

APPROVED

8-15-2023

BY THE CITY COUNCIL
Amy H. Simpson CITY CLERK

**THE CITY
OF OKLAHOMA CITY**

SIMPLIFIED PLANNED UNIT DEVELOPMENT

SPUD-1534

MASTER DESIGN STATEMENT

May 31, 2023

June 27, 2023

PREPARED BY:

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SPUD-1534 MASTER DESIGN STATEMENT

This document serves as the Master Design Statement and fulfills the ordinance requirements for the Simplified Planned Unit Development (Chapter 59, Section 14150.B of the Oklahoma City Municipal Code, 2020, as amended).

I. Special Development Regulations:

The following Special Development Regulations and/or limitations are placed upon the development of the Simplified Planned Unit Development. Planning and zoning regulations will be those that are in effect at the time of development of this Simplified Planned Unit Development; provided, however, that the density and or intensity of the SPUD shall not be increased. Development is when a permit is issued for any construction or addition to any structure on a development tract. Certain zoning districts are referred to as a part of the Special Development Regulations of this Simplified Planned Unit Development. For purposes of interpretation of these Special Development Regulations, the operative and controlling language and regulations of such zoning districts shall be the language and regulations applicable to the referenced zoning districts as contained in the City of Oklahoma City's Planning and Zoning Code as such exists at the time of development of this Simplified Planned Unit Development. In the event of conflict between provisions of this SPUD and any of the provisions of the Oklahoma City Municipal Code, as amended ("Code"), in effect at the time a permit is applied for with respect to any lot, block, tract and/or parcel of land subject to this SPUD, the provisions of the Code shall prevail and be controlling; provided however, that in the event of a conflict between the Special Use and Development Regulations specifically negotiated as a part of this SPUD and the provisions of the Code in effect at the time a permit is applied for with respect to any lot, block, tract and/or parcel of land subject to this SPUD, such Special Use and Development Regulations of this SPUD shall prevail and be controlling.

1. This site will be developed in accordance with the regulation of the **R-1 Single-Family Residential District** (OKC Zoning Ordinance, 2020, as amended), except that the following restrictions will apply:

The following use(s) will be the only use(s) permitted on this site:

Single-Family Residential

2. **Maximum Building Height:** 1 story and 24-feet
3. **Maximum Building Size:** 2000 square feet
4. **Minimum Lot Size:** 4,800 square feet
5. **Maximum Number of Dwellings:** One

6. Building Setback Lines:

Front Yard: 5 ft

Rear Yard: 5 ft

Side Yard: 5 ft

7. Sight-proof Screening: Per the base zoning.

8. Landscaping: The subject parcel shall meet all requirements of the City of Oklahoma City's Landscaping Ordinance in place at the time of development.

9. Signs: N/A

10. Access: Access to the SPUD may be taken from the shared driveway on the south. In the event shared access is not possible, a maximum of one new driveway up to 18 feet wide is allowed on North Kelham Avenue.

11. Sidewalks: No new sidewalks shall be required.

II. Other Development Regulations:

1. Architecture: Exterior building wall finish on all structures, exclusive of windows and doors, shall consist of a minimum 70% brick veneer, rock, architectural metal, stucco or stone masonry. No more than 30% EIFS, stucco, wood or concrete-board shall be permitted. Exposed concrete block buildings shall not be permitted.

2. Open Space: Per the base zoning district.

3. Street Improvements: N/A

4. Site Lighting: The site lighting in this SPUD shall be in accordance with Chapter 59, Article XII, Section 59-12350 of the Oklahoma City Municipal Code, 2020, as amended.

5. Dumpsters: All trash containers provided by the City of Oklahoma City are to be serviced from NE 11th Street or N. Kelham Avenue. Dumpsters shall not be allowed.

6. **Parking:** Attached or detached garages shall count toward meeting parking requirements, provided each parking space in a garage shall be a minimum of 8½ feet by 18 feet. This provision includes covered/carport spaces. Adjacent drive right-of-way and garages may be counted toward meeting parking and maneuvering requirements.
7. **Drainage:** Shall be in accordance with Chapter 16, of the Oklahoma City Municipal Code, 2020, as amended.

III. Supporting Documents

Exhibit A: Legal Description
Exhibit B: Site Plan

EXHIBIT A

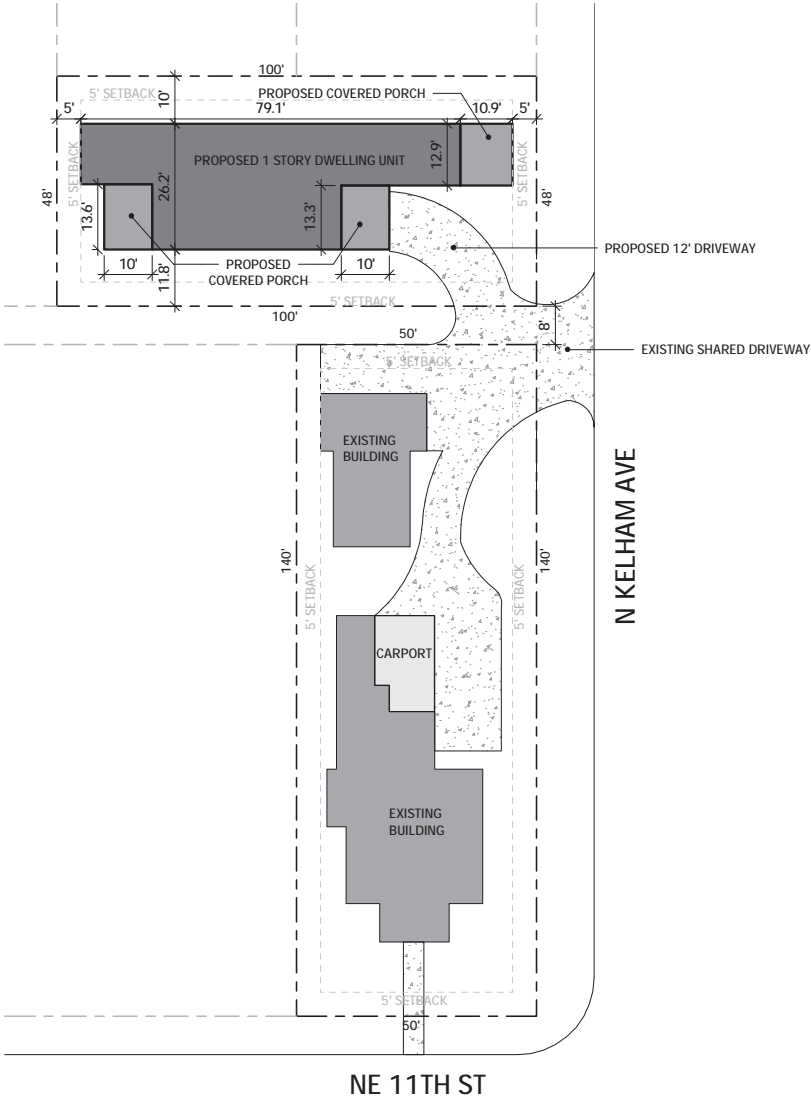
SPUD-1534

1213 N Kelham Ave OKC, OK 73117

Full Legal Description:

BATH ORCHARD ADD 006 000 S40FT LOTS 1 THRU 4 & N8FT VAC E&W ALLEY ADJ S OF LOTS

EXHIBIT B



REVISION DATE

PROJECT:
1213 N Kelham
Ave, Oklahoma City,
OK 73117

SITE PLAN

SCALE: 1" = 20'-0"



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