



# The City of OKLAHOMA CITY

## HISTORIC DISTRICT AND HISTORIC LANDMARK CERTIFICATE OF APPROPRIATENESS HPCA-24-00114

**Owner:** Emily Nixon  
420 NW 17th Street  
Oklahoma City, OK 73103

**Representative:** ESI Deign and Develop LLC  
Jarvis Taylor  
7601 NW 21st Street  
Bethany, OK 73008

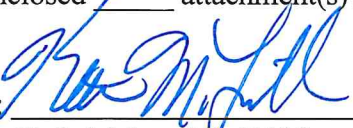
On HPCA-24-00114, Planning Department staff received your request for a Historic Preservation Certificate of Appropriateness for the property located at **420 NW 17<sup>th</sup> Street**.

In accordance with the §59-4250.4.J of the City of Oklahoma City Municipal Code, also known as the Historic Preservation Ordinance, Planning Department staff has reviewed in detail the application and determined that the following items are in conformance with the provisions of the Historic Preservation Ordinance and Design and Sustainability Standards and Guidelines for Oklahoma City Historic Districts:

**1) Replace roof and part of roof structure (elective); 2) Replace fascia, soffit and moulding (elective); and 4) Replace concrete porch and steps (elective). 4) Replace concrete porch and steps (elective).**

Approved: October 15, 2024  
Effective: October 30, 2024  
Expiration: October 30, 2025

The enclosed \_\_\_\_\_ attachment(s) must remain attached for this document to be valid.

Attest:   
Katie McLaughlin Friddle,  
Historic Preservation Officer  
City of Oklahoma City, Planning Department

**Please contact the Planning Department (405/297-1831) for final inspection of your design review project upon completion.**

*Your project may require a permit. Please check with the Plan Review section of the Development Services Department, 8th Floor, 420 W Main St (405/297-2525), for details. To obtain a permit, please submit the Certificate of Approval with the original attachments stamped "approved." Please contact the Planning Department (405/297-1831) for inspection of your design review project upon completion.*



The City of  
**OKLAHOMA CITY**

Staff Only:

Date Stamp

Zoning: HP or HL

District:

HPCA- 2A-00114

Received by: [Signature]

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

NOTE: any relevant permits must be applied for and paid for separately in the Development Services Dept.

NOTE: Contact Historic Preservation Staff for final design inspection when work is complete.

Please select: ☒ New Project ☐ Revision ☐ Extension ☐ Violation Notice Issued

Location of Proposed Work (Address): 420 NW 17th St. OKC, OK 73103

Legal Description of Property (lot, block, addition): Winans Highland Terr Dole 004 W 75Ft.

Year built: 1919 Exterior wall material: Brick, stucco, wood Floor area: 3012 sq.ft.

Itemized Work Items (List EACH ITEM proposed. Work not listed here will NOT be reviewed):

☐ New Construction ☐ Addition ☐ Fence ☐ Demolition (specify structure) \_\_\_\_\_

☐ Paving (specify) \_\_\_\_\_

☒ Renovation (specify) \_\_\_\_\_

☐ Work not specified above \_\_\_\_\_

Replace roof and part of roof structure with no visible change to the exterior.

Replace fascia, soffit, and moulding with no visible change to exterior and

Owner's Authorization using materials that match the historic materials. Cont'd →

I hereby certify that all above statements and statements contained in all attached and transmitted exhibits are true to the best of my knowledge and belief. In the event this proposal is approved and begun, I agree to complete the changes in accordance with approved plans in a good and workmanlike manner. I authorize the City of Oklahoma City to enter the property for the purpose of observing and photographing the project for presentations and to ensure consistency between the approved proposal and the completed project.

☐ (If applicable): I authorize my representative to speak for me in matters regarding this application. Any agreement made by my representative regarding this proposal will be binding upon me.

Owner's Signature

Date

Name (printed)

Emily Nixon

Organization

Address

420 NW 17th St.

Phone

580-399-4921

City, State, Zip

OKC, OK 73103

Email

EmilyIn89@gmail.com

I prefer to be:

☐ Mailed or ☐ Emailed.

Representative Signature

Date

Name (printed)

Address

City, State, Zip

I prefer to be:

☐ Mailed or ☐ Emailed.

Contact: ☐ Owner ☐ Representative

Is Federal money, a federal license or a federal permit included/required for any part of this project? Yes ☒ No ☐

If yes, what Federal agency? \_\_\_\_\_

Is the property owner pursuing the Federal Tax Credits for Rehabilitation of income producing historic properties? Yes ☒ No ☐ (For questions concerning the federal tax credit program, telephone the State Historic Preservation Office at (405) 522-4479).

NOTE: Specific deadlines apply to submission of additional documentation or requests for appeals. Should your project be continued or denied, you are responsible for compliance with those deadlines.





The City of  
OKLAHOMA CITY

Staff Only:	Date Stamp
Zoning: <u>HP or HL</u>	
District: <u>HN</u>	
HPCA- <u>24-00114</u>	
Received by: <u>[Signature]</u>	<u>10/10/24</u>

#### APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

NOTE: any relevant permits must be applied for and paid for separately in the Development Services Dept.  
NOTE: Contact Historic Preservation Staff for final design inspection when work is complete.

Please select: ☒ New Project ☐ Revision ☐ Extension ☐ Violation Notice Issued  
Location of Proposed Work (Address): 420 N.W. 17<sup>th</sup> St. OKC, OK 73103  
Legal Description of Property (lot, block, addition): Winans Highland Terr 006 004 W 75 FT  
Year built: 1919 Exterior wall material: Brick, stucco, wood Floor area: 3012 sq.ft.  
Itemized Work Items (List EACH ITEM proposed. Work not listed here will NOT be reviewed):

☐ New Construction ☐ Addition ☐ Fence ☐ Demolition (specify structure) \_\_\_\_\_  
☐ Paving (specify) \_\_\_\_\_ ☒ Renovation (specify) Replacing roof, soffit, fascia associated exterior trim, and painting exterior.  
☐ Work not specified above \_\_\_\_\_

#### Owner's Authorization

I hereby certify that all above statements and statements contained in all attached and transmitted exhibits are true to the best of my knowledge and belief. In the event this proposal is approved and begun, I agree to complete the changes in accordance with approved plans in a good and workmanlike manner. I authorize the City of Oklahoma City to enter the property for the purpose of observing and photographing the project for presentations and to ensure consistency between the approved proposal and the completed project.

☐ (If applicable): I authorize my representative to speak for me in matters regarding this application. Any agreement made by my representative regarding this proposal will be binding upon me.

Owner's Signature [Signature] Date \_\_\_\_\_  
Name (printed) \_\_\_\_\_ Organization \_\_\_\_\_  
Address \_\_\_\_\_ Phone \_\_\_\_\_  
City, State, Zip \_\_\_\_\_ Email \_\_\_\_\_  
I prefer to be: ☐ Mailed or ☐ Emailed.  
Representative Signature [Signature] Date 9/25/24  
Name (printed) Jarvis Taylor Organization ESI Design and Develop LLC  
Address 7601 NW 21st St. Phone 405-837-3220  
City, State, Zip Bethany, OK 73008 Email ESIDOK@Gmail.com  
I prefer to be: ☐ Mailed or ☒ Emailed.  
Contact: ☐ Owner ☒ Representative

Is Federal money, a federal license or a federal permit included/required for any part of this project? Yes ☒ No

If yes, what Federal agency? \_\_\_\_\_

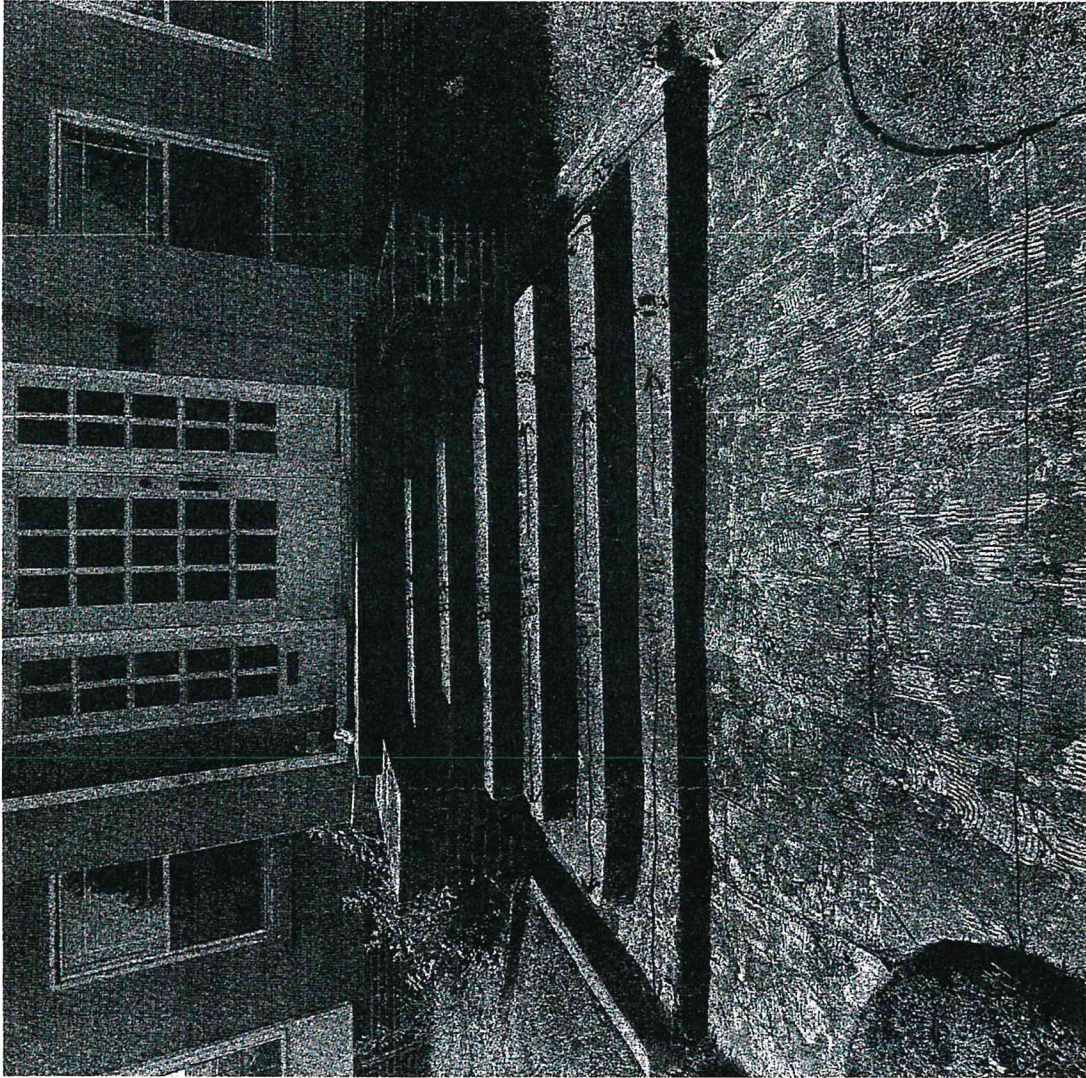
Is the property owner pursuing the Federal Tax Credits for Rehabilitation of income producing historic properties? Yes ☒ No ☐ (For questions concerning the federal tax credit program, telephone the State Historic Preservation Office at (405) 522-4479).

NOTE: Specific deadlines apply to submission of additional documentation or requests for appeals. Should your project be continued or denied, you are responsible for compliance with those deadlines.

**Certificate of Appropriateness**

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Notes: \_\_\_\_\_  
By: [Signature]





All of the steps are 6 1/2" tall. (rise)

**Certificate of Appropriateness**  
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Notes: \_\_\_\_\_  
By: [Signature]



SCOPE OF WORK: 420 NW 17th St. Okc, OK 73103  
FASCIA, SOFFIT, AND MOULDING REPLACEMENT

Date: 9/25/2024

This scope of work is for replacing fascia, soffits, and shingle moulding due to rot and general age of existing structure, and the replacement of the roof.

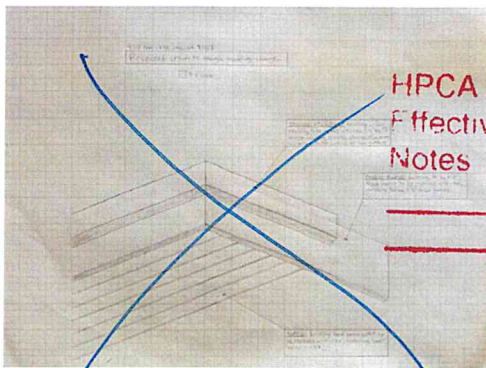
- 1) Fascia: Replace existing  $\frac{3}{4}$ " by 7  $\frac{1}{2}$ " fascia boards with new, matching  $\frac{3}{4}$ " by 7  $\frac{1}{2}$ " fascia boards.
- 2) Soffit: Replace existing bead board soffits with new, matching bead board soffits. *Tongue & groove*
- 3) Shingle Moulding: Replace existing crown-moulding type shingle moulding with new 1  $\frac{1}{2}$ " by 3  $\frac{1}{2}$ " shingle moulding to match other existing eaves to create a suitable surface for new gutters.
- 4) Roof: Replace shingle roof with new shingles, synthetic underlayment, and ice and water shield, and install new 7/16" OSB decking to bring up to code.



Existing, rotted eaves. Picture shows existing crown moulding that is incompatible with the installation of new gutters.

*No Visible change to exterior. Does NOT include new gutters.*

*Soffit: Tongue & groove required*



HPCA -  
Effective  
Notes

**Certificate of Appropriateness**

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By: [Signature]

Proposed change for the crown moulding type shingle moulding to 1  $\frac{1}{2}$ " by 3  $\frac{1}{2}$ " flat shingle moulding that would match other existing eaves on the home and create a suitable surface for mounting new gutters. To add, the styling on the front of the gutters would be similar to the styling on the front of the existing crown moulding.

- 4) Shingles, synthetic underlayment, ice and water shield, and roof decking.

## Timberline HDZ®

GAF's #1 selling - shingle. High Definition® color blends backed by strong warranties.

★★★★★ 4.8 (18787) [WRITE A REVIEW](#)

[Find a Contractor](#)



## TPO Roofing Membranes

TPO (thermoplastic polyolefin) offers proven performance at great value.

**FeltBuster®**  
**Synthetic Roofing Felt**

Help protect your home and roof system from damaging moisture with roof deck protection

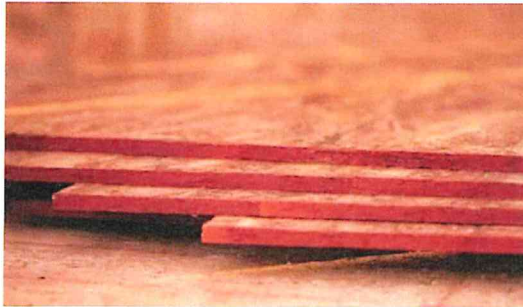
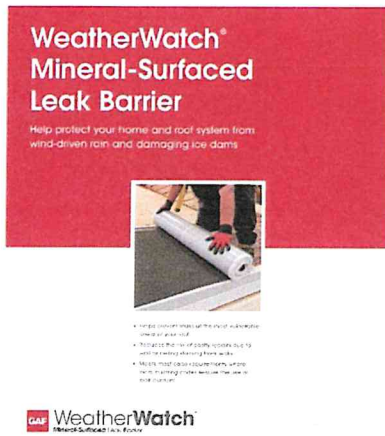
- Provides an extra layer of extra protection between roof shingles and the roof deck to resist water penetration from underneath that can cause damage to other roof structure.
- It provides long-lasting protection over conventional asphalt felt that can tear, disintegrate and leak.
- Avoid water absorption that can lead to soggy decking, mold, rot, and other issues.

**GAF FeltBuster®**  
Synthetic Roofing Felt

**Certificate of Appropriateness**

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Notes: \_\_\_\_\_  
By: [Signature]

SCOPE OF WORK: 420 NW 17th St. Okc, OK 73103  
FASCIA, SOFFIT, AND MOULDING REPLACEMENT



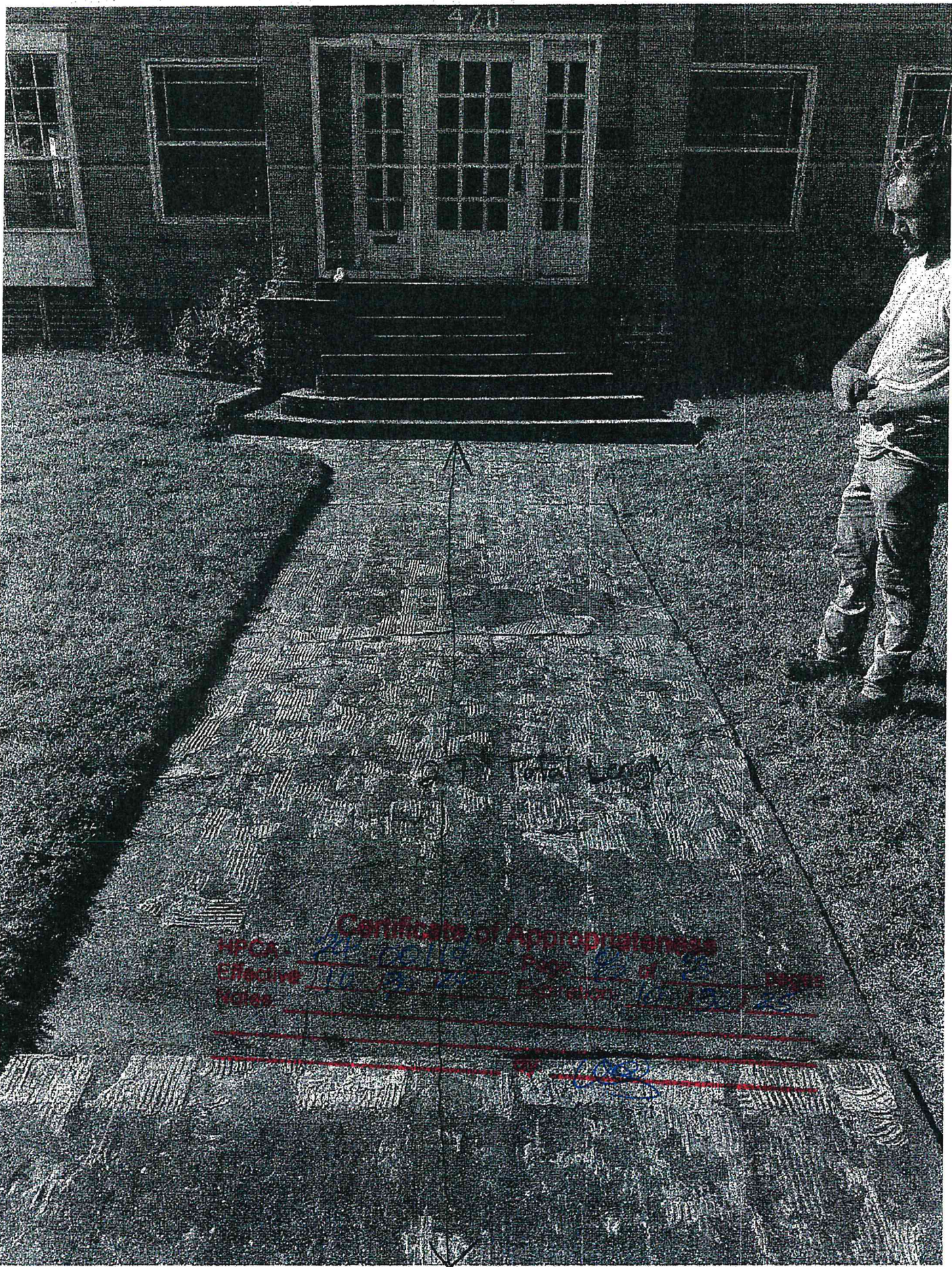
**Certificate of Appropriateness**

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Notes: \_\_\_\_\_

By: [Signature]



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**Certificate of Appropriateness**

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Notes \_\_\_\_\_

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