

APPROVED

5-21-2024

BY THE CITY COUNCIL
Amy K. Simpson CITY CLERK

THE CITY OF OKLAHOMA CITY
SIMPLIFIED PLANNED UNIT DEVELOPMENT
SPUD-1598
MASTER DESIGN STATEMENT
Village Place

PREPARED FOR THE APPLICANT:

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PO Box 890309
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Revised February 15, 2024
Revised March 21, 2024
Revised March 22, 2024

PREPARED BY:
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SPUD-1598 MASTER DESIGN STATEMENT

This document serves as the Master Design Statement and fulfills the ordinance requirements for the Simplified Planned Unit Development (Chapter 59, Section 14150.B of the Oklahoma City Municipal Code, 2020, as amended).

I. Special Development Regulations:

1. This site will be developed in accordance with the regulations of the **R-4 General Residential District** (OKC Zoning Ordinance, 2020, as amended), but at a maximum density of 24 dwelling units per acre and allowing for 35% overall open space, except that the following restrictions will apply:

The following uses will be the only uses permitted on this site:

- Single-Family Residential (8200.14)
- Three- and Four-Family Residential (8200.15)
- Two-Family Residential (8200.16)
- Multiple-Family Residential (8200.1)
- Community Recreation: Property Owners Association (8250.3)
- Community Garden (8150.6.1)
- Automotive Parking Lots as a Principal Use (8300.13), limited to one lot located on SW 88th Terrace, and/or within the proposed cul-de-sac, with necessary approvals

2. **Maximum Building Height:** 40 feet and 3 stories.

3. **Maximum Building Size:**

Per base zoning district, and each lot is permitted a maximum of 80% coverage.

4. **Minimum Lot Size:** For one-family detached uses, the minimum lot size will be 3,200 square feet; and for two - through four-family attached uses, the minimum lot size shall be 4,800 square feet. For all other uses, the minimum lot size shall be 6,600 square feet.

5. **Minimum Lot Width:** For two- through four-family attached uses, the minimum lot size width shall be 60 feet. For single family detached, the minimum lot width shall be 40'; all other uses, the minimum lot width shall be 90 feet.

6. **Maximum Number of Buildings:** One per lot.

7. **Building Setback Lines**

Front Yard:	15', Except that a driveway shall be no less than 18 feet from the back of the sidewalk.
Rear Yard:	10'
Side Yard:	5', or 3' where allowed by current adopted building code.

Corner Side Yard abutting Klein: 5'

8. Sight-proof Screening:

Sight-proof screening is not required. If screening is installed, it shall be per Code.

9. Landscaping:

A 10-foot-wide landscaping buffer will be provided along the east boundary of the PUD, such that a form of evergreen tree will be planted on 20-foot centers along that eastern boundary. Other than that, the individual parcels shall meet all requirements of the City of Oklahoma City's Landscaping Ordinance in place at the time of development.

10. Signs:

10.1 Free standing accessory signs: Per the sign regulations in place at the time of development.

10.2 Attached signs: Per the sign regulations in place at the time of development.

10.3 Non-Accessory Signs: Not allowed.

10.4 Electronic Message Display signs: Not allowed.

11. Access: Access to the SPUD site may be from S.W. 88th Street, proposed SW 88th Terrace, or Klein Avenue. Access to individual lots is per Code, except that quadplex development will be allowed up to two driveways per lot and development with more than four dwelling units will be allowed a maximum of three driveways per lot. All driveways shall be a maximum 18 feet wide. Maneuvering in the right-of-way is allowed from common areas.

12. Sidewalks: A sidewalk will be provided along all streets. An off-site sidewalk may be constructed from the east edge of the development to Western Avenue along SW 88th, in order to facilitate access to the nearest public transit stop, pending necessary approvals.

II. Other Development Regulations:

1. Architecture: Exterior building wall finish on all main structures, exclusive of windows and doors, shall consist of a minimum 70% brick veneer, rock or stone masonry, architectural metal, stucco, and cementitious siding (including, but not limited to, the brand commonly known as James Hardie). No more than 30% EIFS (Exterior Insulation Finish System) shall be permitted.

2. Open Space: The minimum open space within this SPUD shall be 35%.

3. Street Improvements: The design and improvement of the streets in this SPUD shall be in accordance with applicable Oklahoma City Municipal Codes. Klein Avenue shall be improved per City standards from the existing SW 88th Street pavement to the platted SW 87th Street Right-of-Way.

4. Site Lighting: The subject parcel shall meet all requirements of the City of Oklahoma City's applicable Ordinances in place at the time of development.

5. **Dumpsters:** Trash collection facilities in this SPUD shall be in accordance with Chapter 49 of the Oklahoma City Municipal Code, 2020, as amended. Dumpsters shall be screened and be at least 20' from any residential structure. A dumpster shall be no further than 350' from any dwelling unit entry, via a public route.
6. **Parking:** The design and number of all parking facilities in this SPUD shall be in accordance with Chapter 59 Article X of the Oklahoma City Municipal Code, 2020, as amended, except that there shall be a minimum of 1.25 parking spaces per dwelling unit; no parking reductions shall be allowed.

Attached or detached garages shall count toward meeting parking requirements, provided each parking space in a garage shall be a minimum of 8½ feet by 18 feet. Maneuvering in the right-of-way shall be allowed within this SPUD to access on-street angled parking spaces. Establishment of angled parking spaces is subject to obtaining necessary approvals, including from Traffic & Transportation Commission and City Council, as required. All on- and off-street parking spaces shall conform to minimum size standards outlined in Tables V and VI, §59-10600 of the Oklahoma City Municipal Code. On-street parking shall not infringe upon Fire Department access requirements.

7. **Maintenance:**

Maintenance of the common areas in the development shall be the responsibility of the property owner or Property Owners Association. No structures, storage of material, grading, fill, or other obstructions, including fences, either temporary or permanent, that shall cause a blockage of flow or an adverse effect on the functioning of the storm water facility, shall be placed within the common areas intended for the use of conveyance of storm water, and/or drainage easements shown. Certain amenities such as, but not limited to, walks, benches, piers, and docks, shall be permitted if installed in a manner to meet the requirements specified above.

8. **Drainage:** Development of this parcel will comply with Chapter 16 of the Oklahoma City Municipal Code, 2020, as amended.

III. **Supporting Documents**

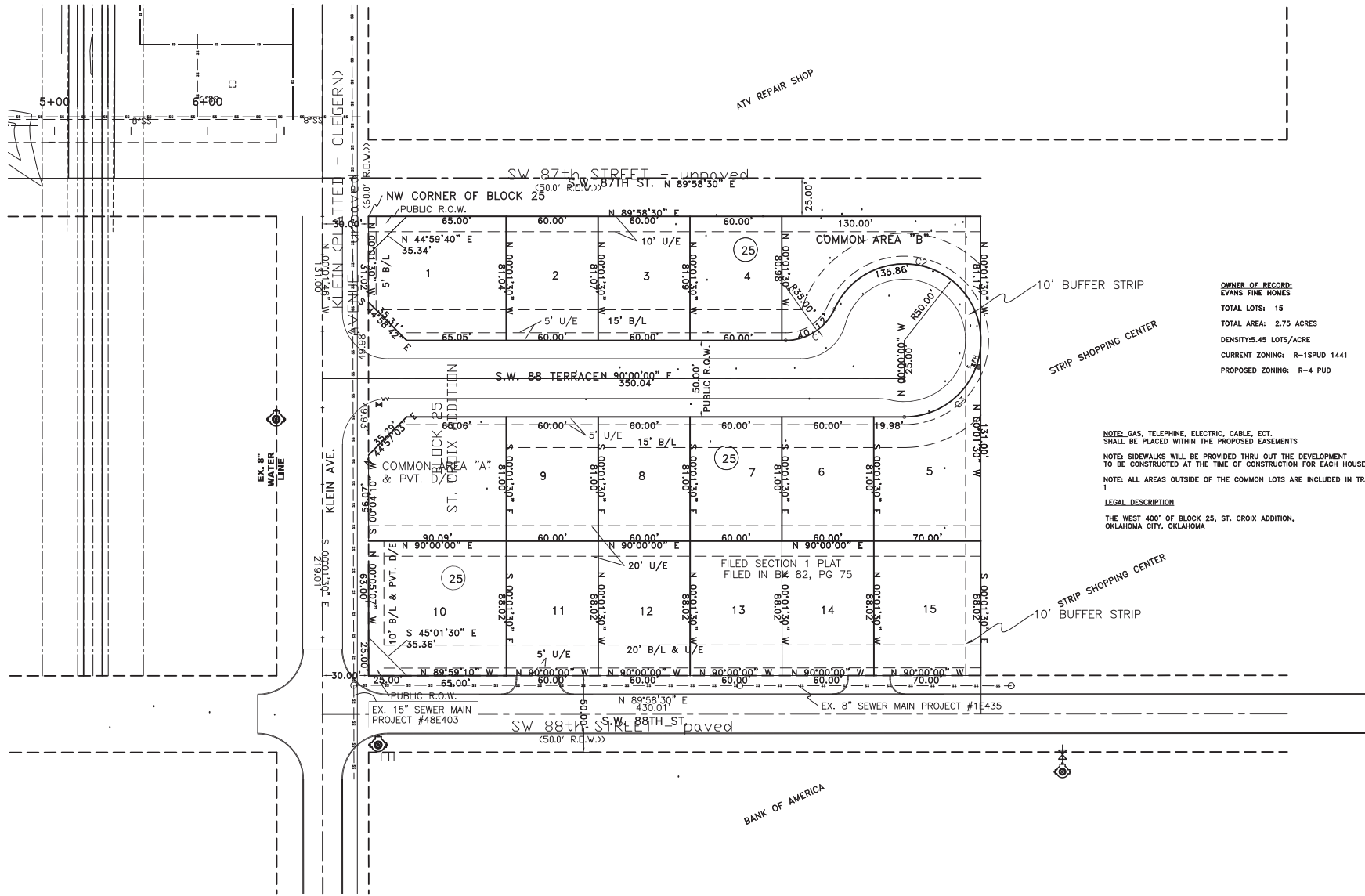
Exhibit A: Legal Description

Exhibit B: Master Development Plan Map

SPUD-1598 Exhibit A – Legal Description

The west 400 feet of Block Twenty-Five (25) in ST CROIX ADDITION to Oklahoma City, Oklahoma County, Oklahoma (inclusive of all of VILLAGE PLACE TOWNHOMES SECTION ONE (1))

SPUD-1598 Exhibit B



OWNER OF RECORD:
EVANS FINE HOMES
TOTAL LOTS: 15
TOTAL AREA: 2.75 ACRES
DENSITY: 5.45 LOTS/ACRE
CURRENT ZONING: R-1SPUD 1441
PROPOSED ZONING: R-4 PUD

NOTE: GAS, TELEPHONE, ELECTRIC, CABLE, ECT.
SHALL BE PLACED WITHIN THE PROPOSED EASEMENTS
NOTE: SIDEWALKS WILL BE PROVIDED THRU OUT THE DEVELOPMENT
TO BE CONSTRUCTED AT THE TIME OF CONSTRUCTION FOR EACH HOUSE.
NOTE: ALL AREAS OUTSIDE OF THE COMMON LOTS ARE INCLUDED IN TRACT
1
LEGAL DESCRIPTION
THE WEST 400' OF BLOCK 25, ST. CROIX ADDITION,
OKLAHOMA CITY, OKLAHOMA

CITY OF
OKLAHOMA
CITY



- LEGEND
- SANITARY SEWER LINE
 - WATER LINE
 - OVERHEAD ELECTRIC
 - EXISTING GAS SERVICE
 - SANITARY SEWER MANHOLE
 - STORM SEWER MANHOLE
 - POWER POLE
 - GUY ANCHOR
 - LIGHT POLE
 - FIRE HYDRANT
 - WATER VALVE
 - WATER METER
 - GAS VALVE
 - GAS METER
 - ELECTRIC METER
 - TELEPHONE PEDESTAL
 - MONITOR WELL
 - SIGN
 - TRAFFIC SIGNAL POLE
 - TRAFFIC SIGNAL BOX
 - FENCE
 - SET BACK (IN)
 - FOUND MON (IN)
 - BENCHMARK

MASTER DEVELOPMENT PLAN
TO SERVE
VILLAGE PLACE
A PART OF THE SE/4, SEC. 32, T.11N, R.3W, L.M.
CITY OF OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA

MORRIS
ENGINEERS & ARCHITECTS

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P.E. EXP. 6-28-22
DATE: 6-28-22
DRAWN BY: [Signature]
MASTER DEVELOPMENT PLAN
TO SERVE
VILLAGE PLACE

SCALE: 1"=50'
SHEET NO. 1 OF 1