w/oil based exterior epoxy, final color to be determined, match color to door paint color
SILL-01	Row lock brick sill	Match Brick-01	-	Typical sill plate at all masonry set windows-ref. wall section	BRICK SCREEN	1/3 COURSE BRICK SCREEN W/1" PLT.STL. CONT. LINTEL, GROUT FILLED TOP ROWLOCK	By GC/Sub - provide shop drawings for final approval, coordinate with steel sub.	See BRICK-01, all matte finish	Drill 1/2" drain holes@12"OC on centerline of PLT.STL. lintel, prime and paint w/oil based exterior epoxy, final color to be determined
COL-01	6X6 Treated PSL column w/1x wood casing	By GC/Sub	Prime and Paint, TYP. color to be approved by Architect	Post boots and Caps to be approved by structural engineer typ.	MAIL-01	Recessed mounted 4c horizontal mailbox	Salsbury 6 Door High Recessed Mounted 4C Horizontal Mailbox with 9 Doors in Bronze with Private Access - Front Loading Model # 3706D-09ZFP	Dark Bronze Color	-
GUT-01	Collector box	By GC/Sub	Color TBD, provide sample for approval	Refer to roofplan for actual gutter locations and lengths and downspout locations	ART-01	Wall mounted art/signage and/or wall applied art/signage	By GC/Sub	to be determined	final design to be determined
DSP-01	Square Downspout	By GC/Sub	3"x4", color to be approved by architect/owner	See above	UTILITY ZONE	Electrical meter bank and panel locations	By GC/Sub	to be confirmed	location to be confirmed
TRIM-01	1x4 trim board	By GC/Sub	Paint, Color TBD	Typical trim at doors and corners, fiber cement siding only					
TRIM-02	1x3 trim board	By GC/Sub	Paint, Color TBD	Typical trim at windows set in fiber cement siding					
CAP-01	Break metal cap flashing, 4" visible exposure w/1" drip edge	By GC/Sub	Pre-finished, dark bronze, final color to be approved. Size and shape to be provided by architect	Cut corners @45° and fold to overlap typ., final details to be provided					



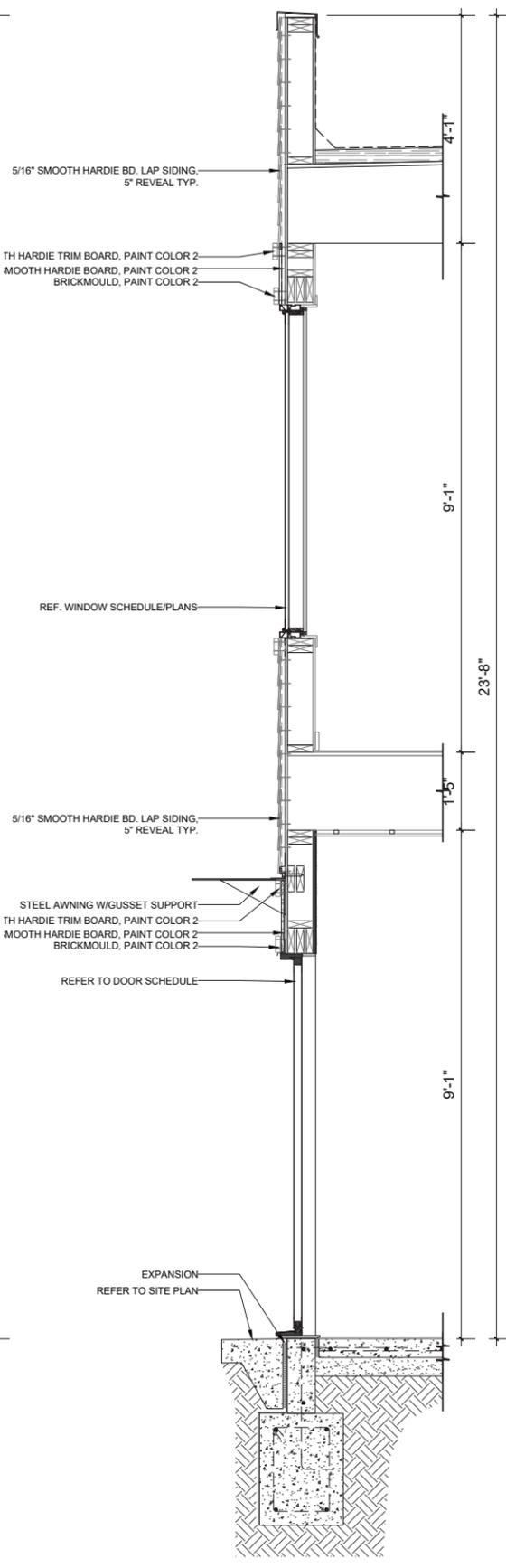
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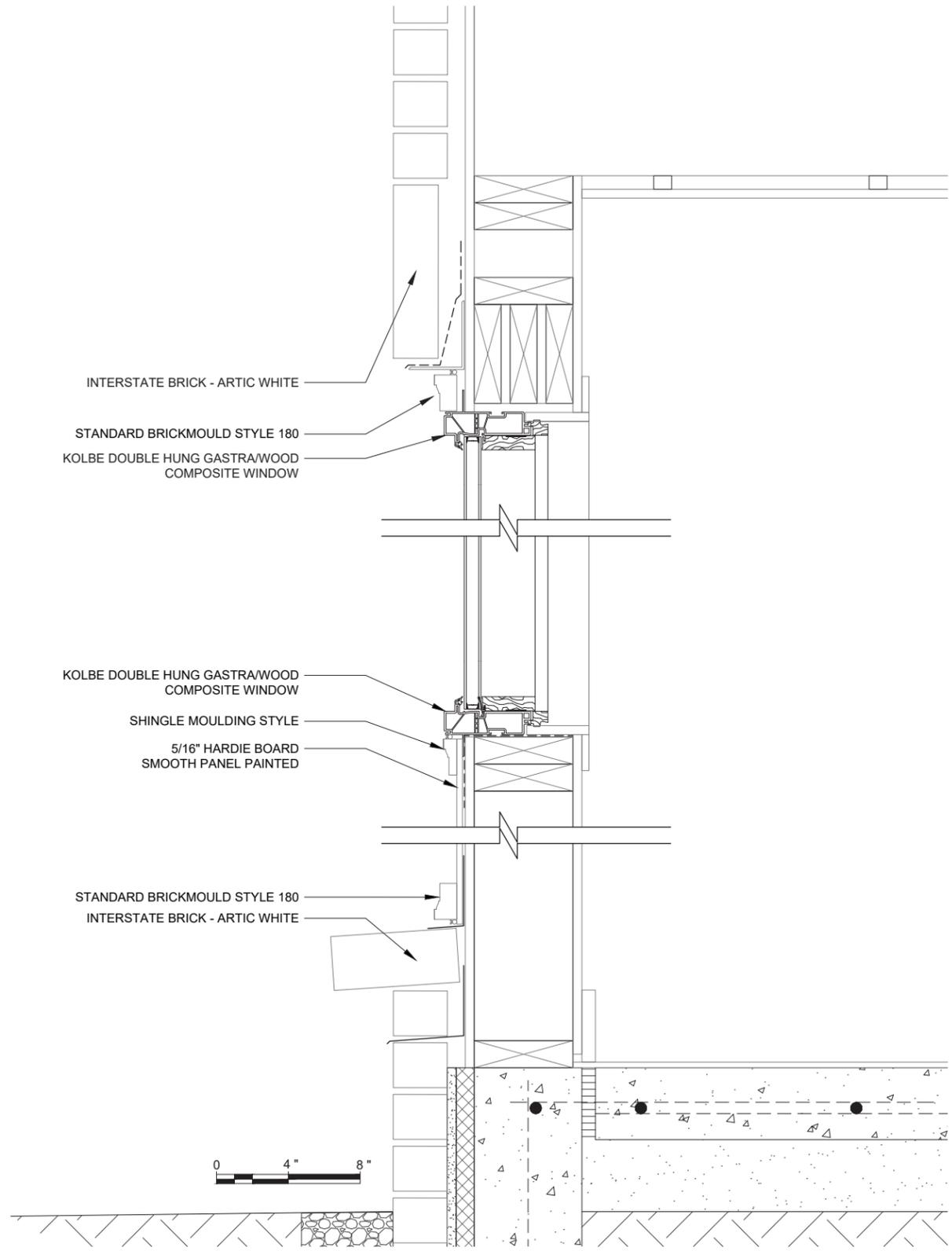
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3/A302



4/A302



INTERSTATE BRICK - ARTIC WHITE

STANDARD BRICKMOULD STYLE 180

KOLBE DOUBLE HUNG GASTRA/WOOD  
COMPOSITE WINDOW

KOLBE DOUBLE HUNG GASTRA/WOOD  
COMPOSITE WINDOW

SHINGLE MOULDING STYLE

5/16" HARDIE BOARD  
SMOOTH PANEL PAINTED

STANDARD BRICKMOULD STYLE 180

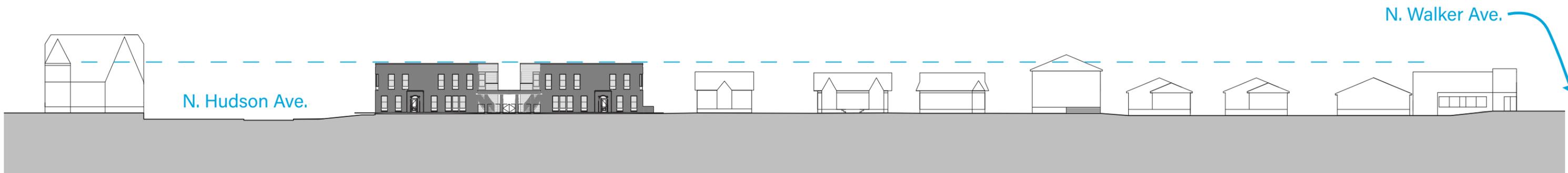
INTERSTATE BRICK - ARTIC WHITE



WINDOW SECTION



BUILDING HEIGHT COMPARISON (PROPERTY) - 1/16"=1'-0" WITH SINGLE ADJACENT PROPERTY TO WEST



BUILDING HEIGHT COMPARISON (BLOCK) - ELEVATIONS ALONG NW 30TH STREET - NTS