

GENERAL NOTES

- ALL WORK PERFORMED AND MATERIALS SUPPLIED SHALL CONFORM TO THE SITE WORK SPECIFICATIONS. ANY WORK NOT COVERED IN THE SITE WORK SPECIFICATIONS SHALL CONFORM TO THE OKLAHOMA DEPARTMENT OF TRANSPORTATION CONSTRUCTION SPECIFICATIONS, LATEST EDITION.
- UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN CONSTRUCTION STAKING.
- ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION. ALL PAVEMENT STRIPING SHALL BE FOUR (4) INCHES WIDE, UNLESS SHOWN OTHERWISE ON THE PLANS. ALL PARKING STRIPING SHALL BE WHITE.
- UNLESS OTHERWISE STATED IN THE GENERAL CONDITIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TESTING. THE RESULTS OF THE TESTS SHALL BE FORWARDED TO THE ENGINEER FOR HIS REVIEW AND APPROVAL.
- THE CONTRACTOR SHALL PROVIDE A MEDIUM BROOM FINISH ON ALL CONCRETE WALKS, RAMPS AND PAVING SURFACES UNLESS OTHERWISE NOTED.
- THE CONTRACTOR MUST FILE A "NOTICE OF INTENT" WITH THE APPROPRIATE ADMINISTRATIVE AGENCY PRIOR TO COMMENCING EARTHWORK, CLEARING OR DEMOLITION OPERATIONS.
- THE CONTRACTOR SHALL SATISFY HIMSELF AS TO THE ACCURACY OF ALL SITE PLAN DIMENSIONS AND MEASUREMENTS AND SHALL CONFIRM THE ACCURACY AND LOCATION OF THE PROJECT BOUNDARY PRIOR TO CONSTRUCTION. ANY DISCREPANCIES DISCOVERED SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER-OF-RECORD FOR RESOLUTION PRIOR TO CONSTRUCTION.
- ALL DIMENSIONS ARE TO FACE-OF-CURB UNLESS OTHERWISE SPECIFIED.
- PARKING LOT LAYOUT IS PARALLEL AND PERPENDICULAR TO BUILDING ORIENTATION UNLESS OTHERWISE NOTED.
- SEE ARCHITECTURAL & STRUCTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL EXISTING AND PROPOSED MANHOLES, PULL BOXES AND UTILITY APPURTENANCES TO THE PROPOSED GRADES SHOWN ON THE GRADING PLAN.

LEGAL DESCRIPTION

LOTS ONE (1), TWO (2), AND THREE (3), IN BLOCK TWENTY-FIVE (25) OF JEFFERSON PARK, AN ADDITION TO THE CITY OF OKLAHOMA CITY, OKLAHOMA COUNTY, ACCORDING TO THE RECORDED PLAT THEREOF.

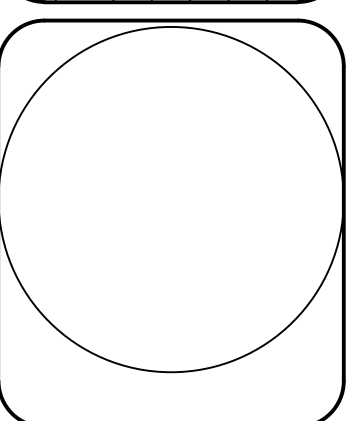
INDEX OF SHEETS

NO.	DESCRIPTION
C1.0	OVERALL SITE GENERAL LAYOUT
TS	TOPOGRAPHIC SURVEY
C2.0	SITE DIMENSIONAL PLAN
C3.0	PAVING & GRADING PLAN
C4.0	UTILITY PLAN
C5.0	DETAILS
D-300	STANDARD TYPICAL SECTIONS DRIVEWAY DETAILS
D-700A - D-700E	ADA CURB RAMP DETAILS
D-800B	STANDARD DETAILS
EC1-EC2	EROSION CONTROL PLAN

ONE CALL UTILITY LOCATION NUMBER
840-5032
1-800-522-6543

This number is to be used for information on the location of all underground utilities. Contact this number and other numbers specified in the plans prior to any excavation.

REVISIONS	
NO.	DESCRIPTION

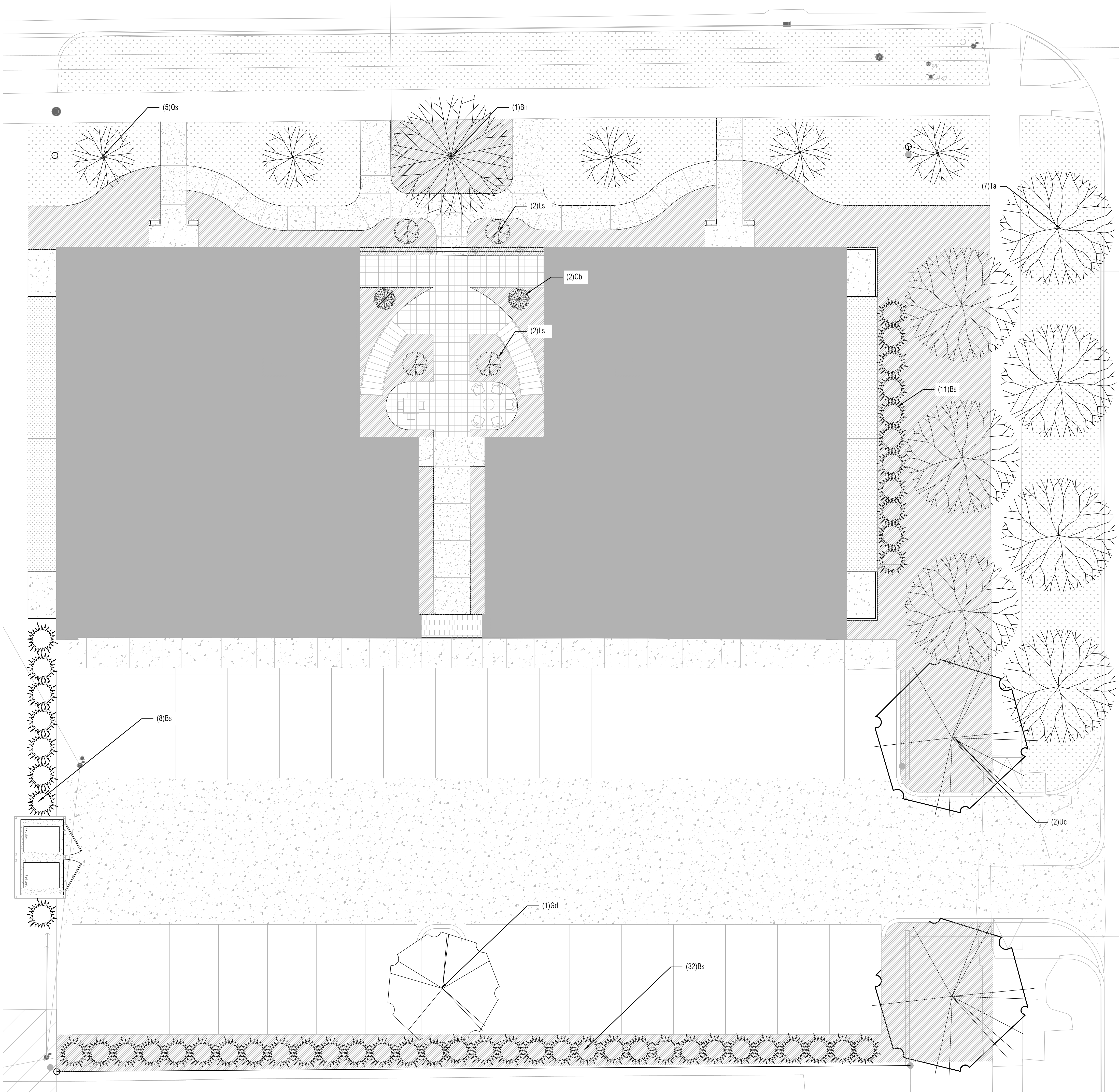


Johnson & Associates
1 E. Sheridan Ave., Suite 200
Oklahoma City, OK 73104
(405) 235-8075 FAX (405) 235-8078 www.jacinc.com
Certificate of Authorization #1454 Exp. Date: 05-30-2025
• ENGINEERS • SURVEYORS • PLANNERS •

PASEO VILLAGE
OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA
OVERALL SITE PLAN

Proj. No.:
Date: 11-04-24
Scale: 1"=20'
Checked By: #####
Approved By: #####

SHEET NUMBER
C1.0



PLANTING NOTES

BY USE OF THESE DRAWINGS BEARING THE SEAL AND SIGNATURE OF THE LANDSCAPE ARCHITECT, FOR ANY REASON, THE USER ACKNOWLEDGES AND ACCEPTS THE FOLLOWING:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH UNDERGROUND UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED TO DAMAGE OF SAID UTILITIES OR STRUCTURES IF PROPER VERIFICATION BY CONTRACTOR WAS NOT PERFORMED.
2. DO NOT WILLFULLY PROCEED WITH PLANTING OPERATIONS AS DESIGNED WHEN IT IS OBVIOUS THAT OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT WERE NOT KNOWN DURING THE DESIGN PROCESS. SUCH CONDITIONS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER AND LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ALL NECESSARY CHANGES DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH PLANTING OPERATIONS.
4. ANY DISCREPANCIES BETWEEN THE NOTES AND PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION.
5. IF CONFLICTS ARISE BETWEEN THE ACTUAL SIZE OF THE AREAS ON SITE AND THE DRAWINGS THE CONTRACTOR SHALL CONTACT THE OWNER'S AUTHORIZED REPRESENTATIVE FOR RESOLUTION. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
6. AFTER FINISH GRADES HAVE BEEN ESTABLISHED FOR ALL ON-GRADE PLANTING AREAS, THE CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY A QUALIFIED SOILS TESTING LABORATORY FOR SOIL FERTILITY, AGRICULTURAL SUITABILITY, AND SOIL PREPARATION RECOMMENDATIONS. THE CONTRACTOR MAY BE REQUESTED TO AMEND THE SOIL TO CONFORM TO THE RECOMMENDATIONS. HOWEVER, ANY AMENDMENT THAT MIGHT BE REQUESTED OF THE CONTRACTOR SHALL ONLY BE UPON RECEIPT OF WRITTEN CHANGE ORDER FROM OWNER.
7. REFER TO DRAWINGS FOR PLANTING REQUIREMENTS, MATERIALS, AND EXECUTION. MULCH SHALL BE CEDAR.
8. ALL TREES SHALL BE TAGGED BY THE LANDSCAPE ARCHITECT.
9. FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE LANDSCAPE ARCHITECT. CONTRACTOR SHALL COMPLETE THE FOLLOWING TASKS BEFORE BEGINNING PLANTING OPERATIONS:

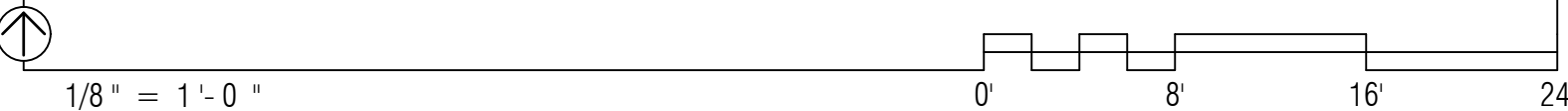
SHRUBS- LAYOUT CONTAINER LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT ONSITE PRIOR TO DIGGING HOLES FOR PLANTING.

TREES- STAKE ALL TREE LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO DIGGING HOLES FOR PLANTING. ANY TREE PLANTED WITHOUT ITS FINAL LOCATION APPROVED BY THE LANDSCAPE ARCHITECT IS SUBJECT TO RELOCATION AT THE SOLE EXPENSE OF THE CONTRACTOR. ENSURE PROPER COORDINATION OF ALL FOOTINGS, SUB-STRUCTURE AND UTILITIES.

ELECTRICAL- STAKE THE LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. REVIEW WITH PROPOSED TREE STAKING MENTIONED ABOVE. ANY SITE LIGHTING INSTALLED WITHOUT ITS FINAL LOCATION APPROVED BY THE LANDSCAPE ARCHITECT IS SUBJECT TO RELOCATION AT THE SOLE EXPENSE OF THE CONTRACTOR.

10. THE CONTRACTOR SHALL ALWAYS ASSUME THE SMALLER SIZE OF EACH PLANT WHEN A RANGE IS GIVEN CONCERNING SPACING, i.e. PLANT TYPE IS 12" TO 18" WIDE. THE CONTRACTOR SHALL USE 12" (THE SMALLER SIZE) TO ESTIMATE PLANTS REQUIRED TO FILL A GIVEN AREA.
11. SPECIAL WARRANTY: WARRANT THE FOLLOWING PLANTS, FOR THE WARRANTY PERIOD INDICATED, AGAINST DEFECTS AND/OR LOSS RESULTING FROM MATERIALS AND EXECUTION INCLUDING DEATH AND UNSATISFACTORY GERMINATION/GROWTH, BUT EXCLUDING DAMAGE AND/OR LOSS RESULTING FROM MAINTENANCE, NEGLIGENCE, ABUSE, VANDALISM, THEFT BY OTHERS AND/OR UNSEASONAL SEVERE WEATHER CONDITIONS.
12. WARRANTY PERIOD FOR TURF, GRASSES, SHRUBS TREES AND ALL VEGETATION: TWELVE MONTHS FROM DATE OF SUBSTANTIAL COMPLETION.
13. WARRANTEE REPLACEMENTS: REMOVE DEAD AND/OR DEFECTIVE PLANTS IMMEDIATELY AND REPLACE WITHIN THIRTY DAYS WHEN WEATHER CONDITIONS PERMIT BUT BEFORE FINAL COMPLETION. MATCH SIZE AND SPECIES OF ADJACENT PLANTS. REINSTATE THE WARRANTY FOR THE CORRECTED WORK FROM DATE WHEN THE CORRECTION IS COMPLETED.

TREE PLANTING PLAN



PASEO VILLAGE SD

Location: 408 NW 30TH ST.
OKC, OK 73118
Project #: 23014

OWNER:
SFR-WR, LLC
6624 North Robinson Ave.
Oklahoma City, Oklahoma 73116

GENERAL CONTRACTOR:
State Construction
1742 NW 10th St.
Oklahoma City, Oklahoma 73108

STRUCTURAL ENGINEER:
Obelisk Engineering Inc.
305 NW 5th St. #125
Oklahoma City, Oklahoma 73102
405 413 9060

CIVIL ENGINEER:
Johnson & Associates Inc.
1 East Sheridan Ave., OKC, OK 73104
405 235 8075

LANDSCAPE ARCHITECT:
LAUD Studio LLC
220 NW 13th St., Suite 1, OKC, OK 73103
405 420 8800

DRAWING / ISSUE / DATE	REVISION NO.
HP 11/09/2024	

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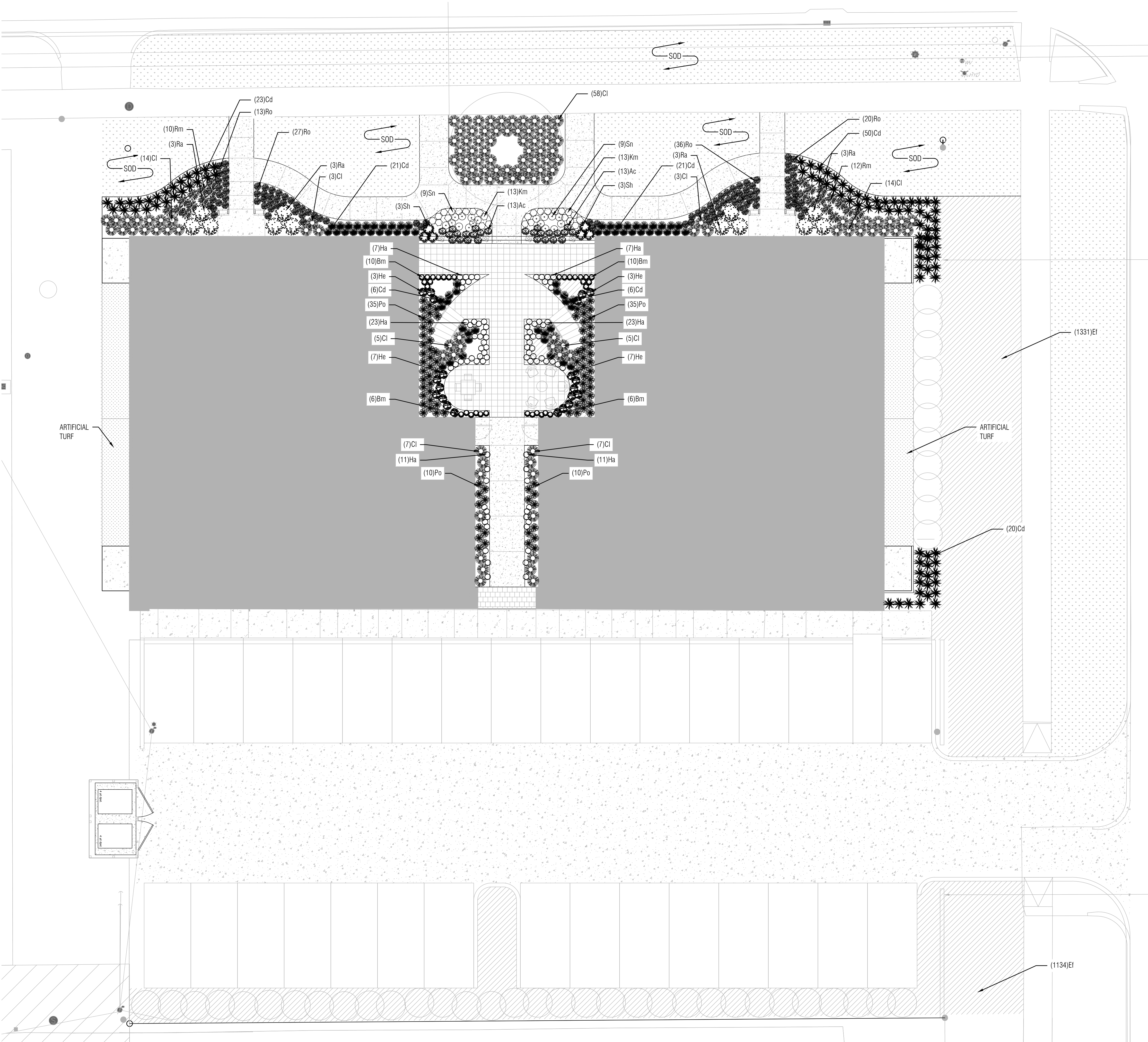
KEYPLAN

SHEET TITLE

TREE PLAN

SHEETNUMBER

L8.01



PLANT SCHEDULE

TREES				
Symbol	Quantity	Common Name	Botanical Name	Selection
Bn	1	River Birch	Betula nigra	'Dura Heat'
Cb	2	Common Hornbeam	Carpinus betulus	
Gd	1	Kentucky Coffee Tree	Gymnocladus dioica	
LS	4	Slender Silhouette Sweetgum	Liquidambar styraciflua	Slender Silhouette'
Os	5	Shumard Oak	Quercus shumardii	
Uc	2	Cedar Elm	Ulmus crassifolia	
Ta	7	Pond Cypress	Taxodium ascendens	

SHRUBS AND GROUNDCOVERS				
Symbol	Quantity	Common Name	Botanical Name	Selection
Bs	51	Dee Runk	Buxus spp.	'Dee Runk'
Ef	2465	Purple Winter Creeper	Euonymus fortunei	'Coloratus'
Ra	12	Gro-Low Sumac	Rhus aromatica	'Gro-Low'
Cd	147	Berkeley Sedge	Carex divulsa	
Cl	116	Inland Sea Oats	Chasmanthium latifolium	
Sh	6	Prairie Dropseed	Sporobolus heterolepis	
Bm	32	Siberian Bugloss	Brunnera macrophylla	'Jack Frost'
He	20	Lenten Rose	Helleborus ornamentalis	
Ha	79	Rubinzweg Sneezeweed	Helenium autumnale	'Rubinzweg'
Ps	90	Solomon's Seal	Polygonatum spp.	

dl

Alister AL LLC
Adam Lamm, AIA
405-625-7191
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SD

Location: 408 NW 30TH ST.
OKC, OK 73118
Project #: 23014

OWNER:
SFRWRL, LLC
6524 North Robinson Ave
Oklahoma City, Oklahoma 73116

GENERAL CONTRACTOR:
Site Construction
1742 NW 10th St.
Oklahoma City, Oklahoma 73106

STRUCTURAL ENGINEER:
Oelsak Engineering Inc
305 NW 9th St, #1251
Oklahoma City, Oklahoma 73102
405-413-9060

CIVIL ENGINEER:
Johnson & Associates Inc
1 East Sheridan Ave., OKC, OK 73104
405-238-8975

LANDSCAPE ARCHITECT:
LAUD Studio LLC
250 NW 11th St., Suite 1, OKC, OK 73103
405-420-8800

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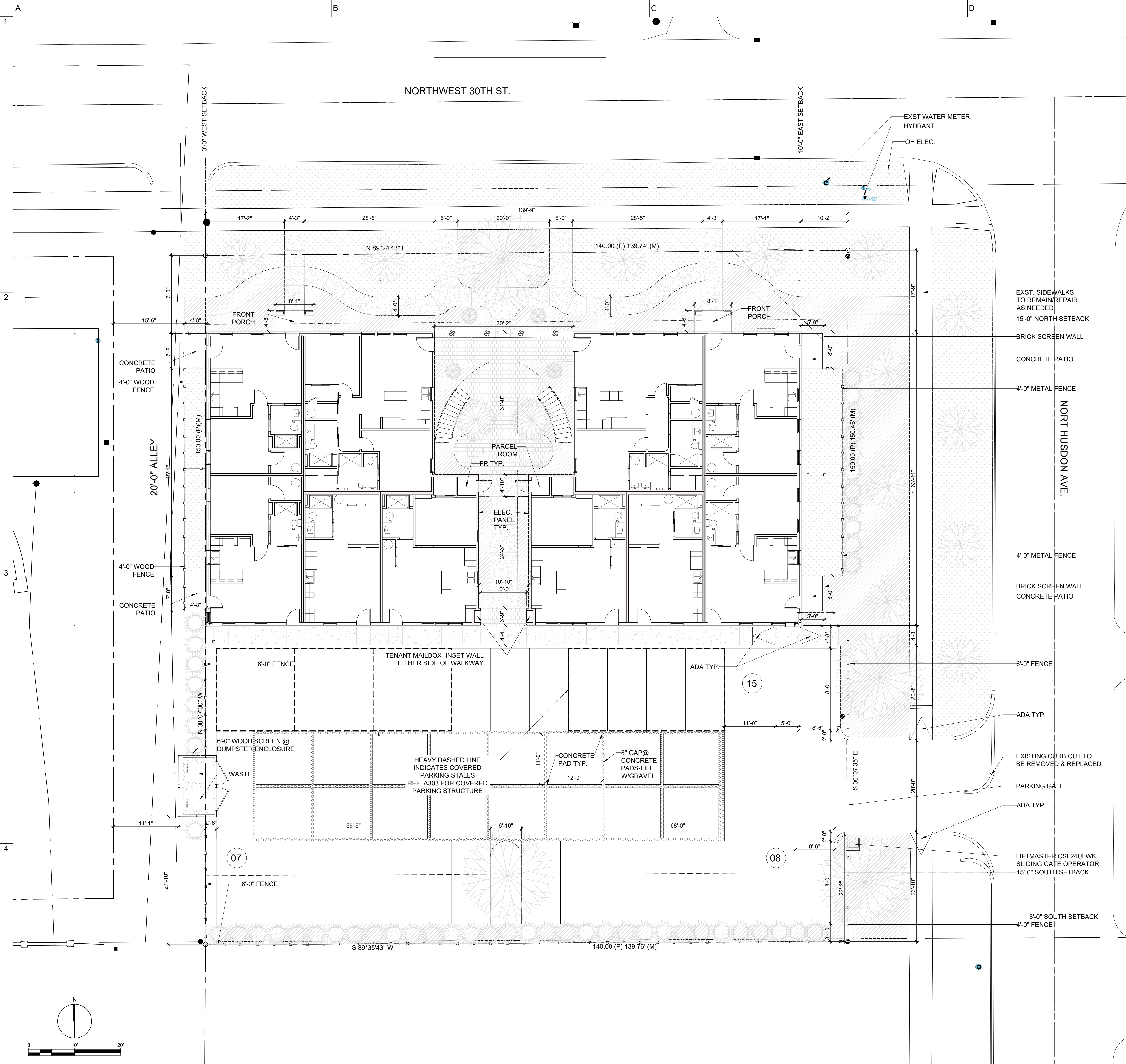
SHEET TITLE

PLANTING PLAN

SHEETNUMBER

PLANTING PLAN ENLARGEMENT





- SITE PLAN NOTES:
1. ALL PAVING TO MEET MINIMUM REQUIREMENTS OF THE OKLAHOMA CITY DEPARTMENT OF PUBLIC WORKS PAVING STANDARDS AS PUBLISHED ON THE PUBLIC WORKS DEPARTMENT WEBSITE BY THE CITY OF OKLAHOMA CITY.
 2. EXISTING ZONING IS PER SPUD-1581
 3. CURRENT USE - NO STRUCTURES
 4. THIS SITE PLAN HAS BEEN DESIGNED TO COMPLY WITH THE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
 5. REFER TO LANDSCAPE PLAN FOR PLANTING INFORMATION
 6. EXISTING CONCRETE CURB CUTS AND APRONS TO BE REPAIRED AND UPDATED AS NEEDED DURING NORMAL COURSE OF CONSTRUCTION.
 7. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM FIELD SURVEY

dl

Adrian AL LLC
Adam Lamm, AIA
405-625-7191
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PASEO VILLAGE
SD

Location: 408 NW 30TH ST.
OKC, OK 73118
Project #: 23014

OWNER:
SFRWR, LLC
6524 North Robinson Ave
Oklahoma City, Oklahoma 73116

GENERAL CONTRACTOR:
Site Construction
1742 NW 10th St.
Oklahoma City, Oklahoma 73106

STRUCTURAL ENGINEER:
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305 NW 9th St, #1251
Oklahoma City, Oklahoma 73102
405-413-9060

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LANDSCAPE ARCHITECT:
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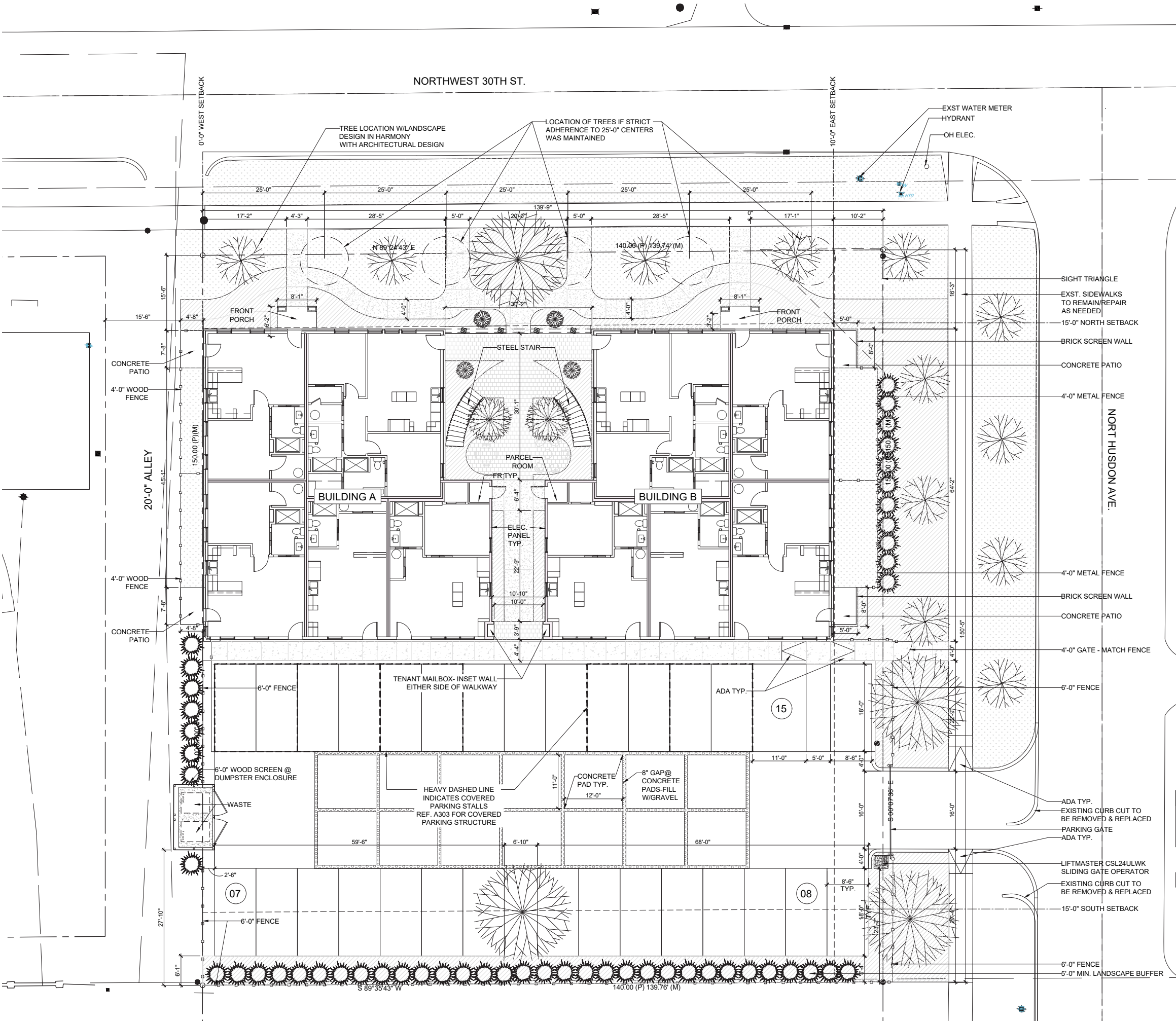
KEYPLAN

ARCH.
SITE PLAN


SHEETNUMBER

A100

01: ARCHITECTURAL SITE PLAN - SCALE: 1"=10'-0"



- SITE PLAN NOTES:**
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NORTH
ARCHITECTURAL SITE PLAN

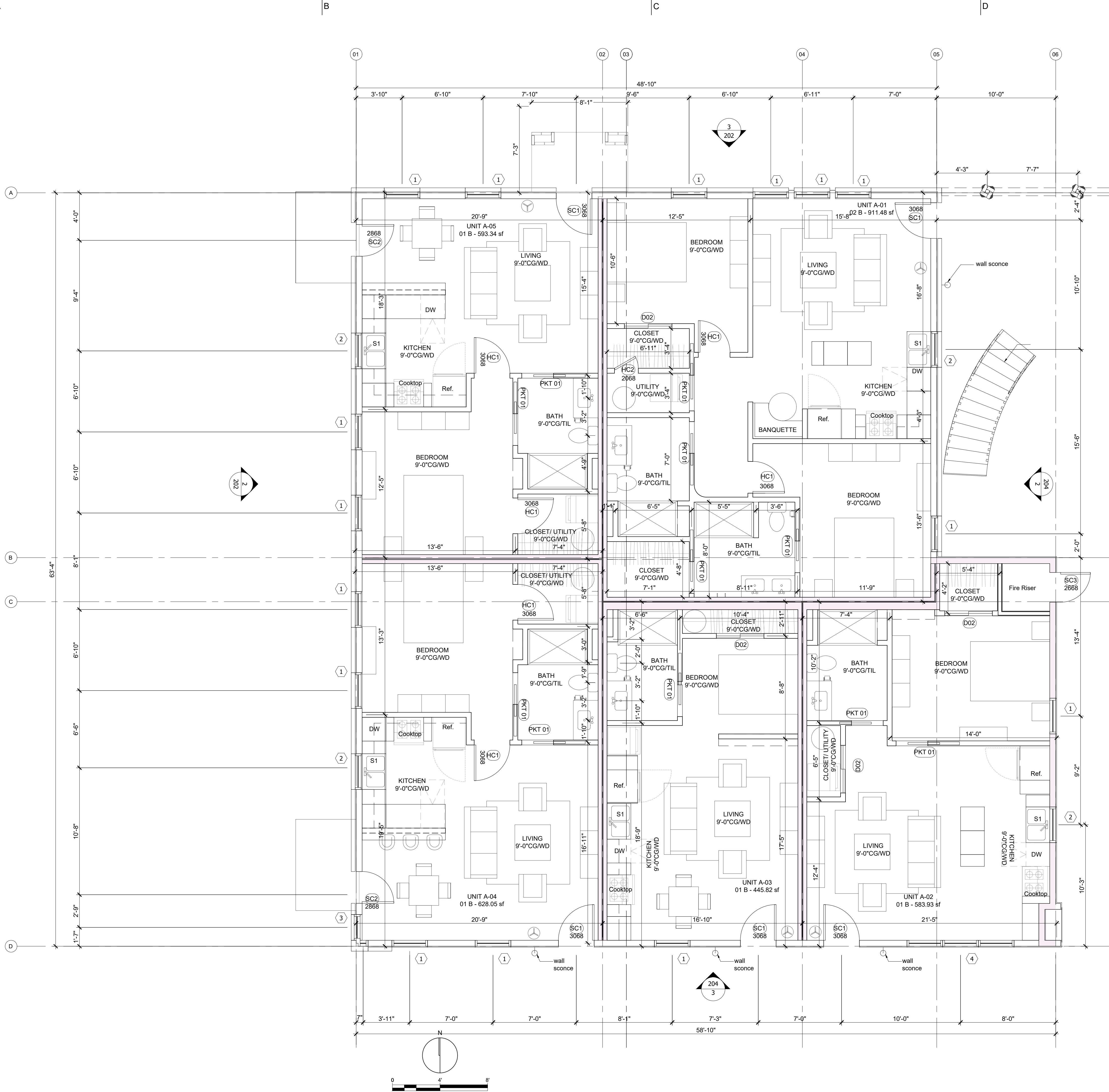
OPEN SPACE CALCULATION:

TOTAL REQUIRED OPEN SPACE ACCORDING TO SPUD-1581:
"There shall be a minimum of 40% open space."

TOTAL OPEN SPACE WITHIN PROPERTY LINE:	
LANDSCAPE AND HARDSCAPE ZONES: Includes patios, walkways, landscape beds, planting areas, and walkways	5,722 SQUARE FEET
PARKING AREA: Includes parking stalls intended for common use of residents of the development	8,122 SQUARE FEET
TOTAL OPEN SPACE:	13,844 SQUARE FEET
TOTAL SITE AREA:	20,944 SQUARE FEET

OPEN SPACE CALCULATION:
Percentage Open Space Provided= $\left(\frac{\text{Total Site Area}}{\text{Total Open Space}} \right) \times 100$

Percentage Open Space Provided= 0.6611 X 100 = 66.11% > 40%



01: BUILDING A LEVEL 01 FLOOR PLAN - SCALE: 1/4"=1'-0"



PASEO VILLAGE
SD

Location: 408 NW 30TH ST.
OKC, OK 73118
Project #: 23014

OWNER:
SFRWR, LLC
6524 North Robinson Ave
Oklahoma City, Oklahoma 73116

GENERAL CONTRACTOR:
Site Construction
1742 NW 10th St.
Oklahoma City, Oklahoma 73106

STRUCTURAL ENGINEER:
Oelsak Engineering Inc
305 NW 9th St, #1251
Oklahoma City, Oklahoma 73102
405 413 9060

CIVIL ENGINEER:
Johnson & Associates Inc
1 East Sheridan Ave., OKC, OK 73104
405 238 8075

LANDSCAPE ARCHITECT:
LAUD Studio LLC
250 NW 10th St., Suite 1, OKC, OK 73103
405 420 8800

DRAWING ISSUE / DATE REVISION NO.

HP 11/05/2024

NOT FOR CONSTRUCTION

KEYPLAN

DOOR SCHEDULE LEVEL 01 BUILDING A

MARK	COUNT	WIDTH	HEIGHT	TYPE	FINISH	COMMENTS
SC1	5	3'-0"	6'-8"	3/4 light entry door	paint, typ.	All doors facing streets are wood
SC2	2	2'-8"	6'-8"	Pella, 3/4 light Fiberglass	TBD	-
SC3	1	2'-6"	6'-8"	HM utility door	TBD	-
HC01	6	3'-0"	6'-8"	Single panel, shaker style	TBD	-
HC02	2	2'-0"	6'-8"	Single panel, utility door	TBD	-
PKT01	11	2'-8"open	6'-8"	Flat slab door	site finish	-
D02	1	4'-0"	6'-8"	Bi-pass closet door, flat slab	site finish	-

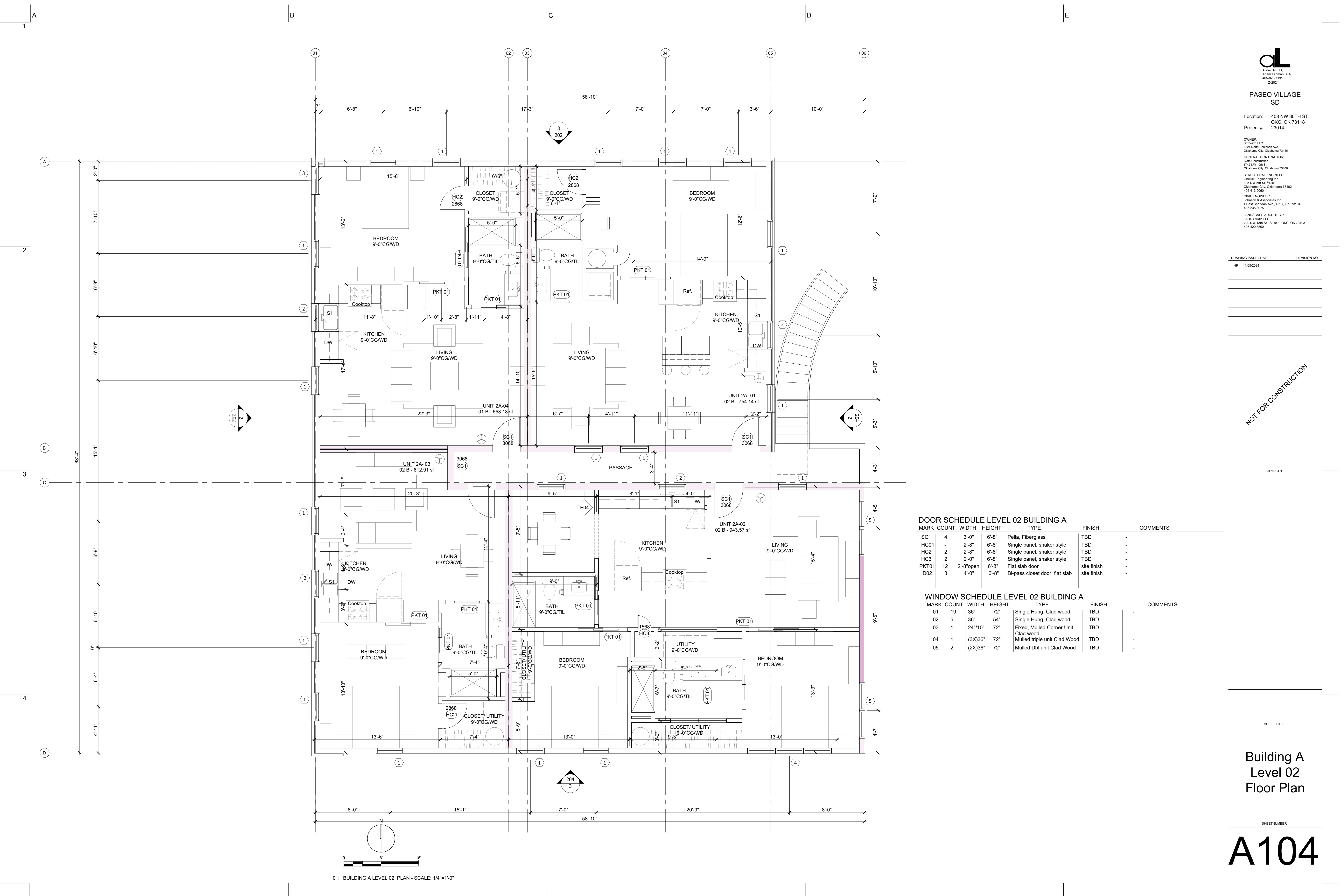
WINDOW SCHEDULE LEVEL 01 BUILDING A

MARK	COUNT	WIDTH	HEIGHT	TYPE	FINISH	COMMENTS
01	15	36"	72"	Single Hung, Clad wood	TBD	-
02	4	36"	54"	Single Hung, Clad wood	TBD	-
03	1	24"/10"	72"	Fixed, Mulled Corner Unit, Clad wood	TBD	-
04	2	(3X)36"	72"	Mulled triple unit Clad Wood	TBD	-

Building A
Level 01
Floor Plan

SHEETNUMBER

A102



PASEO VILLAGE
SD

Location: 408 NW 30TH ST.
OKC, OK 73118
Project #: 23014

OWNER:
SFRWR, LLC
6524 North Robinson Ave
Oklahoma City, Oklahoma 73116

GENERAL CONTRACTOR:
Site Construction
1742 NW 10th St.
Oklahoma City, Oklahoma 73106

STRUCTURAL ENGINEER:
Ocelex Engineering Inc
305 NW 9th St, #1251
Oklahoma City, Oklahoma 73102
405 413 9060

CIVIL ENGINEER:
Johnson & Associates Inc
1 East Sheridan Ave., OKC, OK 73104
405 238 8075

LANDSCAPE ARCHITECT:
LAUD Studio LLC
250 NW 13th St., Suite 1, OKC, OK 73103
405 420 8800

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KEYPLAN

DOOR SCHEDULE LEVEL 02 BUILDING A							
MARK	COUNT	WIDTH	HEIGHT	TYPE	FINISH	COMMENTS	
SC1	4	3'-0"	6'-8"	Pella, Fiberglass	TBD	-	
HC01	-	2'-8"	6'-8"	Single panel, shaker style	TBD	-	
HC2	2	2'-8"	6'-8"	Single panel, shaker style	TBD	-	
HC3	2	2'-0"	6'-8"	Single panel, shaker style	TBD	-	
PKT01	12	2'-8"open	6'-8"	Flat slab door	site finish	-	
D02	3	4'-0"	6'-8"	Bi-pass closet door, flat slab	site finish	-	

WINDOW SCHEDULE LEVEL 02 BUILDING A							
MARK	COUNT	WIDTH	HEIGHT	TYPE	FINISH	COMMENTS	
01	19	36"	72"	Single Hung, Clad wood	TBD	-	
02	5	36"	54"	Single Hung, Clad wood	TBD	-	
03	1	24 7/10"	72"	Fixed, Muller Corner Unit, Clad wood	TBD	-	
04	1	(3X)36"	72"	Mulled triple unit Clad Wood	TBD	-	
05	2	(2X)36"	72"	Mulled Dbl unit Clad Wood	TBD	-	

Building A
Level 02
Floor Plan

SHEETNUMBER

A104

1

2

3

4

B

C

D

E



PASEO VILLAGE
SD

Location: 408 NW 30TH ST.
OKC, OK 73118
Project #: 23014

OWNER:
SFRWR, LLC
6524 North Robinson Ave
Oklahoma City, Oklahoma 73116

GENERAL CONTRACTOR:
Site Construction
1742 NW 10th St.
Oklahoma City, Oklahoma 73106

STRUCTURAL ENGINEER:
Oeslax Engineering Inc
305 NW 9th St, #1251
Oklahoma City, Oklahoma 73102
405 413 9060

CIVIL ENGINEER:
Johnson & Associates Inc
1 East Sheridan Ave., OKC, OK 73104
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LANDSCAPE ARCHITECT:
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250 NW 11th St., Suite 1, OKC, OK 73103
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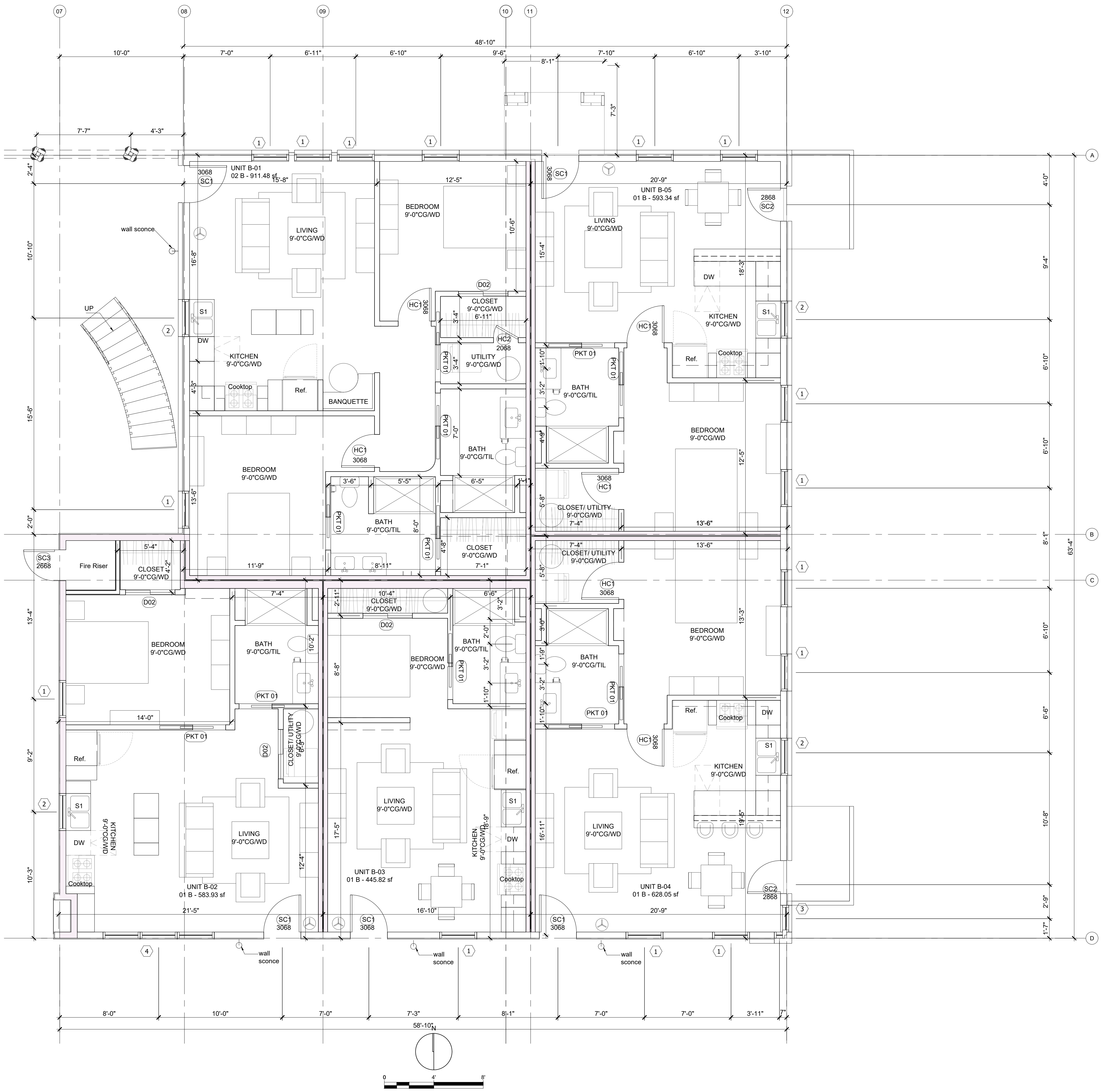
KEYPLAN

SHEET NUMBER

Building B
Level 01
Floor Plan

SHEET NUMBER

A106



DOOR SCHEDULE LEVEL 01 BUILDING B						
MARK	COUNT	WIDTH	HEIGHT	TYPE	FINISH	COMMENTS
SC1	5	3'-0"	6'-8"	3/4 light entry door	paint, typ.	All doors facing streets are wood
SC2	2	2'-8"	6'-8"	Pella, 3/4 light Fiberglass	TBD	-
SC3	1	2'-6"	6'-8"	HM utility door	TBD	-
HC01	6	3'-0"	6'-8"	Single panel, shaker style	TBD	-
HC02	2	2'-0"	6'-8"	Single panel, utility door	TBD	-
PKT01	11	2'-8"open	6'-8"	Flat slab door	site finish	-
D02	1	4'-0"	6'-8"	Bi-pass closet door, flat slab	site finish	-

WINDOW SCHEDULE LEVEL 01 BUILDING B						
MARK	COUNT	WIDTH	HEIGHT	TYPE	FINISH	COMMENTS
01	15	36"	72"	Single Hung, Clad wood	TBD	-
02	4	36"	54"	Single Hung, Clad wood	TBD	-
03	1	24"/10"	72"	Fixed, Mulled Corner Unit, Clad wood	TBD	-
04	2	(3X)36"	72"	Mulled triple unit Clad Wood	TBD	-

01: BUILDING A LEVEL 01 FLOOR PLAN - SCALE: 1/4"=1'-0"

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NOT FOR CONSTRUCTION

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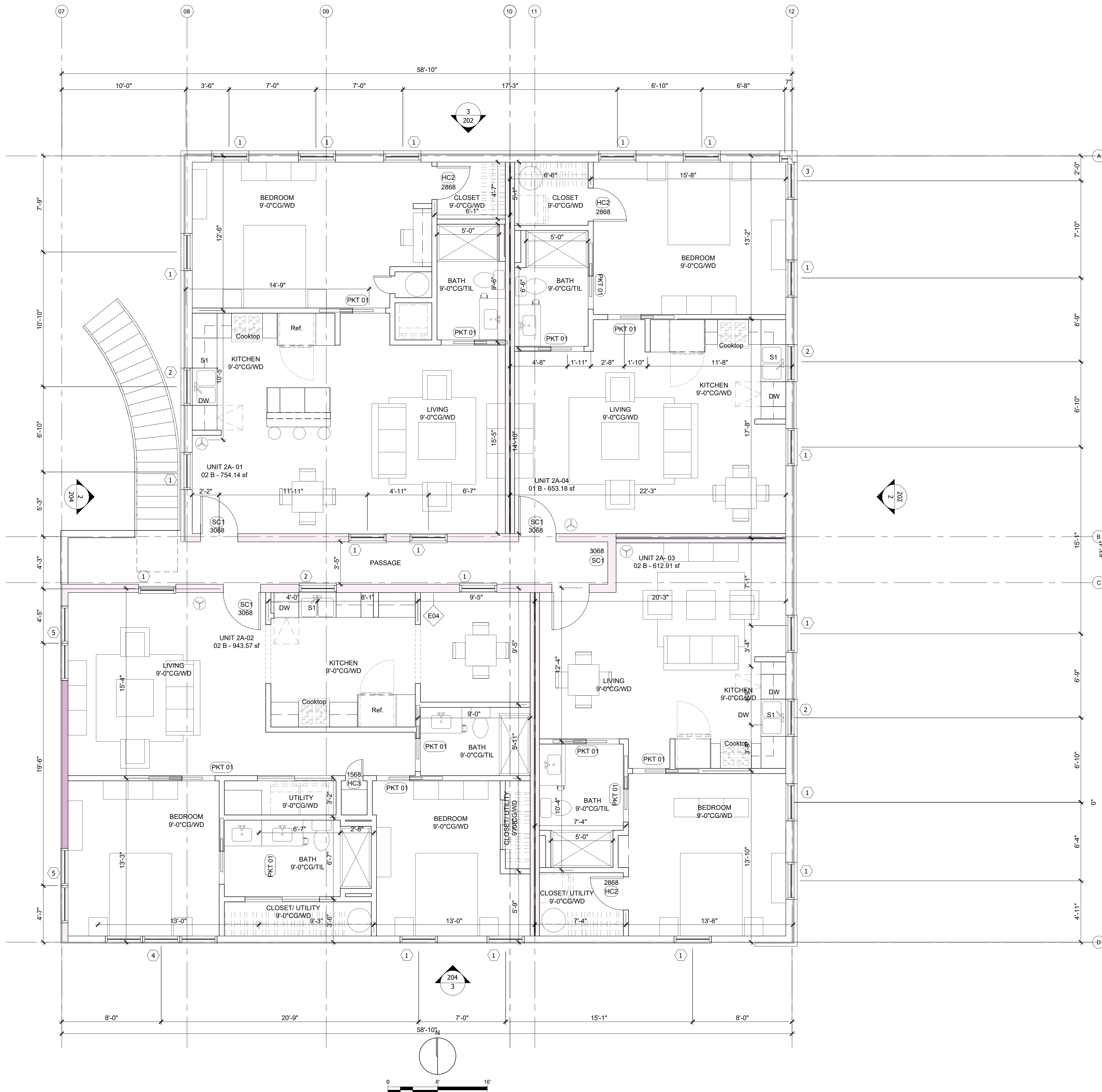
WINDOW SCHEDULE LEVEL 02 BUILDING B						
MARK	COUNT	WIDTH	HEIGHT	TYPE	FINISH	COMMENTS
01	19	36"	72"	Single Hung, Clad wood	TBD	-
02	5	36"	54"	Single Hung, Clad wood	TBD	-
03	1	24"x10"	72"	Fixed, Mullied Corner Unit, Clad wood	TBD	-
04	1	(3X)36"	72"	Mullied triple unit Clad Wood	TBD	-
05	2	(2X)36"	72"	Mullied Dbl unit Clad Wood	TBD	-

SHEET TITLE

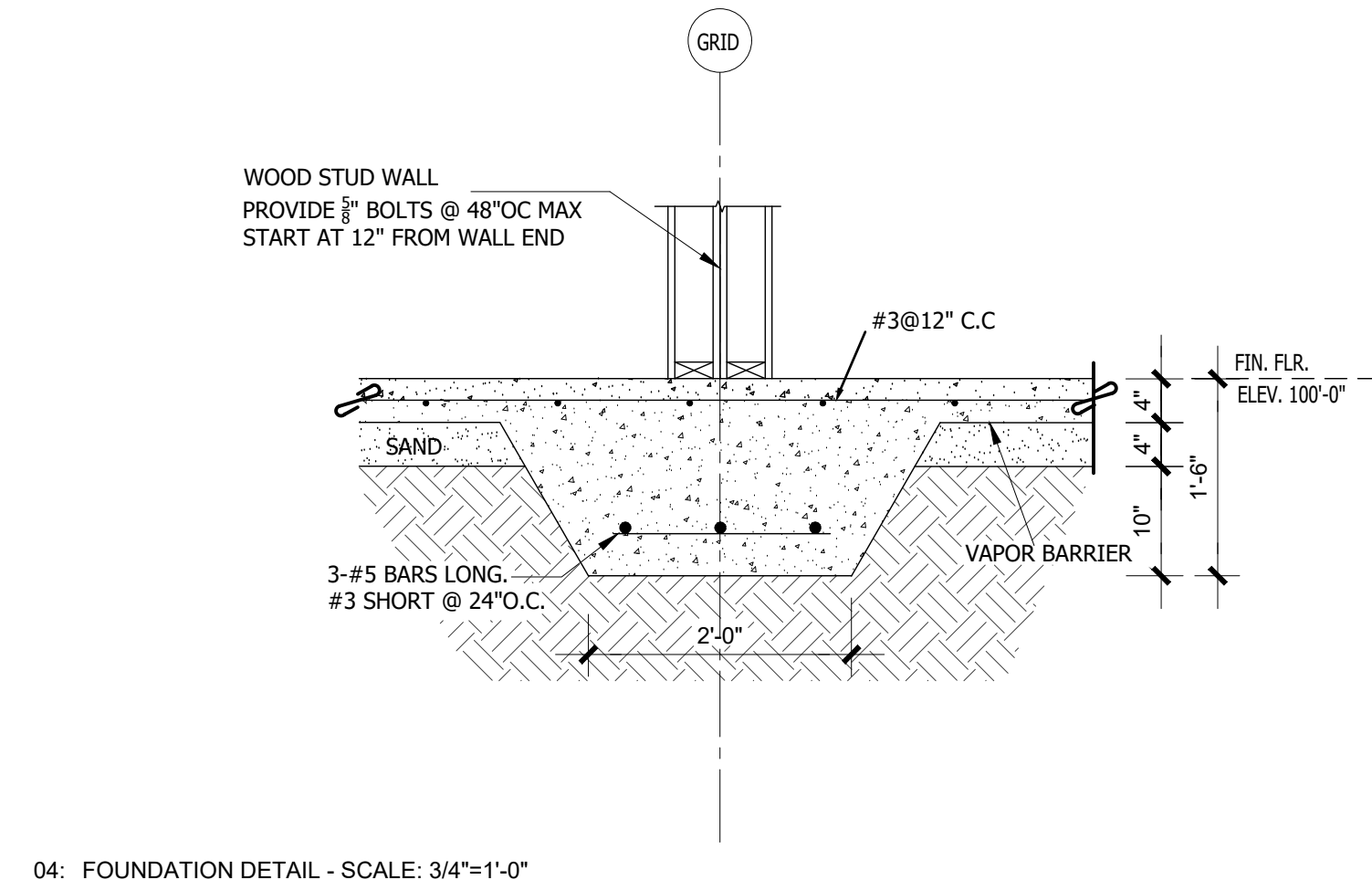
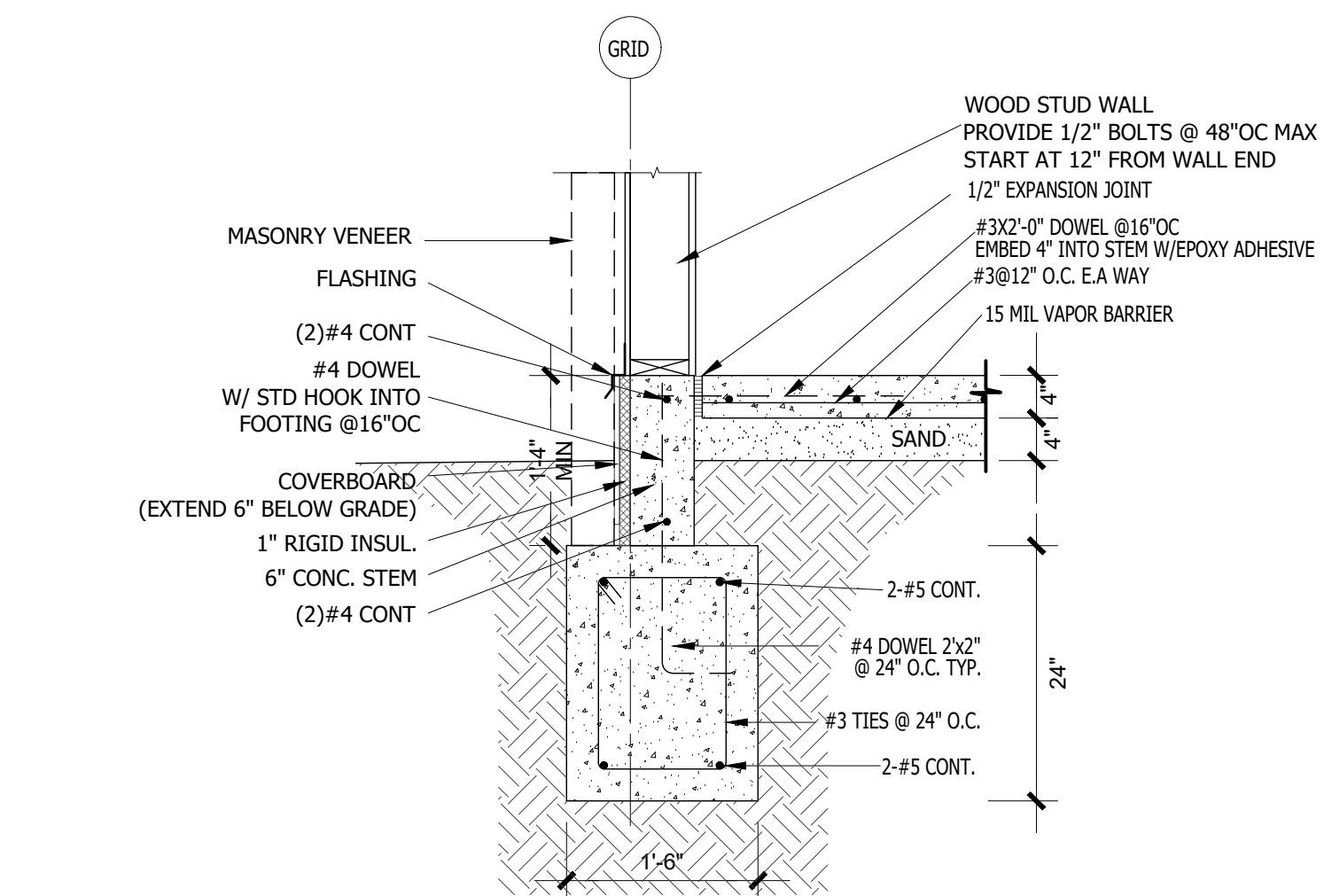
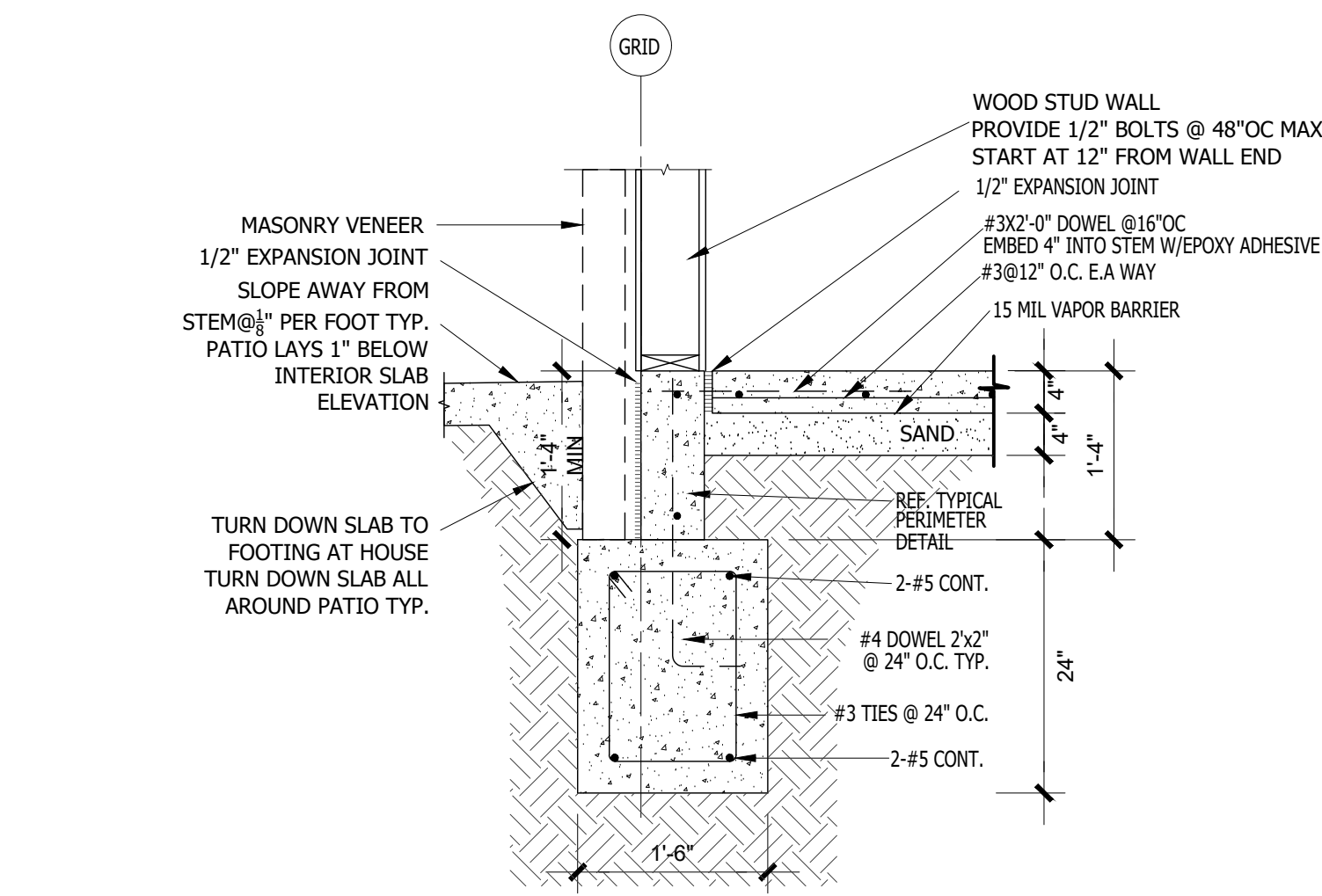
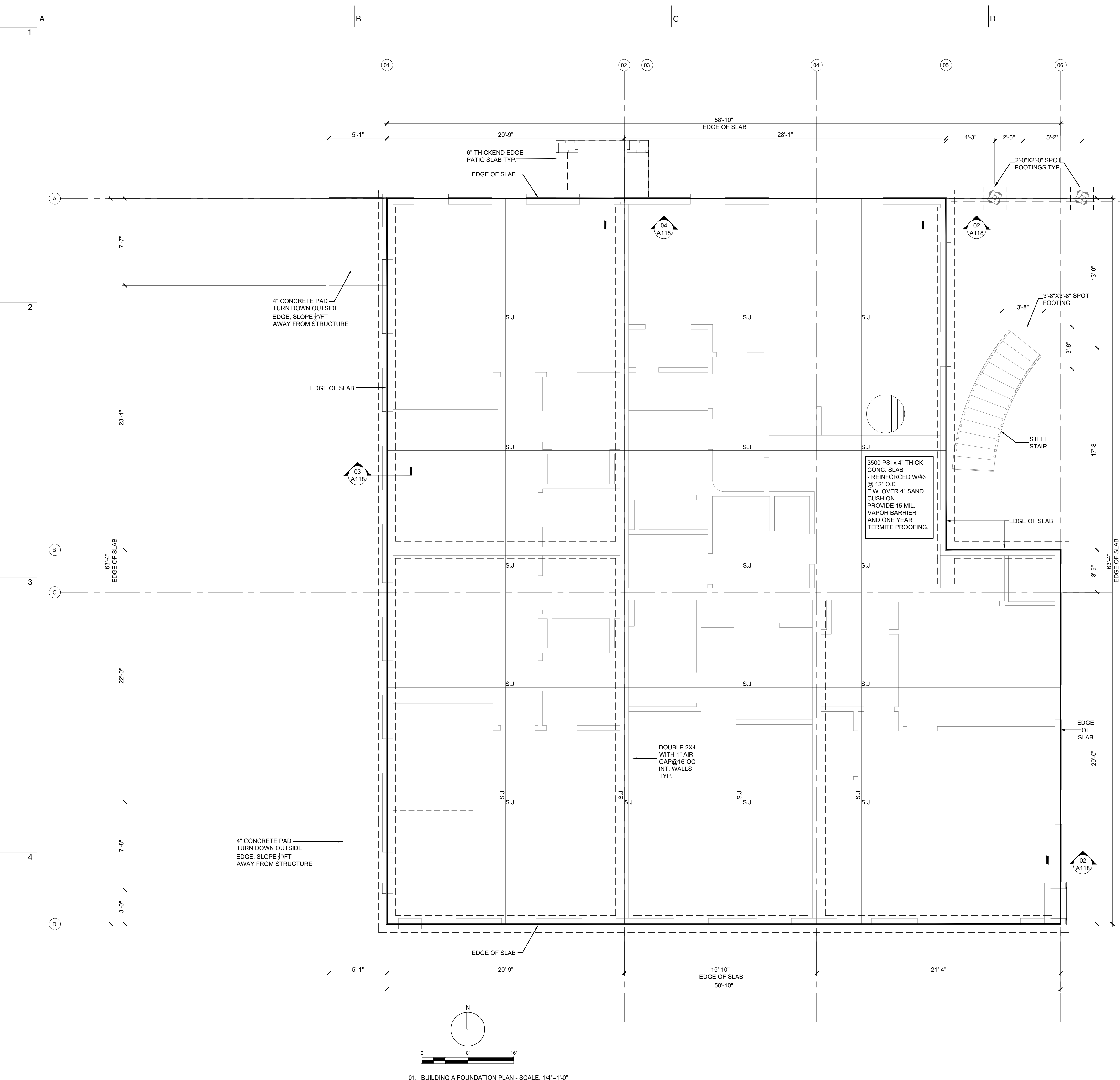
Building B
Level 02
Floor Plan

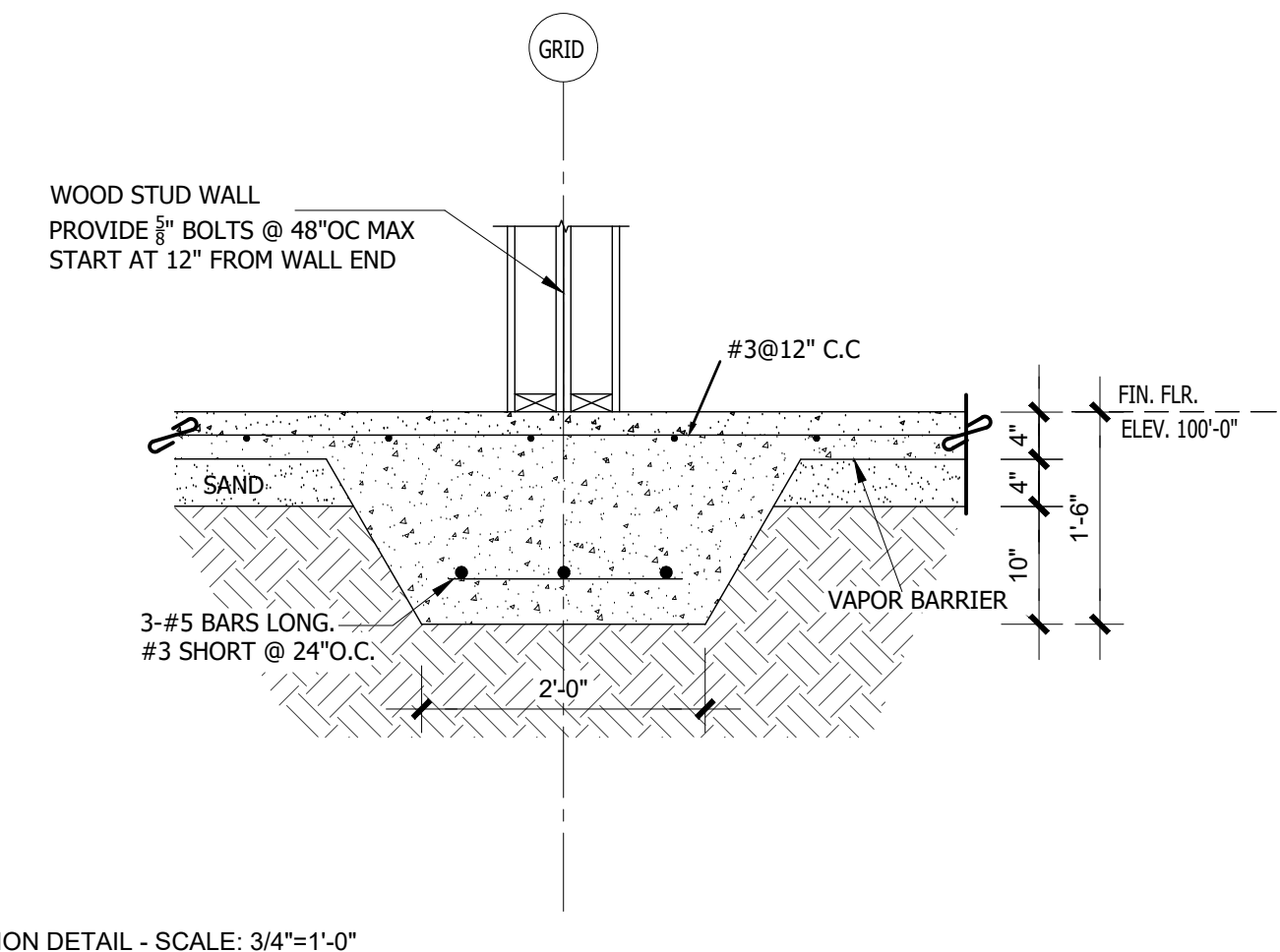
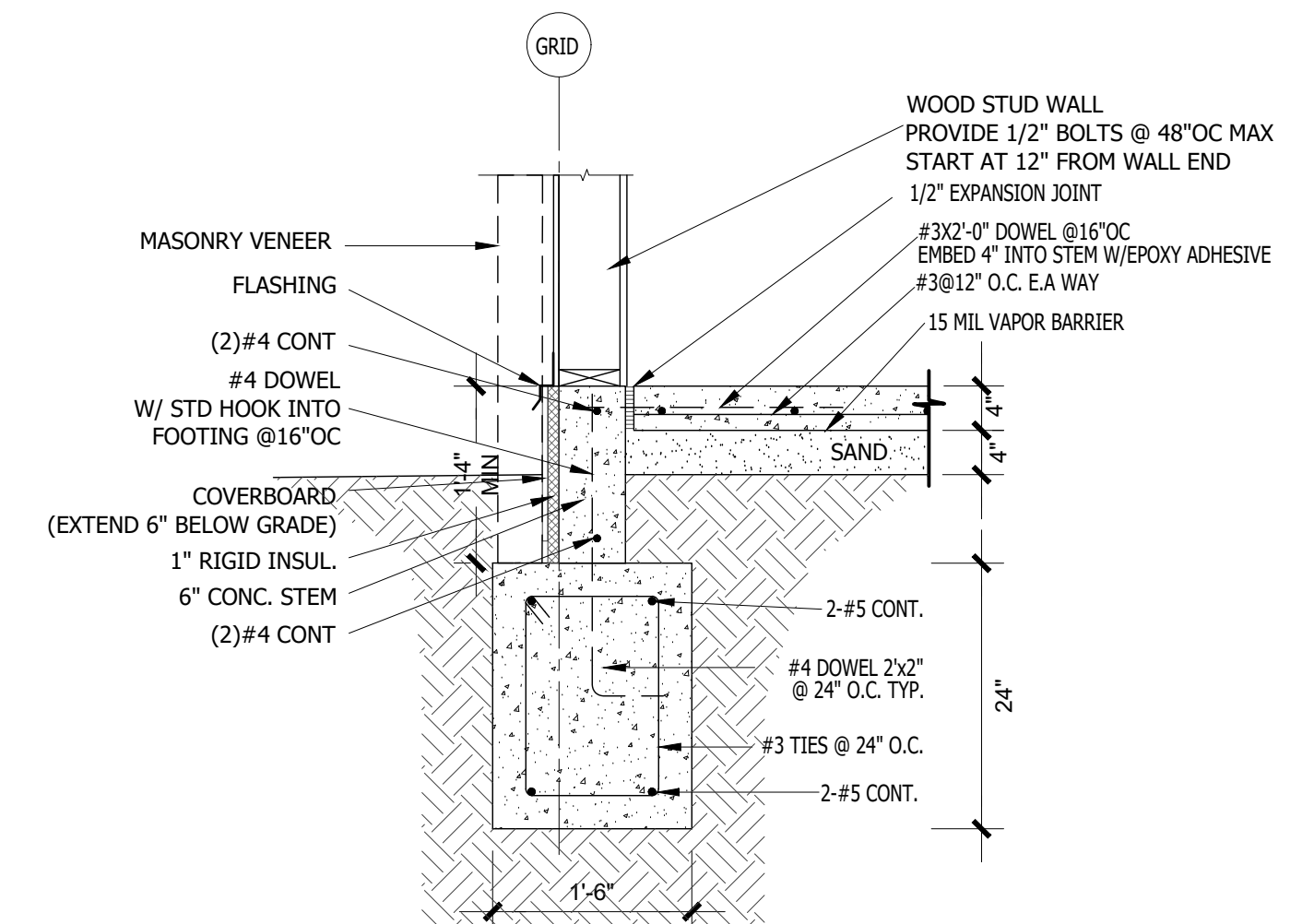
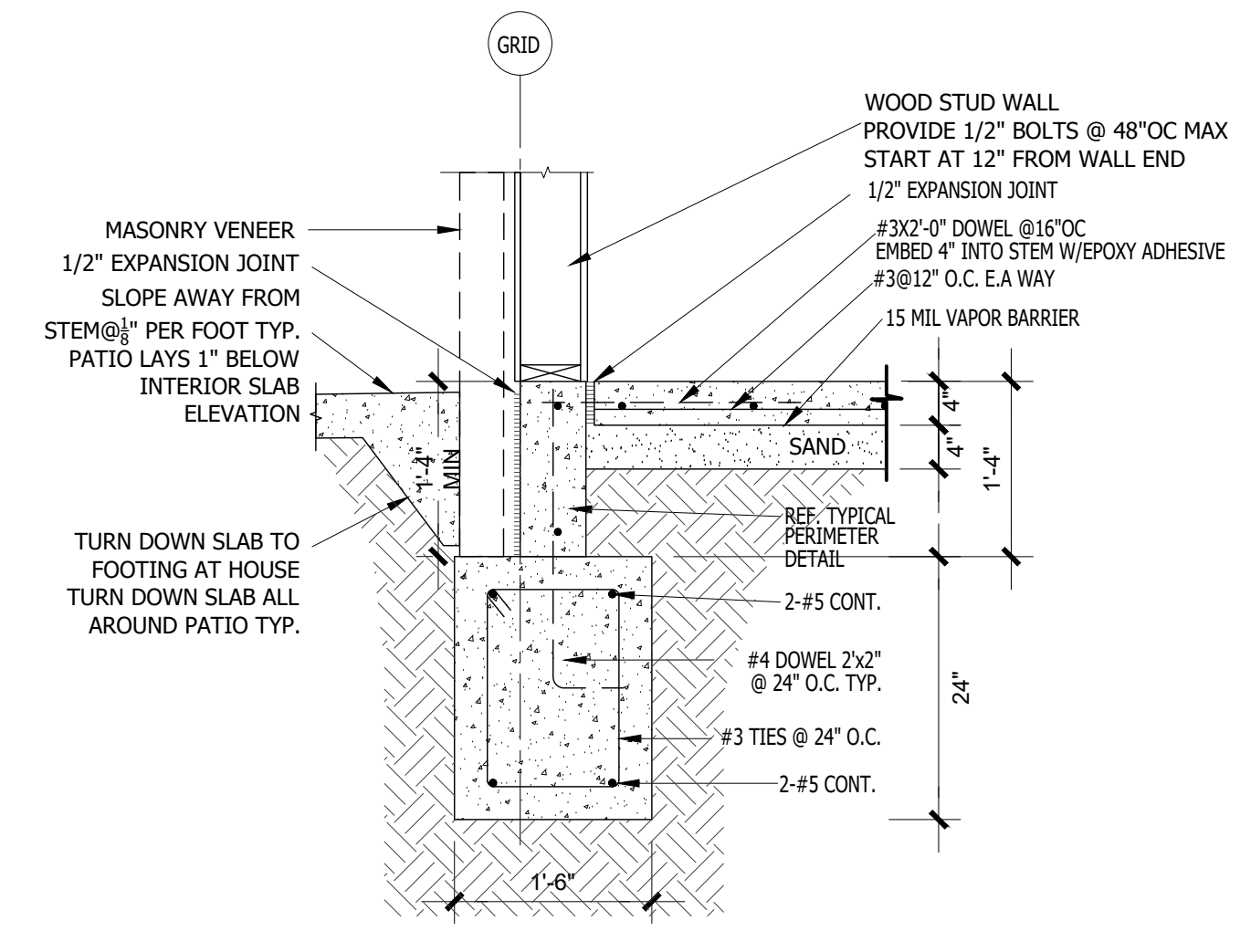
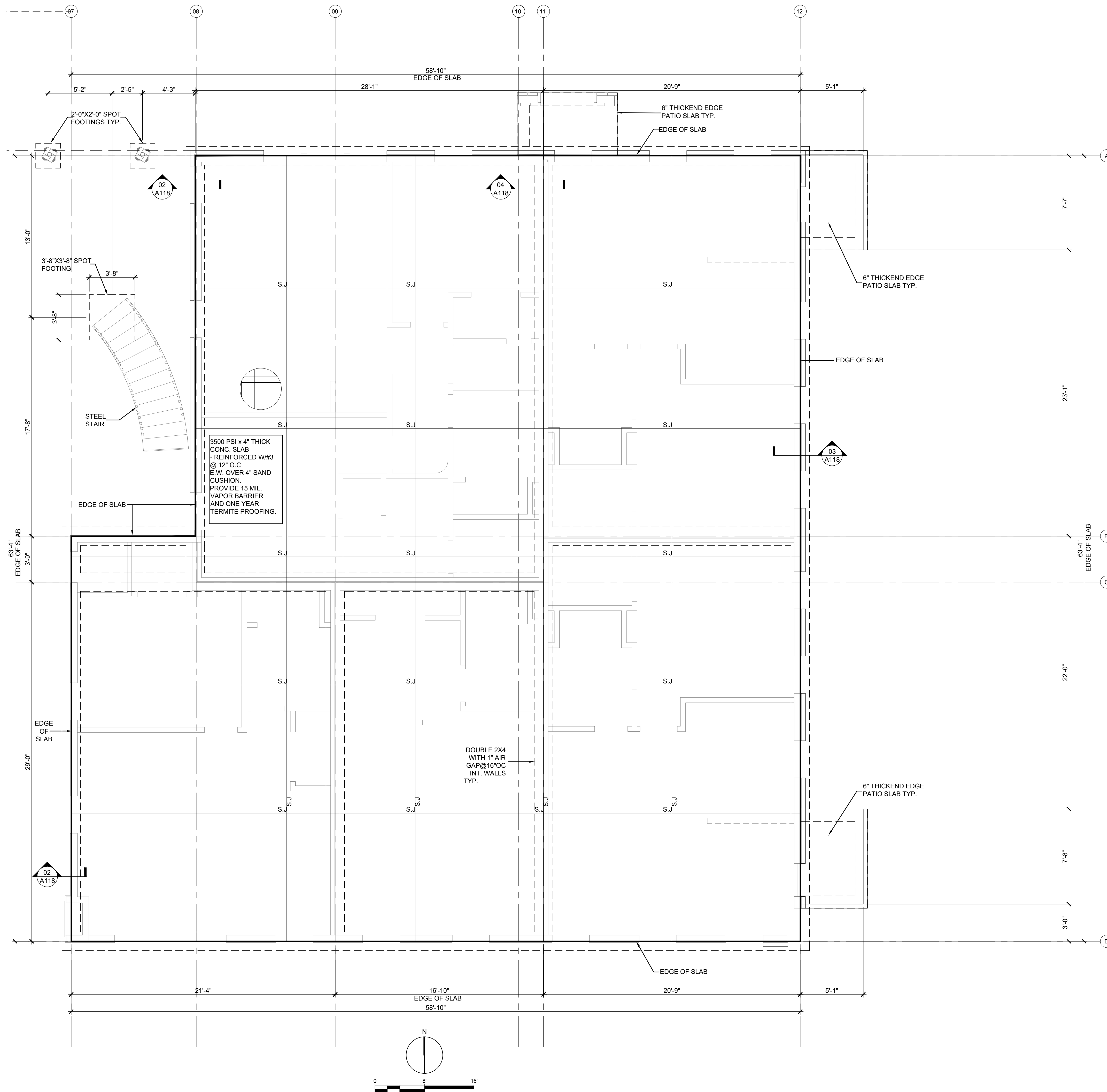
SHEETNUMBER

A108



01: BUILDING A LEVEL 02 PLAN - SCALE: 1/4"=1'-0"





Atelier AL LLC
Adam Lanman, AIA
405-820-7191
© 2024

Location: 408 NW 30TH ST.
OKC, OK 73118
Project #: 23014

OWNER:
SFR-WR, LLC
6824 North Robinson Ave.
Oklahoma City, Oklahoma 73116

GENERAL CONTRACTOR:
State Construction
1742 NW 10th St.
Oklahoma City, Oklahoma 73106

STRUCTURAL ENGINEER:
Cousins Engineering Inc
305 NW 5th St, #1251
Oklahoma City, Oklahoma 73106
405 413 9060

CIVIL ENGINEER:
Johnson & Associates Inc
1 East Sheridan Ave., OKC, OK
405 235 8075

LANDSCAPE ARCHITECT:
LAUD Studio LLC
220 NW 13th St., Suite 1, OKC,
405 420 8800

[illegible]

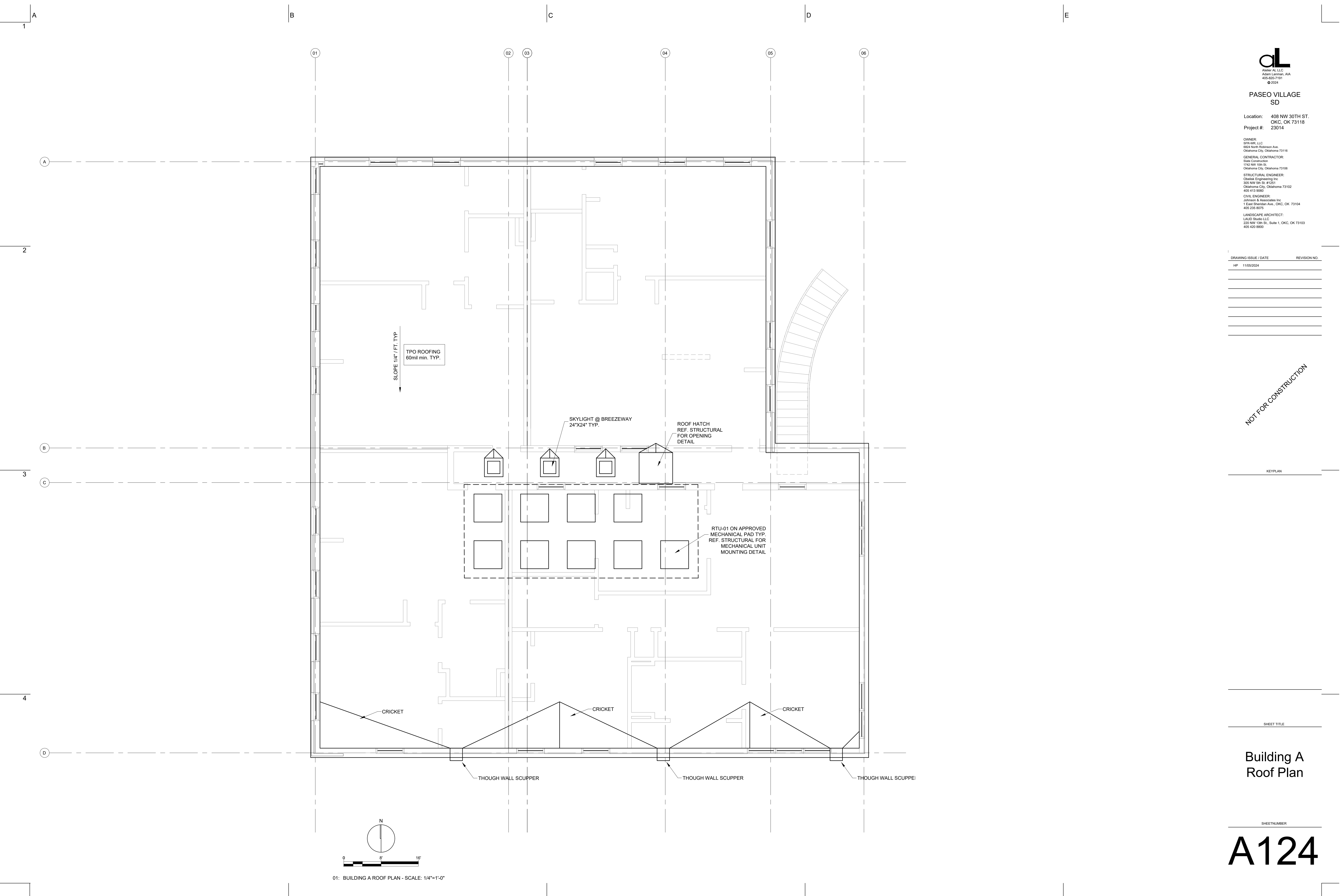
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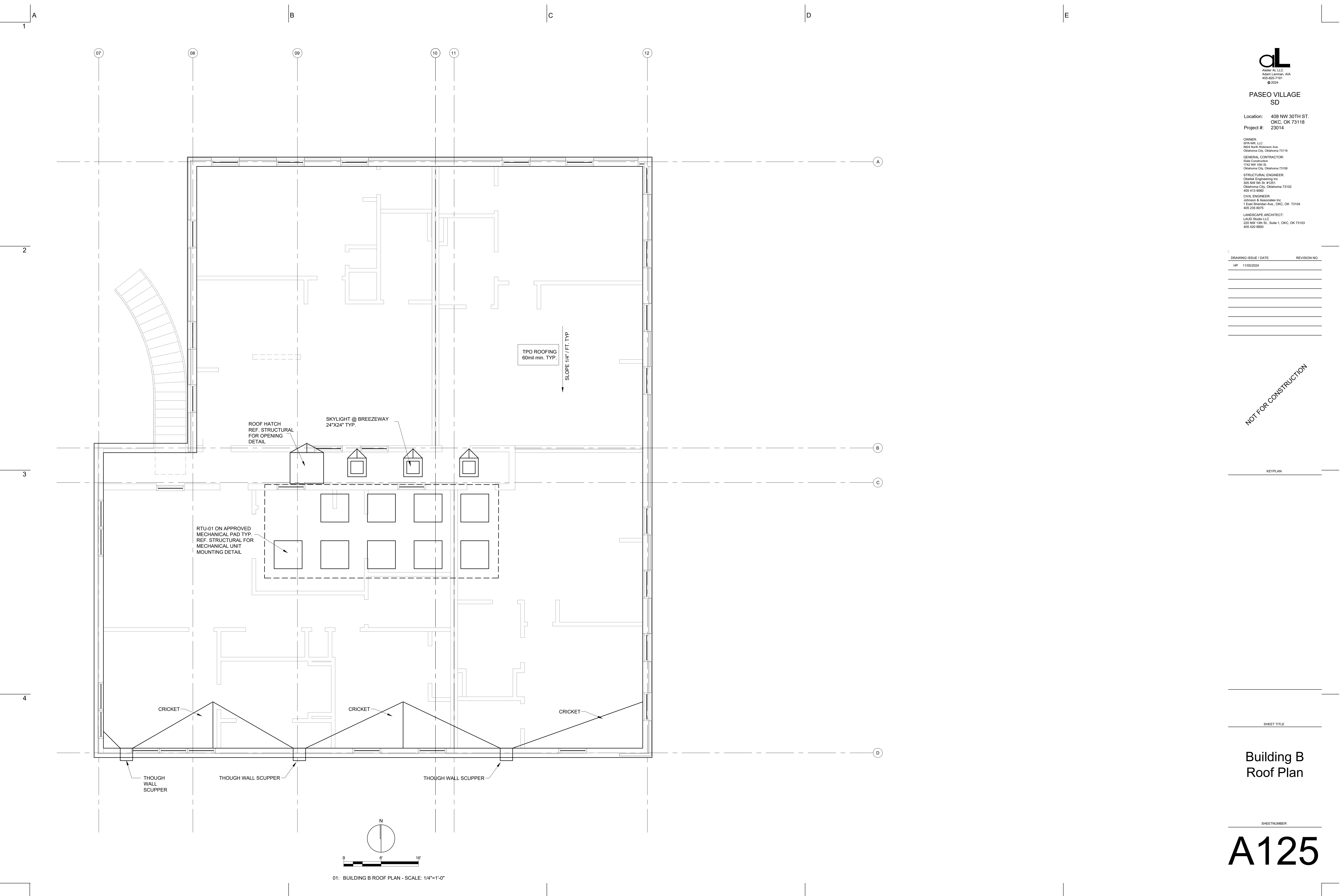
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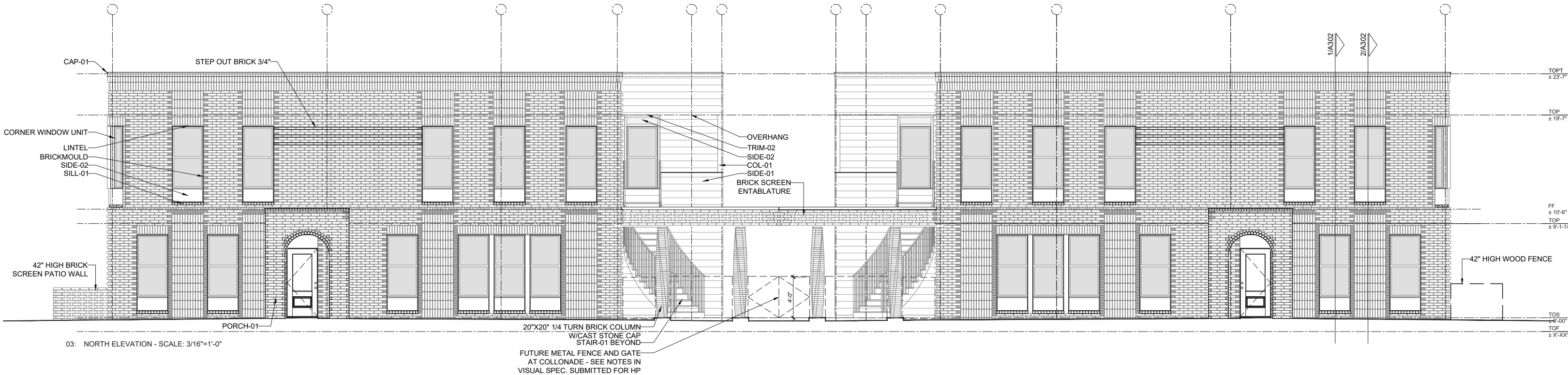
Building B
Arch.
Foundations
Plan

SHEETNUMBER

A119





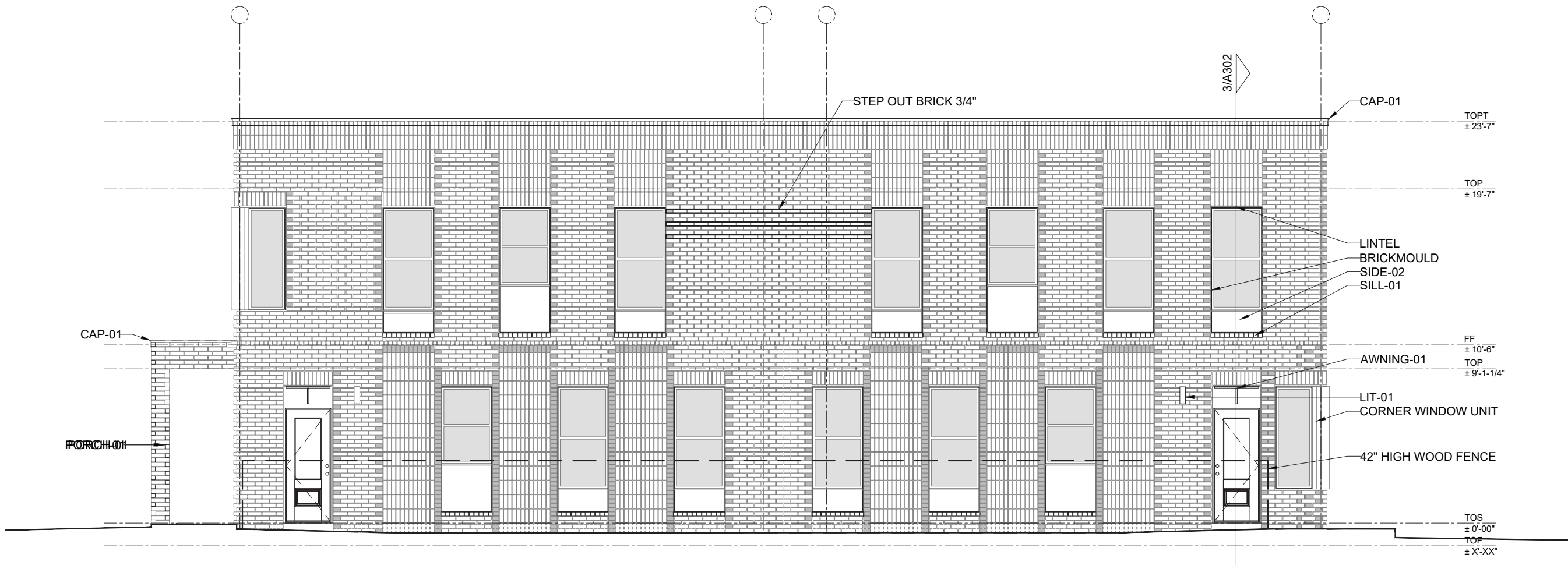


BUILDING B NORTH ELEVATION

BUILDING A NORTH ELEVATION

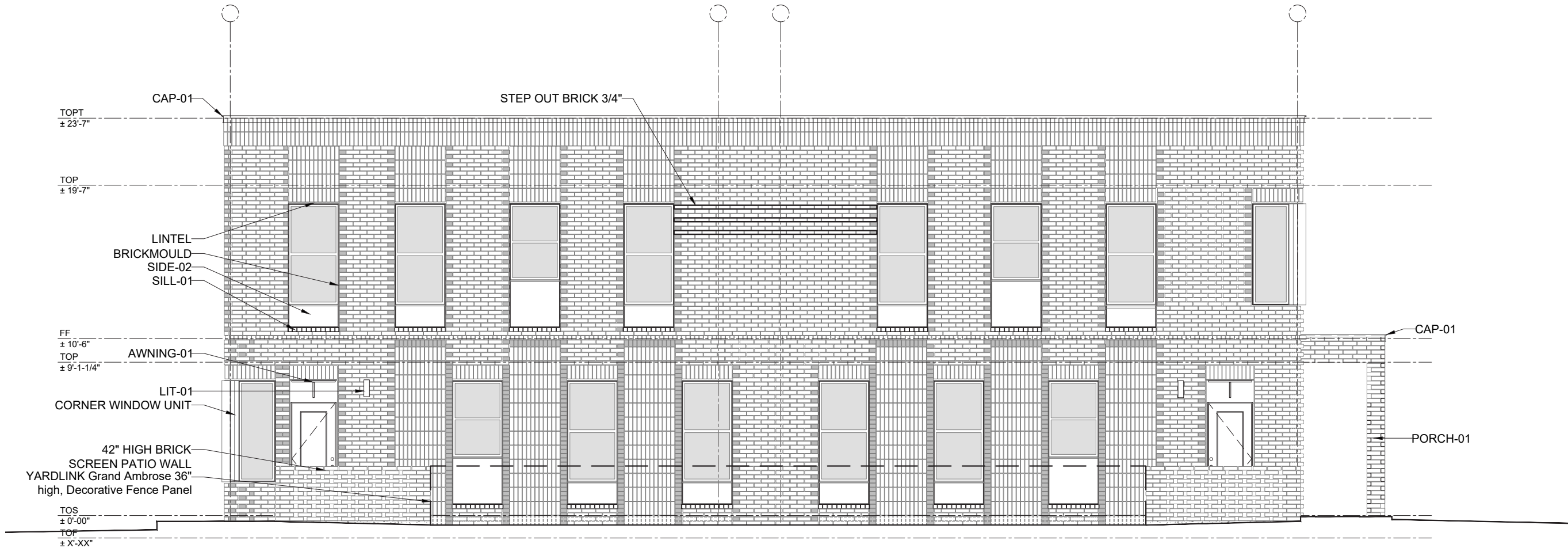
MARK	PRODUCT	MANUFACTURER /TYPE	COLOR/SIZING	ADDITIONAL COMMENTS
SIDE-01	Fiber Cement ShipLap Siding, 5" Exposure typical on all	Hardie Board - Smooth Finish	Prime for paint/ 10.250"x 144"x0.625"	Applied horizontally in rainscreen configuration, use $\frac{1}{2}$ " furring strips vertically@2'-0"oc
SIDE-02	5/16" Fiber Cement Panel	Hardie Board - Smooth Finish	Prime for paint	At window bases/heads and entry doors as indicated
BRICK-01	Masonry Veneer	Interstate brick, Glacier White, King Size, texture is Matte and Ruff blend W 2.75 x H 2.625 x L 9.625 Soldier Course = RUFF Common Bond = Matte	Arctic White	Slotted anchors of type DW10, Open head joints every third brick at lintels and other location, Vertical epansion joints indicated in drawings, Horizontal expansion joints locate under shelf angles and other dissimilar materials abutted by brick, Rake all mortar joints.
STAIR-01	Steel Stair	Gy GC/Sub	GC to provide shop drawings for approval. Powder Coat finish	36" wide stair, 12" channel stringer rolled to spec., 1.25" posts, 1/2" square vertical pickets, molded steel cap rail.
SILL-01	Row lock brick sill	Match Brick-01	-	Typical sill plate at all masonry set windows-ref. wall section
COL-01	6X6 Treated PSL column w/1x wood casing	By GC/Sub	Prime and Paint, TYP. color to be approved by Architect	Post boots and Caps to be approved by structural engineer typ.
GUT-01	Collector box	By GC/Sub	Color TBD, provide sample for approval	Refer to roofplan for actual gutter locations and lengths and downspout locations
DSP-01	Square Downspout	By GC/Sub	3"x4", color to be approved by architect/owner	See above
TRIM-01	1x4 trim board	By GC/Sub	Paint, Color TBD	Typical trim at doors and corners, fiber cement siding only
TRIM-02	1x3 trim board	By GC/Sub	Paint, Color TBD	Typical trim at windows set in fiber cement siding
CAP-01	Break metal cap flashing, 4" visible exposure w/1" drip edge	By GC/Sub	Pre-finished, dark bronze, final color to be approved. Size and shape to be provided by architect	Cut corners @45° and fold to overlap typ., final details to be provided

MARK	PRODUCT	MANUFACTURER /TYPE	COLOR/SIZING	ADDITIONAL COMMENTS
LIT-01	Brentwood LED 12" Bronze Outdoor Wall Sconce, Large	Nuvo Lighting	Bronze Finish	Typical fixture @ gorund floor unit entries - see plans
BASE-01	Weep Screen at wall base w/1x trim board, typical at base of lap siding wall.	By GC/Sub	per manufacturer recommendations per material. Provide cut sheet for approval and warrantee	Paint 1x trim board to match siding
PORCH-01	5'-0"x8'-0" Brick Porch - see notes	Brick to match exterior of building- all Matte finish	-	2x6 internal frame@roof, provide internal gutter and downspout at brick column - final detail tbd.
AWNING-01	BESPOKE STEEL AWNING	By GC/Sub - provide shop drawings for final approval	Paint to match trim color	36"x18"x1" PLT.STL., prime and paint w/oil based exterior epoxy, final color to be determined, match color to door paint color
BRICK SCREEN :NTABLATURE	1/3 COURSE BRICK SCREEN W/1" PLT.STL. CONT. LINTEL, GROUT FILLED TOP ROWLOCK	By GC/Sub - provide shop drawings for final approval, coordinate with steel sub.	See BRICK-01, all matte finish	Drill 1/2" drain holes@12"OC on centerline of PLT.STL. lintel, prime and paint w/oil based exterior epoxy, final color to be determined
MAIL-01	Recessed mounted 4c horizontal mailbox	Salsbury 6 Door High Recessed Mounted 4C Horizontal Mailbox with 9 Doors in Bronze with Private Access - Front Loading Model # 3706D-09ZFP	Dark Bronze Color	-
ART-01	Wall mounted art/signage and/or wall applied art/signage	By GC/Sub	to be determined	final design to be determined
UTILITY ZONE	Electrical meter bank and panel locations	By GC/Sub	to be confirmed	location to be confirmed



BUILDING A WEST ELEVATION

MARK	PRODUCT	MANUFACTURER /TYPE	COLOR/SIZING	ADDITIONAL COMMENTS	MARK	PRODUCT	MANUFACTURER /TYPE	COLOR/SIZING	ADDITIONAL COMMENTS
SIDE-01	Fiber Cement ShipLap Siding, 5" Exposure typical on all	Hardie Board - Smooth Finish	Prime for paint/ 10.250"x 144"x0.625"	Applied horizontally in rainscreen configuration, use $\frac{3}{8}$ " furring strips vertically@2'-0"oc	LIT-01	Brentwood LED 12" Bronze Outdoor Wall Sconce, Large	Nuvo Lighting	Bronze Finish	Typical fixture @ ground floor unit entries - see plans
SIDE-02	5/16" Fiber Cement Panel	Hardie Board - Smooth Finish	Prime for paint	At window bases/heads and entry doors as indicated	BASE-01	Weep Screen at wall base w/1x trim board, typical at base of lap siding wall.	By GC/Sub	per manufacturer recommendations per material. Provide cut sheet for approval and warrantee	Paint 1x trim board to match siding
BRICK-01	Masonry Veneer	Interstate brick, Glacier White, King Size, texture is Matte and Ruff blend W 2.75 x H 2.625 x L 9.625 Soldier Course = RUFF Common Bond = Matte	Arctic White	Slotted anchors of type DW10, Open head joints every third brick at lintels and other location, Vertical expansion joints indicated in drawings, Horizontal expansion joints locate under shelf angles and other dissimilar materials abutted by brick, Rake all mortar joints.	PORCH-01	5'-0"x8'-0" Brick Porch - see notes	Brick to match exterior of building- all Matte finish	-	2x6 internal frame@roof, provide internal gutter and downspout at brick column - final detail tbd.
STAIR-01	Steel Stair	Gy GC/Sub	GC to provide shop drawings for approval. Powder Coat finish	36" wide stair, 12" channel stringer rolled to spec., 1.25" posts, 1/2" square vertical pickets, molded steel cap rail.	AWNING-01	BESPOKE STEEL AWNING	By GC/Sub - provide shop drawings for final approval	Paint to match trim color	36"x18"x1" PLT.STL., prime and paint w/oil based exterior epoxy, final color to be determined, match color to door paint color
SILL-01	Row lock brick sill	Match Brick-01	-	Typical sill plate at all masonry set windows-ref. wall section	BRICK SCREEN :NTABLATURE	1/3 COURSE BRICK SCREEN W/1" PLT.STL. CONT. LINTEL, GROUT FILLED TOP ROWLOCK	By GC/Sub - provide shop drawings for final approval, coordinate with steel sub.	See BRICK-01, all matte finish	Drill 1/2" drain holes@12"OC on centerline of PLT.STL. lintel, prime and paint w/oil based exterior epoxy, final color to be determined
COL-01	6X6 Treated PSL column w/1x wood casing	By GC/Sub	Prime and Paint, TYP. color to be approved by Architect	Post boots and Caps to be approved by structural engineer typ.	MAIL-01	Recessed mounted 4c horizontal mailbox	Salsbury 6 Door High Recessed Mounted 4C Horizontal Mailbox with 9 Doors in Bronze with Private Access - Front Loading Model # 3706D-09ZFP	Dark Bronze Color	-
GUT-01	Collector box	By GC/Sub	Color TBD, provide sample for approval	Refer to roofplan for actual gutter locations and lengths and downspout locations	ART-01	Wall mounted art/signage and/or wall applied art/signage	By GC/Sub	to be determined	final design to be determined
DSP-01	Square Downspout	By GC/Sub	3"x4", color to be approved by architect/owner	See above	UTILITY ZONE	Electrical meter bank and panel locations	By GC/Sub	to be confirmed	location to be confirmed
TRIM-01	1x4 trim board	By GC/Sub	Paint, Color TBD	Typical trim at doors and corners, fiber cement siding only					
TRIM-02	1x3 trim board	By GC/Sub	Paint, Color TBD	Typical trim at windows set in fiber cement siding					
CAP-01	Break metal cap flashing, 4" visible exposure w/1" drip edge	By GC/Sub	Pre-finished, dark bronze, final color to be approved. Size and shape to be provided by architect	Cut corners @45° and fold to overlap typ., final details to be provided					



BUILDING B EAST ELEVATION

MARK	PRODUCT	MANUFACTURER /TYPE	COLOR/SIZING	ADDITIONAL COMMENTS	MARK	PRODUCT	MANUFACTURER /TYPE	COLOR/SIZING	ADDITIONAL COMMENTS
SIDE-01	Fiber Cement ShipLap Siding, 5" Exposure typical on all	Hardie Board - Smooth Finish	Prime for paint/ 10.250"x 144"x0.625"	Applied horizontally in rainscreen configuration, use $\frac{3}{8}$ " furring strips vertically@2'-0"oc	LIT-01	Brentwood LED 12" Bronze Outdoor Wall Sconce, Large	Nuvo Lighting	Bronze Finish	Typical fixture @ ground floor unit entries - see plans
SIDE-02	5/16" Fiber Cement Panel	Hardie Board - Smooth Finish	Prime for paint	At window bases/heads and entry doors as indicated	BASE-01	Weep Screen at wall base w/1x trim board, typical at base of lap siding wall.	By GC/Sub	per manufacturer recommendations per material. Provide cut sheet for approval and warrantee	Paint 1x trim board to match siding
BRICK-01	Masonry Veneer	Interstate brick, Glacier White, King Size, texture is Matte and Ruff blend W 2.75 x H 2.625 x L 9.625 Soldier Course = RUFF Common Bond = Matte	Arctic White	Slotted anchors of type DW10, Open head joints every third brick at lintels and other location, Vertical expansion joints indicated in drawings, Horizontal expansion joints locate under shelf angles and other dissimilar materials abutted by brick, Rake all mortar joints.	PORCH-01	5'-0"x8'-0" Brick Porch - see notes	Brick to match exterior of building- all Matte finish	-	2x6 internal frame@roof, provide internal gutter and downspout at brick column - final detail tbd.
STAIR-01	Steel Stair	Gy GC/Sub	GC to provide shop drawings for approval. Powder Coat finish	36" wide stair, 12" channel stringer rolled to spec., 1.25" posts, 1/2" square vertical pickets, molded steel cap rail.	AWNING-01	BESPOKE STEEL AWNING	By GC/Sub - provide shop drawings for final approval	Paint to match trim color	36"x18"x1" PLT.STL., prime and paint w/oil based exterior epoxy, final color to be determined, match color to door paint color
SILL-01	Row lock brick sill	Match Brick-01	-	Typical sill plate at all masonry set windows-ref. wall section	BRICK SCREEN :NTABLATURE	1/3 COURSE BRICK SCREEN W/1" PLT.STL. CONT. LINTEL, GROUT FILLED TOP ROWLOCK	By GC/Sub - provide shop drawings for final approval, coordinate with steel sub.	See BRICK-01, all matte finish	Drill 1/2" drain holes@12"OC on centerline of PLT.STL. lintel, prime and paint w/oil based exterior epoxy, final color to be determined
COL-01	6X6 Treated PSL column w/1x wood casing	By GC/Sub	Prime and Paint, TYP. color to be approved by Architect	Post boots and Caps to be approved by structural engineer typ.	MAIL-01	Recessed mounted 4c horizontal mailbox	Salsbury 6 Door High Recessed Mounted 4C Horizontal Mailbox with 9 Doors in Bronze with Private Access - Front Loading Model # 3706D-09ZFP	Dark Bronze Color	-
GUT-01	Collector box	By GC/Sub	Color TBD, provide sample for approval	Refer to roofplan for actual gutter locations and lengths and downspout locations	ART-01	Wall mounted art/signage and/or wall applied art/signage	By GC/Sub	to be determined	final design to be determined
DSP-01	Square Downspout	By GC/Sub	3"x4", color to be approved by architect/owner	See above	UTILITY ZONE	Electrical meter bank and panel locations	By GC/Sub	to be confirmed	location to be confirmed
TRIM-01	1x4 trim board	By GC/Sub	Paint, Color TBD	Typical trim at doors and corners, fiber cement siding only					
TRIM-02	1x3 trim board	By GC/Sub	Paint, Color TBD	Typical trim at windows set in fiber cement siding					
CAP-01	Break metal cap flashing, 4" visible exposure w/1" drip edge	By GC/Sub	Pre-finished, dark bronze, final color to be approved. Size and shape to be provided by architect	Cut corners @45° and fold to overlap typ., final details to be provided					

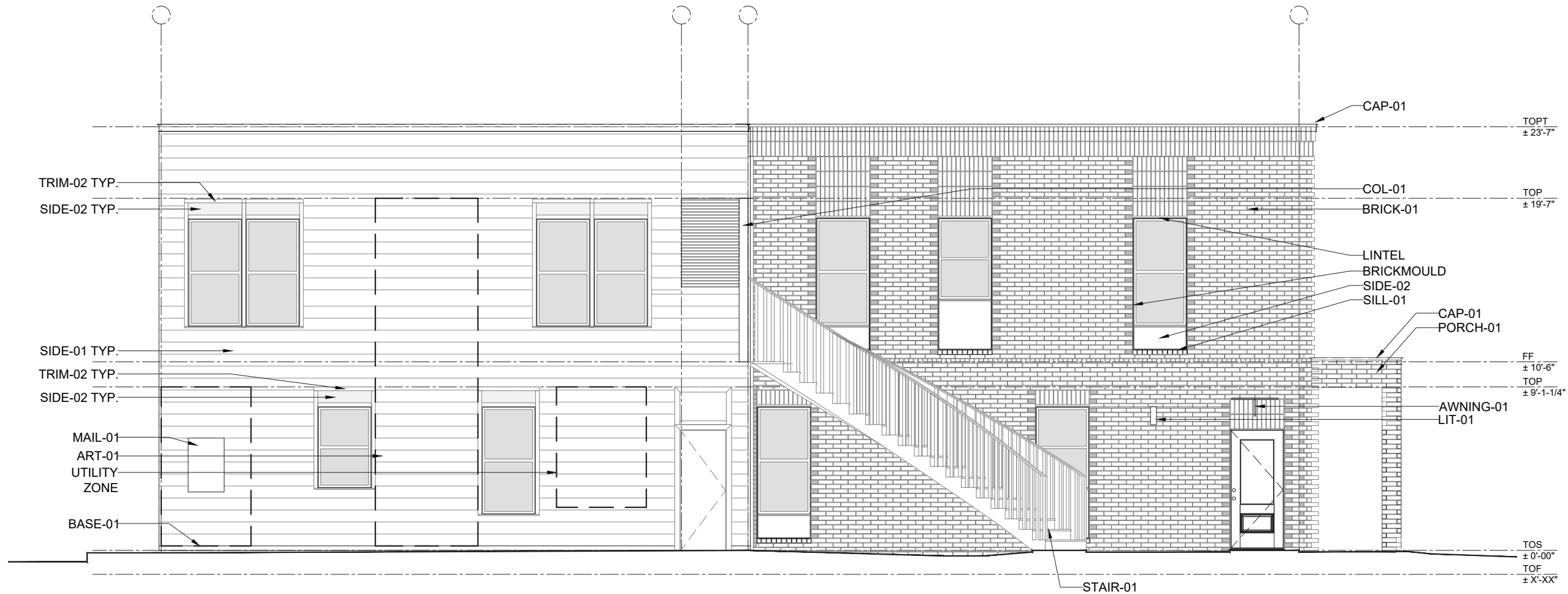


BUILDING A SOUTH ELEVATION

BUILDING B SOUTH ELEVATION

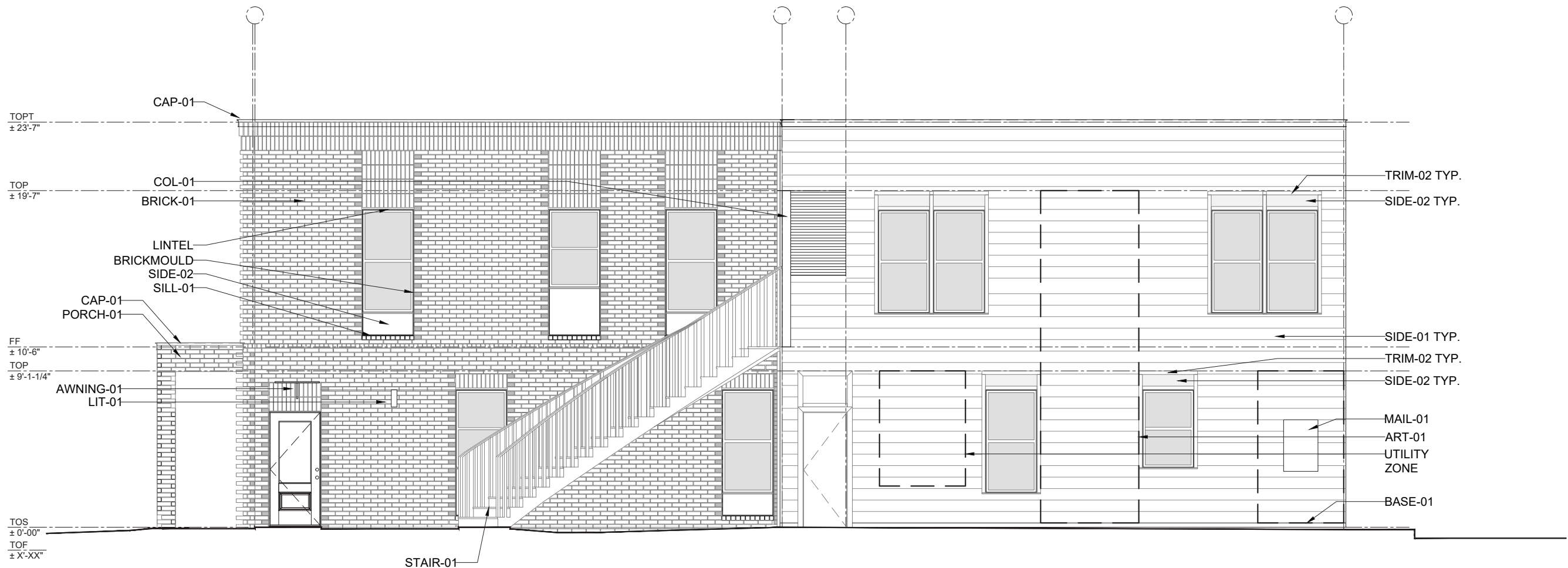
MARK	PRODUCT	MANUFACTURER /TYPE	COLOR/SIZING	ADDITIONAL COMMENTS
SIDE-01	Fiber Cement ShipLap Siding, 5" Exposure typical on all	Hardie Board - Smooth Finish	Prime for paint/ 10.250"x 144"x0.625"	Applied horizontally in rainscreen configuration, use ½" furring strips vertically@2'-0"oc
SIDE-02	5/16" Fiber Cement Panel	Hardie Board - Smooth Finish	Prime for paint	At window bases/heads and entry doors as indicated
BRICK-01	Masonry Veneer	Interstate brick, Glacier White, King Size, texture is Matte and Ruff blend W 2.75 x H 2.625 x L 9.625 Soldier Course = RUFF Common Bond = Matte	Arctic White	Slotted anchors of type DW10, Open head joints every third brick at lintels and other location, Vertical epansion joints indicated in drawings, Horizontal expansion joints locate under shelf angles and other dissimilar materials abutted by brick, Rake all mortar joints.
STAIR-01	Steel Stair	Gy GC/Sub	GC to provide shop drawings for approval. Powder Coat finish	36" wide stair, 12" channel stringer rolled to spec., 1.25" posts, 1/2" square vertical pickets, molded steel cap rail.
SILL-01	Row lock brick sill	Match Brick-01	-	Typical sill plate at all masonry set windows-ref. wall section
COL-01	6X6 Treated PSL column w/1x wood casing	By GC/Sub	Prime and Paint, TYP. color to be approved by Architect	Post boots and Caps to be approved by structural engineer typ.
GUT-01	Collector box	By GC/Sub	Color TBD, provide sample for approval	Refer to roofplan for actual gutter locations and lengths and downspout locations
DSP-01	Square Downspout	By GC/Sub	3"x4", color to be approved by architect/owner	See above
TRIM-01	1x4 trim board	By GC/Sub	Paint, Color TBD	Typical trim at doors and corners, fiber cement siding only
TRIM-02	1x3 trim board	By GC/Sub	Paint, Color TBD	Typical trim at windows set in fiber cement siding
CAP-01	Break metal cap flashing, 4" visible exposure w/1" drip edge	By GC/Sub	Pre-finished, dark bronze, final color to be approved. Size and shape to be provided by architect	Cut corners @45° and fold to overlap typ., final details to be provided

MARK	PRODUCT	MANUFACTURER /TYPE	COLOR/SIZING	ADDITIONAL COMMENTS
LIT-01	Brentwood LED 12" Bronze Outdoor Wall Sconce, Large	Nuvo Lighting	Bronze Finish	Typical fixture @ gorund floor unit entries - see plans
BASE-01	Weep Screen at wall base w/1x trim board, typical at base of lap siding wall.	By GC/Sub	per manufacturer recommendations per material. Provide cut sheet for approval and warrantee	Paint 1x trim board to match siding
PORCH-01	5'-0"x8'-0" Brick Porch - see notes	Brick to match exterior of building- all Matte finish	-	2x6 internal frame@roof, provide internal gutter and downspout at brick column - final detail tbd.
AWNING-01	BESPOKE STEEL AWNING	By GC/Sub - provide shop drawings for final approval	Paint to match trim color	36"x18"x1" PLT.STL., prime and paint w/oil based exterior epoxy, final color to be determined, match color to door paint color
BRICK SCREEN :NTABLATURE	1/3 COURSE BRICK SCREEN W/1" PLT.STL. CONT. LINTEL, GROUT FILLED TOP ROWLOCK	By GC/Sub - provide shop drawings for final approval, coordinate with steel sub.	See BRICK-01, all matte finish	Drill 1/2" drain holes@12"OC on centerline of PLT.STL. lintel, prime and paint w/oil based exterior epoxy, final color to be determined
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ART-01	Wall mounted art/signage and/or wall applied art/signage	By GC/Sub	to be determined	final design to be determined
UTILITY ZONE	Electrical meter bank and panel locations	By GC/Sub	to be confirmed	location to be confirmed



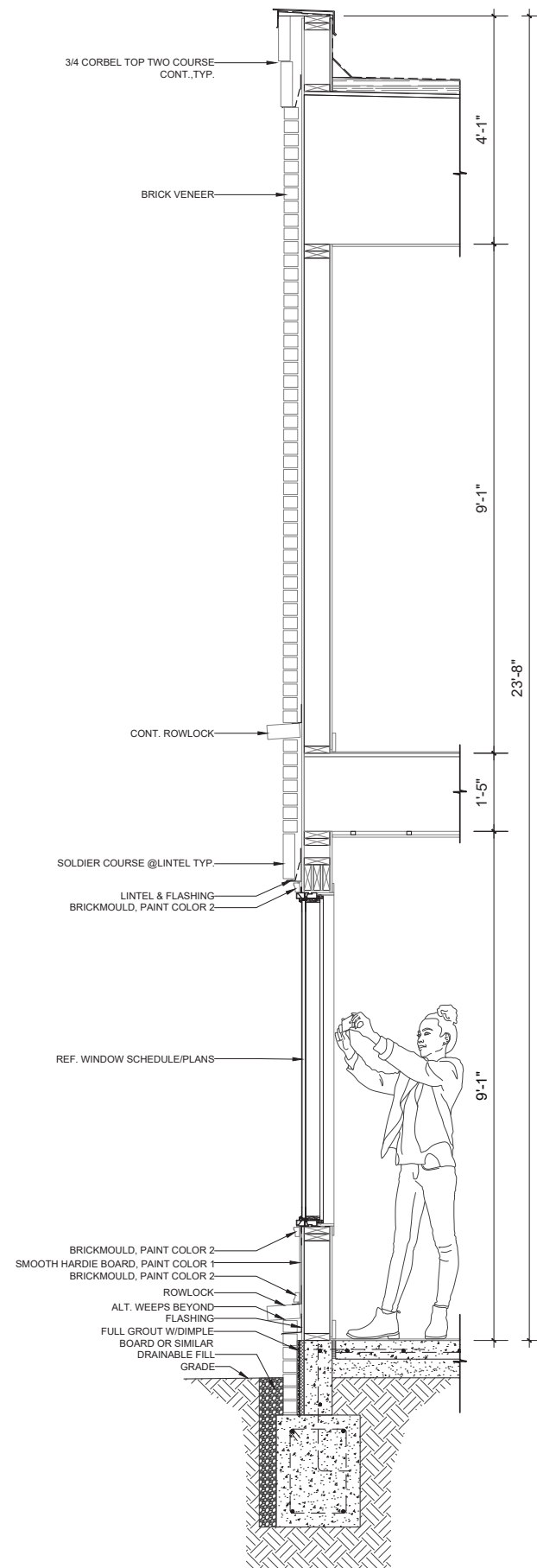
BUILDING A EAST ELEVATION

MARK	PRODUCT	MANUFACTURER /TYPE	COLOR/SIZING	ADDITIONAL COMMENTS	MARK	PRODUCT	MANUFACTURER /TYPE	COLOR/SIZING	ADDITIONAL COMMENTS
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SIDE-02	5/16" Fiber Cement Panel	Hardie Board - Smooth Finish	Prime for paint	At window bases/heads and entry doors as indicated	BASE-01	Weep Screen at wall base w/1x trim board, typical at base of lap siding wall.	By GC/Sub	per manufacturer recommendations per material. Provide cut sheet for approval and warrantee	Paint 1x trim board to match siding
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STAIR-01	Steel Stair	Gy GC/Sub	GC to provide shop drawings for approval. Powder Coat finish	36" wide stair, 12" channel stringer rolled to spec., 1.25" posts, 1/2" square vertical pickets, molded steel cap rail.	AWNING-01	BESPOKE STEEL AWNING	By GC/Sub - provide shop drawings for final approval	Paint to match trim color	36"x18"x1" PLT.STL., prime and paint w/oil based exterior epoxy, final color to be determined, match color to door paint color
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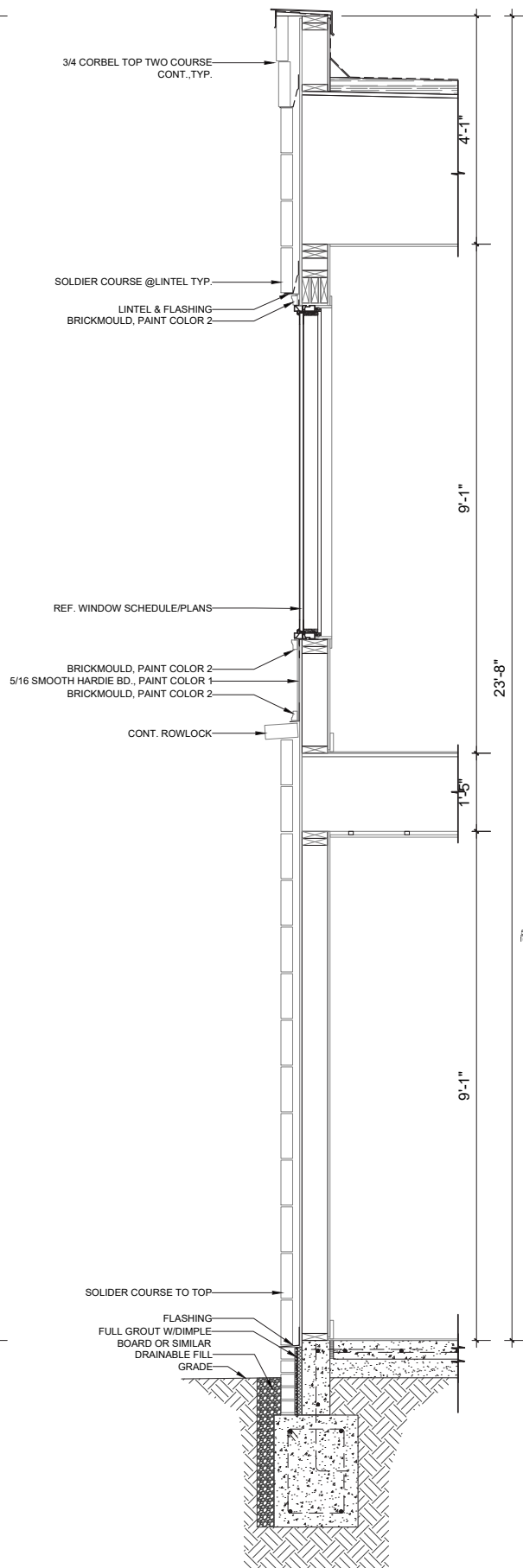


BUILDING B WEST ELEVATION

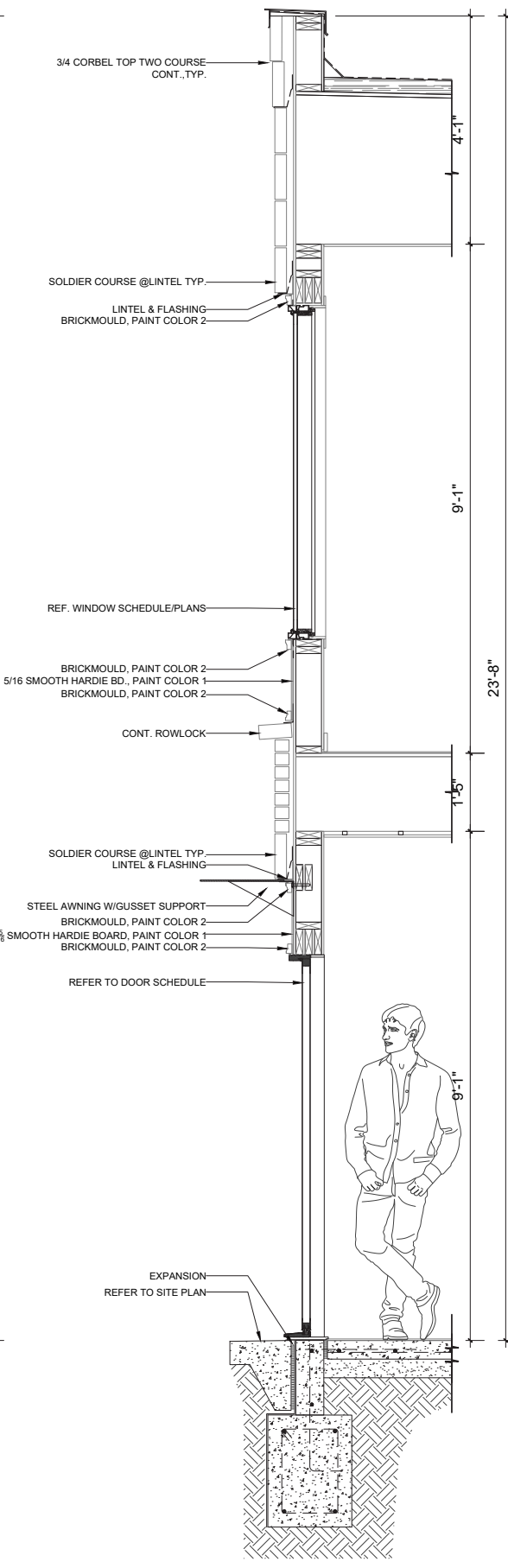
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TRIM-01	1x4 trim board	By GC/Sub	Paint, Color TBD	Typical trim at doors and corners, fiber cement siding only					
TRIM-02	1x3 trim board	By GC/Sub	Paint, Color TBD	Typical trim at windows set in fiber cement siding					
CAP-01	Break metal cap flashing, 4" visible exposure w/1" drip edge	By GC/Sub	Pre-finished, dark bronze, final color to be approved. Size and shape to be provided by architect	Cut corners @45° and fold to overlap typ., final details to be provided					



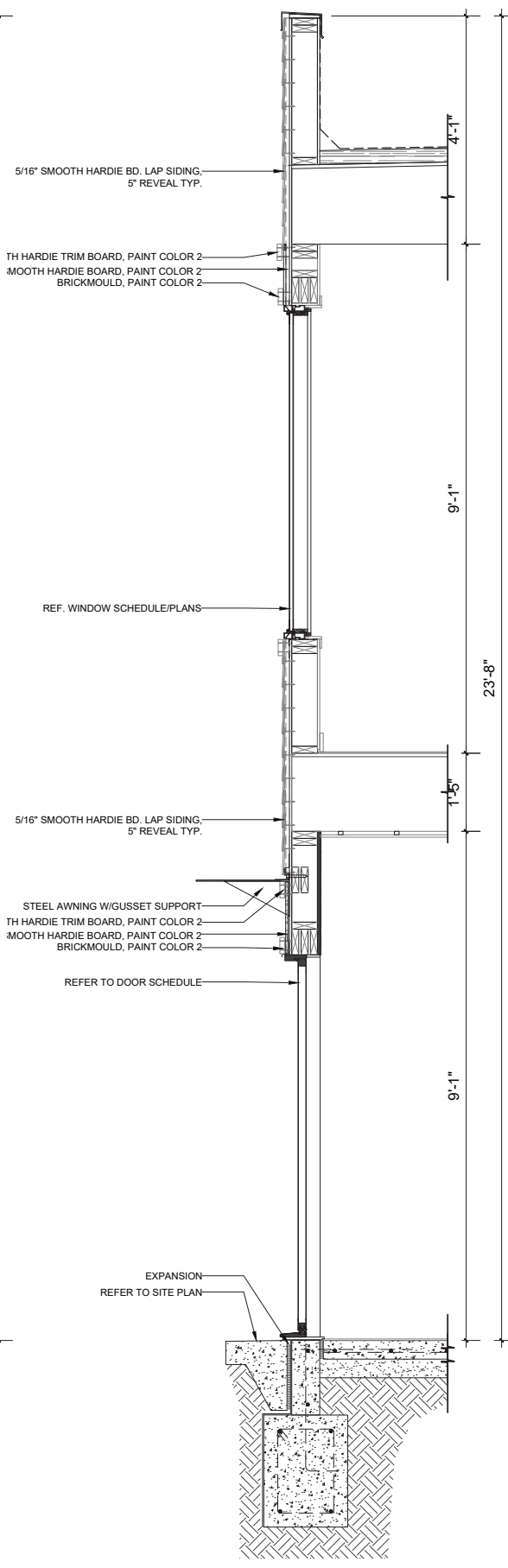
1/A302



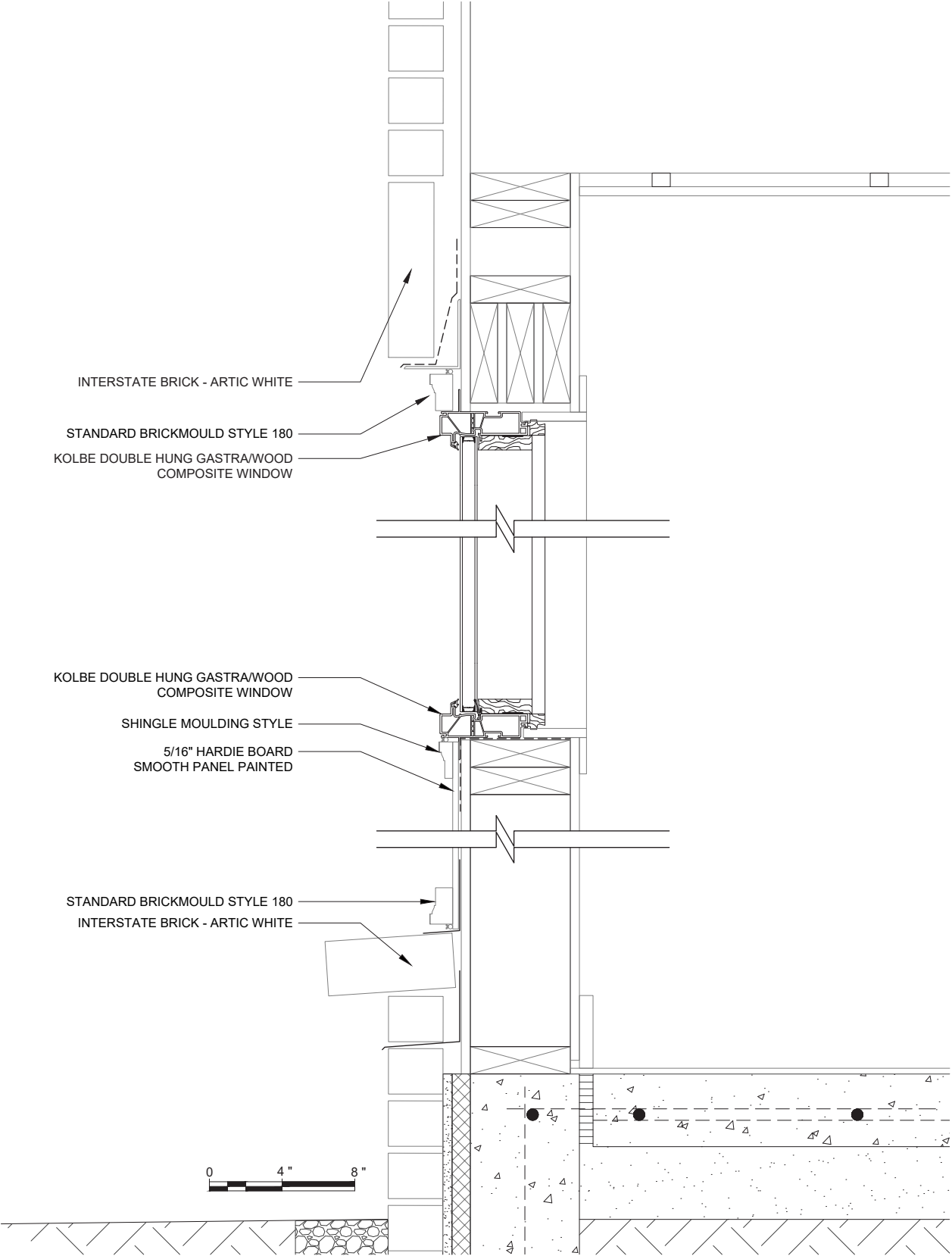
2/A302



3/A302



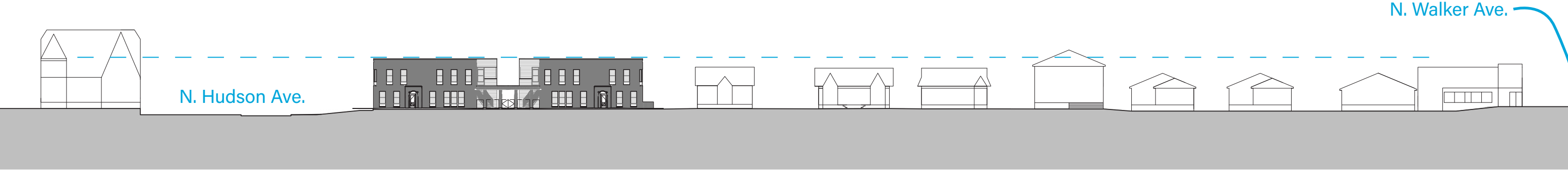
4/A302



WINDOW SECTION



BUILDING HEIGHT COMPARISON (PROPERTY) - 1/16"=1'-0" WITH SINGLE ADJACENT PROPERTY TO WEST



BUILDING HEIGHT COMPARISON (BLOCK) - ELEVATIONS ALONG NW 30TH STREET - NTS