



The City of Oklahoma City
Planning Department, Subdivision and Zoning
 420 West Main Street, Suite 910, Oklahoma City, Oklahoma, 73102
 Phone: (405) 297-2623 – Web: <https://www.okc.gov>

APPLICATION FOR SPUD ReZONING

Simplified Planned Unit Development District
10-Unit Affordable Housing - Collective Strategies

Project Name

400 SE 27th St, OKC, 73129

Address / Location of Property (Provide County name & parcel no. if unknown)

Affordable Housing Development

Summary Purpose Statement / Proposed Development

| | |
|------------------|--|
| Staff Use Only: | 1646 |
| Case No.: SPUD | _____ |
| File Date: | 6-12-24 |
| Ward No.: | W4 |
| Nbhd. Assoc.: | SE OKC Community Watch, Shidler Wheeler |
| School District: | OKC |
| Extg Zoning: | R-2 |
| Overlay: | MH |

14,000 sqft

ReZoning Area (Acres or Square Feet)

REQUIREMENTS FOR SUBMITTAL:

- 1.) One (1) Typed Legal Description of Proposed Rezoning area in MS Word file (.doc or .docx) format.
- 2.) One (1) copy of Recorded Deed(s), with Exhibit(s), listing current Property Owner in .pdf format.
- 3.) One (1) copy of Letter of Authorization from Property Owner listing Designated Representative if Applicant is not the Property Owner of record.
- 4.) One (1) copy of Property Owners Report listing all property owners who own property within a 300-foot buffer area of the property to be rezoned. The list **MUST** include the mailing address and the legal description of their property and **MUST** be current to within 30 days of the date of submittal of the application. A minimum of 10 separate individual property owners is required. If there are less than 10 individual owners within the 300-foot buffer, the radius must be extended by increments of 100 feet until the list contains no less than 10 owners. Provide One (1) PDF (.pdf) file version, AND one (1) MS Excel (.xls or .xlsx) file version.
- 5.) One (1) Signed and Notarized copy of “Affirmation” that the Property Owners Report listings are true and correct unless the list is prepared by a Certified Abstractor or County official.
- 6.) One (1) Typed Prepared copy of Proposed Master Design Statement in an MS Word file (.doc or .docx) file format.
- 7.) One (1) Proposed Master Development Plan Map in a PDF (.pdf) file format. Reference Submittal checklist for specific details.
- 8.) Maps, Site Plan, Survey Exhibits, Photographs, or other supporting illustrations must be 600dpi minimum resolution, and in a .pdf file format. Photographic file formats (.jpeg, .png, .tiff, etc..) of drawings, maps, or other documents will not be accepted.
- 9.) A filing fee of \$1800.00 must be remitted within One (1) business day of submittal confirmation. (Online payment available / preferred.) (Make check payable to “City Treasurer”)

Property Owner Information (if other than Applicant):

Collective Strategies LLC

Name

3308 S Durland Ave

Mailing Address

OKC, OK 73129

City, State, Zip Code

405-416-3126

Phone

singer.a.nick@gmail.com

Email

Signature of Applicant

Nicholas Singer owner/manager -Collective Strategies LLC

Applicant's Name (please print)

"

Applicant's Mailing Address

"

City, State, Zip Code

"

Phone

"

Email

Submit your Application by Email to Subdivisionandzoning@OKC.gov

Compressed files (.zip, etc..) or links to FileShare services (Dropbox, etc..) can not be accepted for security purposes.



**WARRANTY DEED
(Oklahoma Statutory Form)**

KNOW ALL MEN BY THESE PRESENTS:

THAT **Beatriz Reyna**, a single person party of the first part, in consideration of the sum of Ten And No/100 Dollars (\$10.00) and other valuable considerations to it in hand paid, the receipt of which is hereby acknowledged does hereby grant, bargain, sell and convey unto **Collective Strategies LLC**, an **Oklahoma limited liability company** party of the second part, the following described real property and premises situate in Oklahoma County, State of Oklahoma, to-wit:

For Tax Map ID(s): 093997710

Lots Thirteen (13) thru Sixteen (16), both inclusive, in Block Thirty (30), of SCHILLINGS ADDITION, Oklahoma County, Oklahoma, according to the recorded plat thereof.

Subject to easements, rights of way and restrictive covenants of record. Less and except all oil, gas and other minerals previously reserved or conveyed of record.

Together with all the improvements thereon and the appurtenances thereunto belonging, and warrant the title to the same.

TO HAVE AND TO HOLD said described premises unto the said parties of the second part, its successors, heirs and assigns, forever, free, clear and discharged of and from all former grants, charges, taxes, judgments, mortgages and other liens and encumbrances of whatsoever nature.

IN WITNESS WHEREOF, the undersigned have executed this document on the date(s) set forth below.

Signed and delivered September 18, 2023.

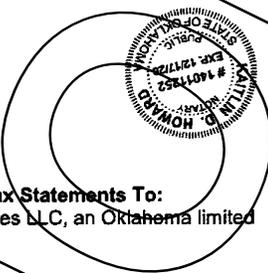
Beatriz Reyna

The State of OKLAHOMA
County of OKLAHOMA

INDIVIDUAL ACKNOWLEDGMENT

Before me, the undersigned, a Notary Public, in and for said County and State, on this 18 day of September, 2023, personally appeared **Beatriz Reyna**, a single person, to me known to be the identical person(s) who executed the within and foregoing instrument and acknowledged to me that (he/she/they) executed the same as (his/her/their) free and voluntary act and deed for the uses and purposes therein set forth.

Given under my hand and seal the day and year last above written.



Notary Public in and for the State of _____
Notary's Printed Name: _____
Notary's Commission Expires: _____

Mail Deed and Tax Statements To:
Collective Strategies LLC, an Oklahoma limited liability company
6032 Smith Blvd
Oklahoma City, OK 73129

Presented for filing by and return to:
Chicago Title Oklahoma Co.
3401 NW 63rd, Suite 300
Oklahoma City, OK 73116
File No.: 714052301411
Title Insurance Commitment, if any, issued by:
Chicago Title Insurance Company

Exhibit A: Legal Description: SCHILLINGS ADDITION 030 000 LOTS 13 THRU 16

AFFIRMATION

STATE OF OKLAHOMA)
) §
COUNTY OF OKLAHOMA)

I affirm that the ownership list submitted as a part of this application contains the names of all owners of record of property which are within 300 feet (or greater if required) of the property described in the attached exhibit.

Executed at Oklahoma City, Oklahoma, on the 12 day of June, 2024



[Handwritten Signature]

Applicant Signature

Subscribed and sworn to before me, a Notary Public, in and for the State of Oklahoma,
County of Oklahoma, on the 12 day of June, 2024.

My Commission Expires:

3/23/26

[Handwritten Signature]

Notary Public

Commission # 22004075

| name1 | mailingaddress1 | city | state | zipcode | block | lot | location |
|---|-----------------------------|---------------|-------|------------|-------|-----|---------------------------------|
| RODRIGUEZ BERNARDO | 322 SE 28TH ST | OKLAHOMA CITY | OK | 73129-1852 | 032 | 000 | 322 SE 28TH ST OKLAHOMA CITY |
| GASTON BILLY D | 1701 NE 48TH ST | OKLAHOMA CITY | OK | 73111-6203 | 032 | 000 | 324 SE 28TH ST OKLAHOMA CITY |
| RODRIGUEZ ZAPATA MARCIAL | 334 SE 28TH ST | OKLAHOMA CITY | OK | 73129-1852 | 032 | 000 | 334 SE 28TH ST OKLAHOMA CITY |
| GUYTON MONICA LYNN | 400 SE 28TH ST | OKLAHOMA CITY | OK | 73129-1854 | 031 | 000 | 400 SE 28TH ST OKLAHOMA CITY |
| E A PANDO INVESTMENTS LLC | 4720 S WESTERN AVE | OKLAHOMA CITY | OK | 73109 | 031 | 000 | 406 SE 28TH ST OKLAHOMA CITY |
| DOYLE ROBERT L & MARY | 408 SE 28TH ST | OKLAHOMA CITY | OK | 73129-1854 | 031 | 000 | 408 SE 28TH ST OKLAHOMA CITY |
| DOYLE ROBERT L | 408 SE 28TH ST | OKLAHOMA CITY | OK | 73129-1854 | 031 | 000 | 412 SE 28TH ST OKLAHOMA CITY |
| CROOKS DAWN RENA | 416 SE 28TH ST | OKLAHOMA CITY | OK | 73129-1854 | 031 | 000 | 416 SE 28TH ST OKLAHOMA CITY |
| RODRIGUEZ SONIA M | 420 SE 28TH ST | OKLAHOMA CITY | OK | 73129-1854 | 031 | 000 | 420 SE 28TH ST OKLAHOMA CITY |
| PANDO ROSA M & JESUS A | 305 SW 103RD ST | OKLAHOMA CITY | OK | 73139-9016 | 030 | 000 | 401 SE 28TH ST OKLAHOMA CITY |
| GOMEZ EFREN | 5218 S DOUGLAS AVE | OKLAHOMA CITY | OK | 73109-4113 | 029 | 000 | 317 SE 28TH ST OKLAHOMA CITY |
| HOWELL MARVIN G & LOIS SUE | 321 SE 28TH ST | OKLAHOMA CITY | OK | 73129-1851 | 029 | 000 | 319 SE 28TH ST OKLAHOMA CITY |
| HOWELL MARVIN G & LOIS S | 321 SE 28TH ST | OKLAHOMA CITY | OK | 73129-1851 | 029 | 000 | 321 SE 28TH ST OKLAHOMA CITY |
| HOWELL MARVIN G & LOIS S | 321 SE 28TH ST | OKLAHOMA CITY | OK | 73129-1851 | 029 | 032 | 0 UNKNOWN OKLAHOMA CITY |
| AVALOS GILBERTO & LIDIA TRS | 331 SE 28TH ST | OKLAHOMA CITY | OK | 73129-1851 | 029 | 000 | 331 SE 28TH ST OKLAHOMA CITY |
| AVALOS GILBERTO & LIDIA TRS | 331 SE 28TH ST | OKLAHOMA CITY | OK | 73129-1851 | 029 | 000 | 333 SE 28TH ST OKLAHOMA CITY |
| LERMA SENORINA | 2818 S STILES AVE | OKLAHOMA CITY | OK | 73129-1866 | 030 | 000 | 2818 S STILES AVE OKLAHOMA CITY |
| WARD JO ANN | 405 SE 28TH ST | OKLAHOMA CITY | OK | 73129-1853 | 030 | 000 | 405 SE 28TH ST OKLAHOMA CITY |
| MARTINEZ RAYMUNDO | 409 SE 28TH ST | OKLAHOMA CITY | OK | 73129 | 030 | 000 | 409 SE 28TH ST OKLAHOMA CITY |
| SANCHEZ GILBERTO CHIQUITO | 415 SE 28TH ST | OKLAHOMA CITY | OK | 73129-1853 | 030 | 000 | 415 SE 28TH ST OKLAHOMA CITY |
| BOLVIN JANA S & BYRON B | PO BOX 5582 | EDMOND | OK | 73083-5582 | 030 | 000 | 417 SE 28TH ST OKLAHOMA CITY |
| ORTIZ ALBERTINA | 102 NE 10TH ST | MOORE | OK | 73160-4706 | 030 | 000 | 421 SE 28TH ST OKLAHOMA CITY |
| LAZCANO NALLELY | 425 SE 28TH ST | OKLAHOMA CITY | OK | 73129-1853 | 030 | 000 | 425 SE 28TH ST OKLAHOMA CITY |
| GARCIA JOSE LUIS & DOLORES TUPIA | 429 SE 28TH ST | OKLAHOMA CITY | OK | 73129-1853 | 030 | 000 | 429 SE 28TH ST OKLAHOMA CITY |
| MARTINEZ MANUEL & ISABEL | 3233 S HIGH AVE | OKLAHOMA CITY | OK | 73129-5029 | 029 | 000 | 2809 S STILES AVE OKLAHOMA CITY |
| RAMIREZ RICARDO | 312 SE 27TH ST | OKLAHOMA CITY | OK | 73129-1828 | 029 | 000 | 312 SE 27TH ST OKLAHOMA CITY |
| RAMIREZ RICARDO | 312 SE 27TH ST | OKLAHOMA CITY | OK | 73129-1828 | 029 | 000 | 0 UNKNOWN OKLAHOMA CITY |
| RAMIREZ RICARDO | 312 SE 27TH ST | OKLAHOMA CITY | OK | 73129-1828 | 029 | 000 | 326 SE 27TH ST OKLAHOMA CITY |
| PERKINS JAMES A & E LOUISE | 328 SE 27TH ST | OKLAHOMA CITY | OK | 73129-1828 | 029 | 000 | 328 SE 27TH ST OKLAHOMA CITY |
| MARTINEZ MANUEL | 3233 S HIGH AVE | OKLAHOMA CITY | OK | 73129-5029 | 029 | 000 | 334 SE 27TH ST OKLAHOMA CITY |
| COLLECTIVE STRATEGIES LLC | 3308 S DURLAND AVE | OKLAHOMA CITY | OK | 73129 | 030 | 000 | 400 SE 27TH ST OKLAHOMA CITY |
| GUILLEN MAURISIA | 408 SE 27TH ST | OKLAHOMA CITY | OK | 73129-1830 | 030 | 000 | 408 SE 27TH ST OKLAHOMA CITY |
| WHITE OPERATING PROPERTY MANAGEMENT | 1627 SW 96TH ST | OKLAHOMA CITY | OK | 73159-7136 | 030 | 000 | 0 UNKNOWN OKLAHOMA CITY |
| GAYTAN JULIO | 416 SE 27TH ST | OKLAHOMA CITY | OK | 73129-1830 | 030 | 000 | 416 SE 27TH ST OKLAHOMA CITY |
| RIVER REMODELING LLC | 2400 SE 12TH ST | OKLAHOMA CITY | OK | 73129-8177 | 030 | 000 | 420 SE 27TH ST OKLAHOMA CITY |
| WHITE OPERATING PROPERTY MANAGEMENT LLC | 1627 SW 96TH ST | OKLAHOMA CITY | OK | 73159-7136 | 030 | 000 | 0 UNKNOWN OKLAHOMA CITY |
| ACOSTA JUAN RAUL ARENIVAR | 1516 MAGDALENA DR | OKLAHOMA CITY | OK | 73119 | 022 | 000 | 333 SE 27TH ST OKLAHOMA CITY |
| GARBAY PETRA | 8320 E FRANKLIN RD | NORMAN | OK | 73026 | 022 | 000 | 317 SE 27TH ST OKLAHOMA CITY |
| BECCERRA LANA G | 323 SE 27TH ST | OKLAHOMA CITY | OK | 73129-1827 | 022 | 000 | 323 SE 27TH ST OKLAHOMA CITY |
| HALBERT KIRK | 1212 SEQUOYAH CIR | MOORE | OK | 73160 | 022 | 000 | 325 SE 27TH ST OKLAHOMA CITY |
| RAMIREZ RICARDO F | 329 SE 27TH ST | OKLAHOMA CITY | OK | 73129 | 022 | 000 | 329 SE 27TH ST OKLAHOMA CITY |
| AGUINAGA EDUARDO | 9501 LAKE HICKORY DR | OKLAHOMA CITY | OK | 73165-9219 | 022 | 000 | 2713 S STILES AVE OKLAHOMA CITY |
| DRANNIK PROPERTIES LLC | 1149 E BROOKS ST | NORMAN | OK | 73071-3434 | 021 | 000 | 401 SE 27TH ST OKLAHOMA CITY |
| RAZO GENOVEVA VASQUEZ | 405 SE 27TH ST | OKLAHOMA CITY | OK | 73129 | 021 | 000 | 405 SE 27TH ST OKLAHOMA CITY |
| GAMEZ CONRADO LOPEZ | 409 SE 27TH ST | OKLAHOMA CITY | OK | 73129 | 021 | 000 | 409 SE 27TH ST OKLAHOMA CITY |
| IGLESIAS GUADALUPE | 415 SE 27TH ST | OKLAHOMA CITY | OK | 73129-1829 | 021 | 000 | 415 SE 27TH ST OKLAHOMA CITY |
| URBINA CRUZ | 417 SE 27TH ST | OKLAHOMA CITY | OK | 73129 | 021 | 000 | 417 SE 27TH ST OKLAHOMA CITY |
| URBINA CRUZ | 421 SE 27TH ST | OKLAHOMA CITY | OK | 73129 | 021 | 000 | 421 SE 27TH ST OKLAHOMA CITY |
| ENDLESS PROPERTY MANAGEMENT LLC | 2119 RIVERWALK DR, Unit 185 | OKLAHOMA CITY | OK | 73160 | 021 | 000 | 435 SE 27TH ST OKLAHOMA CITY |
| HOLLAND RAYMOND | 2711 S BYERS AVE | OKLAHOMA CITY | OK | 73129-1807 | 021 | 000 | 2711 S BYERS AVE OKLAHOMA CITY |
| REDDIRT LEASING LLC | 1573 SW 44TH ST | OKLAHOMA CITY | OK | 73119 | 022 | 000 | 324 SE 26TH ST OKLAHOMA CITY |
| CANCIO OFELIA O | 700 COOPERS HAWK DR | NORMAN | OK | 73072 | 022 | 000 | 330 SE 26TH ST OKLAHOMA CITY |
| R405J PROPERTIES LLC | 1717 ELMHURST AVE | NICHOLS HILLS | OK | 73120-1011 | 021 | 000 | 400 SE 26TH ST OKLAHOMA CITY |
| 2 EAGLE PROPERTIES LLC | PO BOX 188 | WHEATLAND | OK | 73097-0188 | 021 | 000 | 406 SE 26TH ST OKLAHOMA CITY |
| R405J PROPERTIES LLC | 1717 ELMHURST AVE | NICHOLS HILLS | OK | 73120-1011 | 021 | 000 | 0 UNKNOWN OKLAHOMA CITY |
| GARCIA TOMAS | 418 SE 26TH ST | OKLAHOMA CITY | OK | 73129-1826 | 021 | 000 | 414 SE 26TH ST OKLAHOMA CITY |
| GARCIA TOMAS & DORA | 418 SE 26TH ST | OKLAHOMA CITY | OK | 73129-1826 | 021 | 000 | 418 SE 26TH ST OKLAHOMA CITY |

BARRIOS RUBEN & LIDIA GARCIA DE

500 SE 22ND ST

OKLAHOMA CITY

OK

73129-4643 021

000 420 SE 26TH ST OKLAHOMA CITY

THE CITY OF OKLAHOMA CITY
SIMPLIFIED PLANNED UNIT DEVELOPMENT
SPUD-(_____)
MASTER DESIGN STATEMENT

June 11, 2024

PREPARED BY:

Collective Strategies LLC
Nick Singer
3308 S Durland Ave
Oklahoma City, OK 73129
405-416-3126
singer.a.nick@gmail.com

SPUD-() MASTER DESIGN STATEMENT

This document serves as the Master Design Statement and fulfills the ordinance requirements for the Simplified Planned Unit Development (Chapter 59, Section 14150.B of the Oklahoma City Municipal Code, 2020, as amended).

I. Special Development Regulations:

The following Special Development Regulations and/or limitations are placed upon the development of the Simplified Planned Unit Development. Planning and zoning regulations will be those that are in effect at the time of development of this Simplified Planned Unit Development; provided, however, that the density and or intensity of the SPUD shall not be increased. Development is when a permit is issued for any construction or addition to any structure on a development tract. Certain zoning districts are referred to as a part of the Special Development Regulations of this Simplified Planned Unit Development. For purposes of interpretation of these Special Development Regulations, the operative and controlling language and regulations of such zoning districts shall be the language and regulations applicable to the referenced zoning districts as contained in the City of Oklahoma City's Planning and Zoning Code as such exists at the time of development of this Simplified Planned Unit Development. In the event of conflict between provisions of this SPUD and any of the provisions of the Oklahoma City Municipal Code, as amended ("Code"), in effect at the time a permit is applied for with respect to any lot, block, tract and/or parcel of land subject to this SPUD, the provisions of the Code shall prevail and be controlling; provided however, that in the event of a conflict between the Special Use and Development Regulations specifically negotiated as a part of this SPUD and the provisions of the Code in effect at the time a permit is applied for with respect to any lot, block, tract and/or parcel of land subject to this SPUD, such Special Use and Development Regulations of this SPUD shall prevail and be controlling.

1. This site will be developed in accordance with the regulation of the R-4 General Residential District (OKC Zoning Ordinance, 2020, as amended), except that the following restrictions will apply:

The following use(s) will be the only use(s) permitted on this site:

Multiple-Family Residential (8200.12), Limited to 10 dwellings.
Single-Family Residential (8200.14)
Three- and Four-Family Residential (8200.15)
Two-Family Residential (8200.16)

1.1 Minimum Lot Size: The minimum lot size shall be 14,000 square feet.

1.2 Minimum Lot Width: The minimum lot width shall be 100 feet.

2. **Maximum Building Height:** Maximum height of any building within this SPUD shall be 2.5 Stories and 35 feet.

3. **Maximum Building Size:** The coverage of buildings within this SPUD shall be limited to 35%.

4. **Maximum Number of Buildings:** 3

5. **Building Setback Lines**

Front Yard: 15'

Rear Yard: 5'

Side Yard: 5'

Corner Side Yard: 5'

6. **Sight-proof Screening:** Not required.

7. **Landscaping:** The subject parcel shall meet all requirements of the City of Oklahoma City's Landscaping Ordinance in place at the time of development.

a) Trees shall be planted along SE 27th Street and S Stiles Avenue at one medium or large tree per 50 feet of street frontage.

b) A 10-foot landscape buffer consisting of a minimum of 2 large trees and 16 shrubs shall be planted on the east side of the SPUD boundary.

8. **Signs:** No freestanding signs shall be permitted. Identification signs and attached signs per the base zoning district are permitted.

9. **Access:** Cars will access rear parking from the alley off of Stiles going toward SE 27th St.

10. **Sidewalks:** Five-foot sidewalks are required along SE 27th and S Stiles.

II. **Other Development Regulations:**

1. **Architecture:** The buildings will be clad in brick with vinyl windows and railings. Each building wall that faces a street shall have a minimum of 30% transparency.

Exterior building wall finish on all structures shall consist of a minimum 70% brick veneer, masonry, rock, stone, stucco, or wood, or other similar type finish. A maximum of 30% EIFS (Exterior Insulation Finish System) material shall be permitted. Exposed metal or exposed concrete block buildings shall not be permitted.

2. **Open Space:** There shall be a minimum of 30% open space, defined as no buildings or paving, required for this SPUD.
3. **Street Improvements:** The alley will be paved to allow access to parking spaces and parking along the east side of the development.
4. **Site Lighting:** The site lighting in this SPUD shall be in accordance with Chapter 59, Article XII, Section 59-12350 of the Oklahoma City Municipal Code, 2020, as amended.
5. **Dumpsters:** Shall be required on lots within this development containing multi-family buildings consisting of four or more units.
 - a. All dumpsters shall be screened from view from the right-of-way of any public or private street, and from any adjacent residential zone or use.
 - b. Dumpsters shall be screened to a height sufficient to shield dumpster from sight on three sides by using a single opaque material wall or fence, or by using a combination of opaque materials, berming, and/or evergreen landscaping that provides the required screening effect and on the fourth side screened by a solid gate of height sufficient to shield dumpster from sight.
 1. The gate shall remain closed except when trash pick-ups occur.
 2. Dumpsters may also be screened by the wall(s) of a principal or accessory structure. Chain-link fencing with woven slats of opaque material is not acceptable for screening dumpsters
6. **Parking:** The subject parcel shall meet the design requirements of the Oklahoma City Municipal Code, 2020, as amended. The residential parking ratio for this SPUD shall be 1 space per dwelling.
 - a. Permeable paving may be used for parking areas, driveways and pathways, subject to Public Works Review and approval.
 1. Where connected to public rights-of-way that access drive apron will be constructed of hard surface paving meeting City code for driveway construction.
 2. A hard surface border is required around the perimeter of permeable paving areas.
 3. Maintenance of the permeable paving is required, and a maintenance plan must be provided when construction documents are submitted for permitting.

7. Maintenance:

Maintenance of all common areas in the development and maintenance of all amenities located within the common areas shall be the responsibility of the owner(s) of said property.

8. Drainage:

No structures, storage of material, grading, fill, or other obstructions, including fences, either temporary or permanent, that shall cause a blockage of flow or an adverse effect on the functioning of the storm water facility, shall be placed within the common areas intended for the use of conveyance of storm water, and/or drainage easements shown.

9. Other: N/A

III. Supporting Documents

Exhibit A: Legal Description: SCHILLINGS ADDITION 030 000 LOTS 13 THRU 16
(attached is the assessor page)

Exhibit B: Site Plan and Render of Proposed Structure (Planning set)

WINDOW INFORMATION:

ALL WINDOW SIZES ARE INDICATED ON PLANS:

- SOLAR HEAT GAIN MINIMUM SHGC < 0.25
- EGRESS AREA MEETS IRC 2015, SECTION 1030.2 MINIMUM OF 5.7 SF.

DOOR INFORMATION:

ALL DOOR SIZES ARE INDICATED ON PLANS:

- ENTRY DOORS: MASONITE HD STEEL - 2P SQUARE
- PATIO DOORS: VISTA GRANDE 1-1/2" TEMPERED GLASS
- INTERIOR DOORS: MASONITE SOLID CORE PAINT GRADE - 2P SQUARE
- EXTERIOR MECHANICAL DOORS: MASONITE HD STEEL - 2P SQUARE
- STORM ROOM DOORS: MEET ICC 500 REQUIREMENTS

INSULATION

- R15 BLOWN WALL CERTAINTED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES
- R38 BLOWN ATTIC CERTAINTED INSULSAFE SP APPLIED TO ATTIC LIVING SPACE ENERGY SEAL PACKAGE: SCOUND WINDOW DOOR/FORM OR CAULK ALL WINDOWS, DOORS, TOP/PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS.
- SLAB EDGE: 3/4" DESE EPS, TYPE K V (1.5LB/CF MIN), R-5
- SOUND DAMPENING: AT PARTY WALLS - ACOUSTIC FIBERGLASS OR MINERAL FIBER MATS IN DOUBLE FRAMED WALL
- AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR, SEAL BETWEEN WALL BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE. BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL ENERGY ANALYSIS AND RATINGS SPECIFICATIONS.

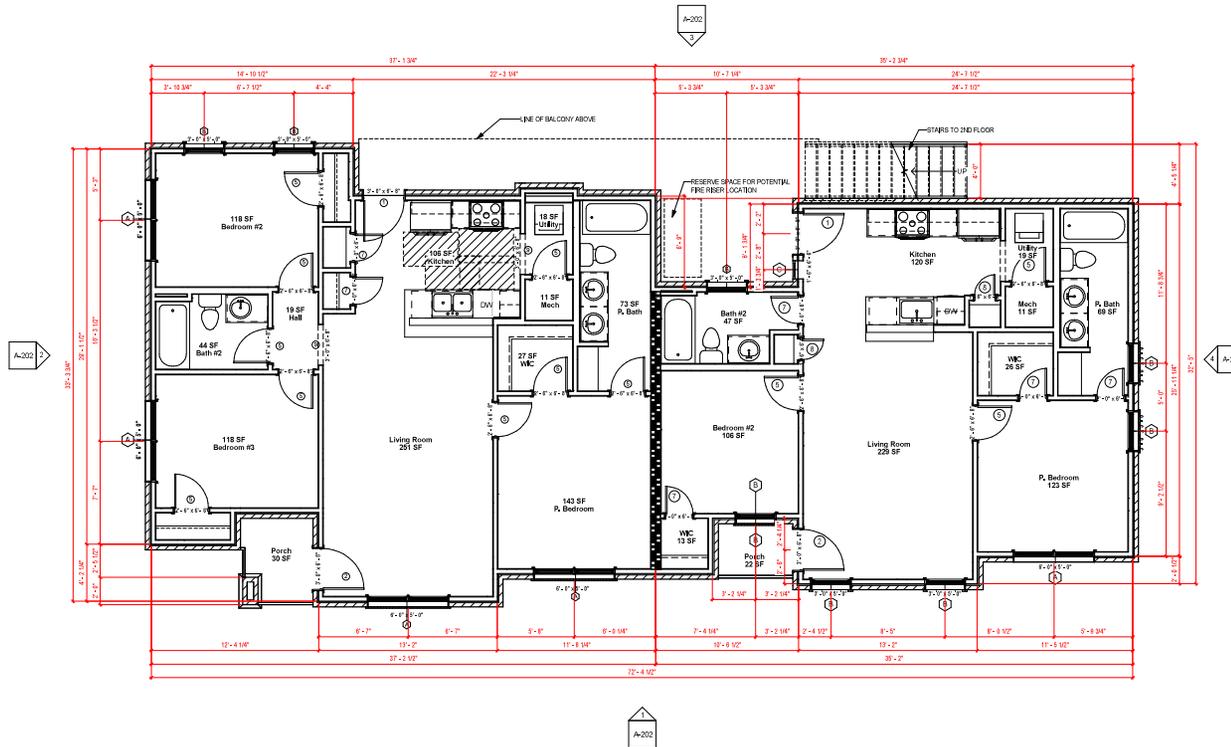
PLAN GENERAL NOTES

- SEE COVER SHEET FOR GENERAL NOTES.
- FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- ALL WORK NEW UNLESS NOTED OTHERWISE.
- ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS. DO NOT SCALE DRAWINGS.
- NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE PART OF THE PROJECT COST.
- GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY FAMILIARIZE THEMSELVES TO SITE SPECIFIC REQUIREMENTS AND EXTENTS OF THE NEW WORK PRIOR TO BEGINNING. NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION DISCERNABLE FROM THE EXISTING CONDITIONS OR THE PROJECT DOCUMENTS.
- REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF NEW WORK.
- TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS 0'-0". CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH ACTUAL CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CIVIL DRAWINGS.
- PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK.
- CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT, WATER TIGHT, AIR TIGHT, ETC. PERFORMANCE.
- ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING CONTRACTOR.
- ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO END OF CABINET RUN ADJACENT TO REFRIGERATOR, LOCATIONS OF VERTICAL OFFSETS.
- SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE LAYOUTS. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER VERTICALLY. TYPICAL, CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL OUTLETS.
- ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION.
- PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN ACCORDANCE WITH 2015 IBC.
- PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS, TYPICAL ALL UNITS.
- PRIME PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF MEP/ELECTRICAL/SECURITY INSTALLATION.
- ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS. HARD-WIRED, WITH BATTERY BACKUP PER CODE.
- SMOKE DETECTION/ALARMS SHALL BE INSTALLED PER SECTION 907.2.6 OF THE 2015 IBC.
- CARBON MONOXIDE DETECTION SHALL BE INSTALLED PER SECTION 915 OF THE 2015 IBC.

PLUMBING GENERAL NOTES

- THE CONTRACTOR SHALL COORDINATE THE ROUTING AND PATH OF PIPING WITH THE POSITION AND LAYOUT OF THE STRUCTURE. THIS CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISERS AND DROPS FOR PIPING AS NEEDED TO INSTALL THE PLUMBING SYSTEM TO CLEAR STRUCTURE AND OTHER SYSTEMS IN CONFLICT WITH PIPE ROUTING.
- COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS.
- ALL WATER PIPING SHALL BE 3/4" UNLESS NOTED OTHERWISE.
- NO PIPING SHALL BE INSTALLED WHERE IT WILL BE SUBJECT TO FREEZING TEMPERATURES. COORDINATE EXACT ROUTING OF ALL PIPING WITH OTHER TRADES, EQUIPMENT AND PLUMBING FIXTURES.
- COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL EQUIPMENT.
- NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL INSTALL ALL CODE REQUIRED CLEANOUTS. COORDINATE LOCATIONS WITH ARCHITECT.

NOTE: AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEMS MUST BE INSTALLED IN ACCORDANCE WITH NFPA 13R OF THE 2015 IBC.



1 BUILDING B - 1ST FLOOR PLAN
1/4" = 1'-0"

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SDG Architects
5619 Karanagh Blvd.
Little Rock, AR 72207
(501) 783-8375 (PH)
www.sdg-architects.com
Architect of Record: Elizabeth Glasgow, AIA
OK License #: 65742
OK COA #: 02438

CONSULTANTS:

10-Unit Affordable Housing - CS
400 27th Street Oklahoma City, OK
BUILDING A & B

| No. | Description | Date |
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SCHEMATIC DESIGN DOCUMENTS
"NOT FOR CONSTRUCTION"

Project number: 20252
Date: 05.14.2024
Drawn by: EAG
Checked by: EAG

A-101
BUILDING B - 1ST
FLOOR PLAN

SCALE: As indicated

WINDOW INFORMATION:

ALL WINDOW SIZES ARE INDICATED ON PLANS:

1. SOLAR HEAT GAIN MINIMUM: SHGC 0.25
2. EGRESS AREA MEETS IBC 2015, SECTION 1030.2 MINIMUM OF 5.7 SF.

DOOR INFORMATION:

ALL DOOR SIZES ARE INDICATED ON PLANS:

1. ENTRY DOORS: MASONITE HD STEEL - 2P SQUARE
2. PATIO DOORS: VISTA GRANDE LITE TEMPERED GLASS
3. INTERIOR DOORS: MASONITE SOLID CORE PAINT GRADE - 2P SQUARE
4. EXTERIOR MECHANICAL DOORS: MASONITE HD STEEL - 2P SQUARE
5. STORM ROOM DOORS: MEET IBC 500 REQUIREMENTS

INSULATION

1. R15 BLOWN ATTIC: CERTAINTEED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES
2. R38 BLOWN ATTIC: 14.5" CERTAINTEED INSULSAFE SP APPLIED TO ATTIC LIVING SPACE ENERGY SEAL PACKAGE: SOUND WINDOW DOOR/FOAM OR CALK ALL WINDOWS, DOORS, TOP-PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS.
3. SLAB EDGE: 3/4" DENSE EPS TYPE IX V (1.5LB/CF MIN), R-5
4. SOUND DAMPENING: AT PARTY WALLS - ACOUSTIC FIBERGLASS OR MINERAL FIBER BATTIS IN DOUBLE FRAMED WALL
5. AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR, SEAL BETWEEN WALL BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE, BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL ENERGY ANALYSIS AND RATINGS SPECIFICATIONS.

PLAN GENERAL NOTES

1. SEE COVER SHEET FOR GENERAL NOTES.
2. FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.
3. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
4. ALL WORK NEW UNLESS NOTED OTHERWISE.
5. ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, HANDBOOK AND LIFE SAFETY CODES AND REQUIREMENTS.
6. DO NOT SCALE DRAWINGS.
7. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE PART OF THE PROJECT COST.
8. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY FAMILIARIZE THEMSELVES TO SITE SPECIFIC REQUIREMENTS AND EXTENTS OF THE NEW WORK PRIOR TO BIDDING. NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION OBTAINABLE FROM THE EXISTING CONDITIONS OR THE PROJECT DOCUMENTS.
9. REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF NEW WORK.
10. TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATIONS REFERENCED AS 0'-0". CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH ACTUAL CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CML DRAWINGS.
11. PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK.
12. CALK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT, WATER TIGHT, AIR TIGHT, ETC. PERFORMANCE.
13. ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING CONTRACTOR.
14. ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO END OF CABINET RUN ADJACENT TO REFRIGERATOR, LOCATIONS OF VERTICAL OFFSETS.
15. SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE LAYOUTS.
16. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER VERTICALLY. TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACKTODRACK ELECTRICAL OUTLETS.
17. ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE PRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION.
18. PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN ACCORDANCE WITH 2015 IBC.
19. PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS, TYPICAL ALL UNITS.
20. PRIME PAINT AND SEAL EXISTING WALLS COLUMNS AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF MEETLEPHONE SECURITY INSTALLATION.
21. ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARDWIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS, HARDWIRED, WITH BATTERY BACKUP PER CODE.
22. SMOKE DETECTION / ALARMS SHALL BE INSTALLED PER SECTION 907.2.9 OF THE 2015 IBC.
23. CARBON MONOXIDE DETECTION SHALL BE INSTALLED PER SECTION 915 OF THE 2015 IBC.

PLUMBING GENERAL NOTES

1. THE CONTRACTOR SHALL COORDINATE THE ROUTING AND PATH OF PIPING WITH THE POSITION AND LAYOUT OF THE STRUCTURE. THIS CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISERS AND DROPS FOR PIPING AS NEEDED TO INSTALL THE PLUMBING SYSTEM TO CLEAR STRUCTURE AND OTHER SYSTEMS IN CONFLICT WITH PIPE ROUTING.
2. COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS.
3. ALL WATER PIPING SHALL BE 3/4" UNLESS NOTED OTHERWISE.
4. NO PIPING SHALL BE INSTALLED WHERE IT WILL SUBJECT TO FREEZING TEMPERATURES. COORDINATE EXACT ROUTING OF ALL PIPING WITH OTHER TRADES, EQUIPMENT AND PLUMBING FIXTURES.
5. COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL EQUIPMENT.
6. NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL INSTALL ALL CODE REQUIRED CLEANOUTS. COORDINATE LOCATIONS WITH ARCHITECT.

NOTE: AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEMS MUST BE INSTALLED IN ACCORDANCE WITH NFPA 13R OF THE 2015 IBC.

CONFIRM SPRINKLER REQUIREMENTS



SDG Architects
5619 Karanagh Blvd.
Little Rock, AR 72207
(501) 788-3753 (PH)
www.sdg-architects.com
Architect of Record: Elizabeth Glasgow, AIA
OK License #: 05742
OK C.O.A. #: 02438

CONSULTANTS:

10-Unit Affordable Housing - CS
400 27th Street Oklahoma City, OK
BUILDING A & B

| No. | Description | Date |
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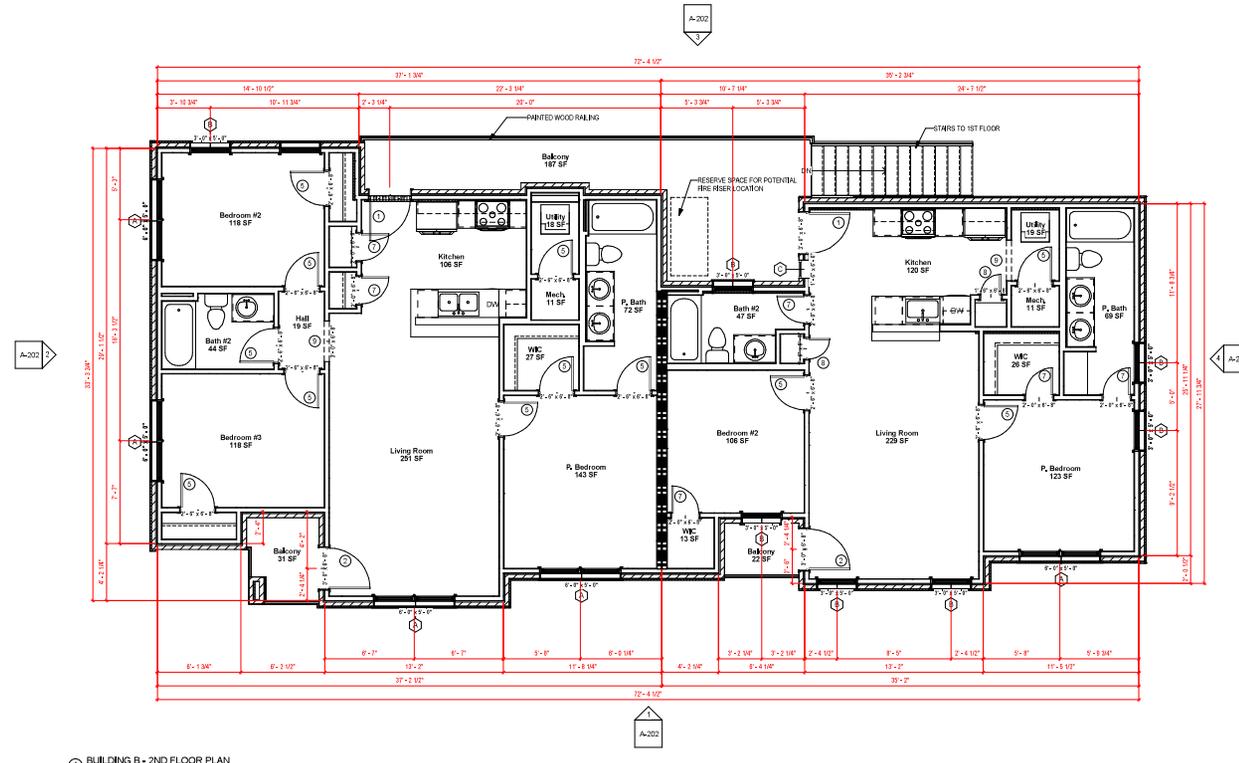
SCHEMATIC DESIGN DOCUMENTS
"NOT FOR CONSTRUCTION"

Project number: 20252
Date: 05.14.2024
Drawn by: EAG
Checked by: EAG

A-101.1
BUILDING B - 2ND FLOOR PLANS

SCALE: As indicated

NOT FOR CONSTRUCTION



1 BUILDING B - 2ND FLOOR PLAN
1/4" = 1'-0"

WINDOW INFORMATION:

ALL WINDOW SIZES ARE INDICATED ON PLANS:

1. SOLAR HEAT GAIN MINIMUM SHGC ≤ 0.25
2. EGRESS AREA MEETS IBC 2015, SECTION 1030.2 MINIMUM OF 5.7 SF.

DOOR INFORMATION:

ALL DOOR SIZES ARE INDICATED ON PLANS:

1. ENTRY DOORS: MASONITE HD STEEL - 2P SQUARE
2. PATIO DOORS: VESTA GRANDE 4-LITE TEMPERED GLASS
3. INTERIOR DOORS: MASONITE SOLID CORE PAINT GRADE - 2P SQUARE
4. EXTERIOR MECHANICAL DOORS: MASONITE HD STEEL - 2P SQUARE
5. STORM ROOM DOORS: MEET IBC 500 REQUIREMENTS

INSULATION

1. R15 BLOWN WALL: CERTAINTED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES
2. R18 BLOWN ATTIC: 14.5" CERTAINTED INSULSAFE SP APPLIED TO ATTIC LIVING SPACE ENERGY SEAL PACKAGE: SODAL (WINDOW DOOR) FOAM OR CAULK ALL WINDOWS, DOORS, TOP-PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS.
3. SLAB EDGE: 3/4" DEEP EPS TYPE IV (1.5) SUBOF MIN. R4
4. SOUND DAMPENING: AT PARTY WALLS - ACOUSTIC FIBERGLASS OR MINERAL FIBER BATTS IN DOUBLE FRAMED WALL.
5. AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR. SEAL BETWEEN WALL BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE. BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL ENERGY ANALYSIS AND RATINGS SPECIFICATIONS.

PLAN GENERAL NOTES

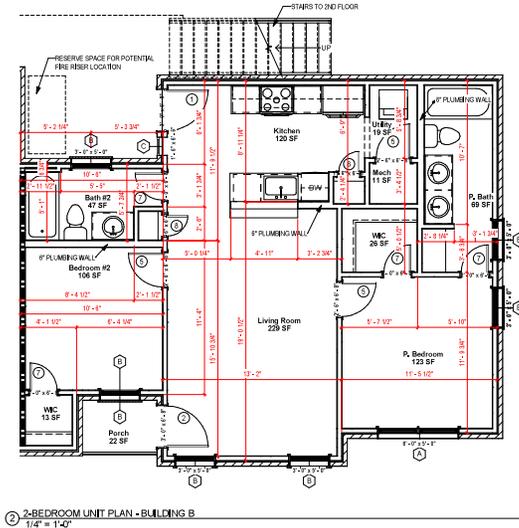
1. SEE COVER SHEET FOR GENERAL NOTES.
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3. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
4. ALL WORK NEW UNLESS NOTED OTHERWISE.
5. ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS.
6. DO NOT SCALE DRAWINGS.
7. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE PART OF THE PROJECT COST.
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10. TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS 0'-0". CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH ACTUAL CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CIVIL DRAWINGS.
11. PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT, WATERTIGHT, AIRTIGHT, ETC. PERFORMANCE.

13. ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING CONTRACTOR.
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15. SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE LAYOUTS. CONTRACTOR TO PROVIDE FIRE BLOCCING AT FIRE SEPARATION WALLS AT 10' ON CENTER VERTICALLY. TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCCING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL OUTLETS.
16. ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRE STOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION.
17. PROVIDE FIRE BLOCCING AND DRAFTSTOPPING AS REQUIRED AND IN ACCORDANCE WITH 2015 IBC.
18. PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS, TYPICAL ALL UNITS.
19. PRIME PAINT AND SEAL EXISTING WALLS, COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF MEP/ELECTRICAL SECURITY INSTALLATION.
20. ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED INTERCONNECTED AND HARDWIRED WITH BATTERY BACKUP PER CODE. INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS. HARD-WIRED, WITH BATTERY BACKUP PER CODE.
21. SMOKE DETECTION / ALARMS SHALL BE INSTALLED PER SECTION 907.2.9 OF THE 2015 IBC.
22. CARBON MONOXIDE DETECTION SHALL BE INSTALLED PER SECTION 915 OF THE 2015 IBC.

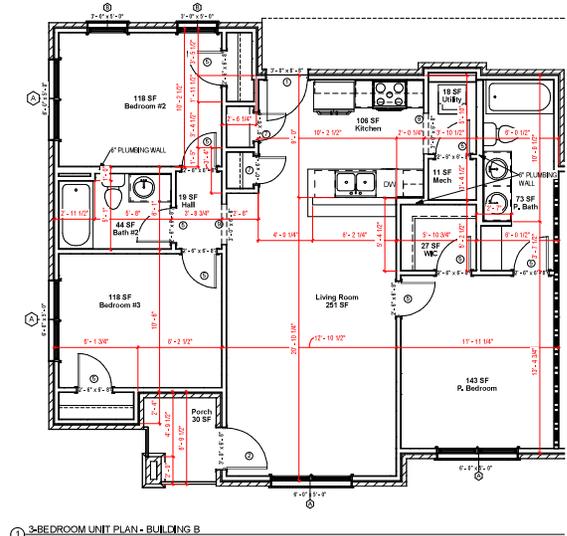
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3. ALL WATER PIPING SHALL BE 3/4" UNLESS NOTED OTHERWISE.
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6. NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL INSTALL ALL CODE REQUIRED CLEANOUTS. COORDINATE LOCATIONS WITH ARCHITECT.

NOTE: AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEMS MUST BE INSTALLED IN ACCORDANCE WITH NFPA 13R OF THE 2015 IBC, IBC.



2 2-BEDROOM UNIT PLAN - BUILDING B
1/4" = 1'-0"



1 3-BEDROOM UNIT PLAN - BUILDING B
1/4" = 1'-0"

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SDG Architects
5619 Karanagh Blvd.
Little Rock, AR 72207
(501) 788-8375 (PH)
www.sdg-architects.com
Architect of Record: Elizabeth Glasgow, AIA
OK License #: 65742
OK COA #: 02438

CONSULTANTS:

10-Unit Affordable Housing - CS
400 27th Street Oklahoma City, OK
BUILDING A & B

| No. | Description | Date |
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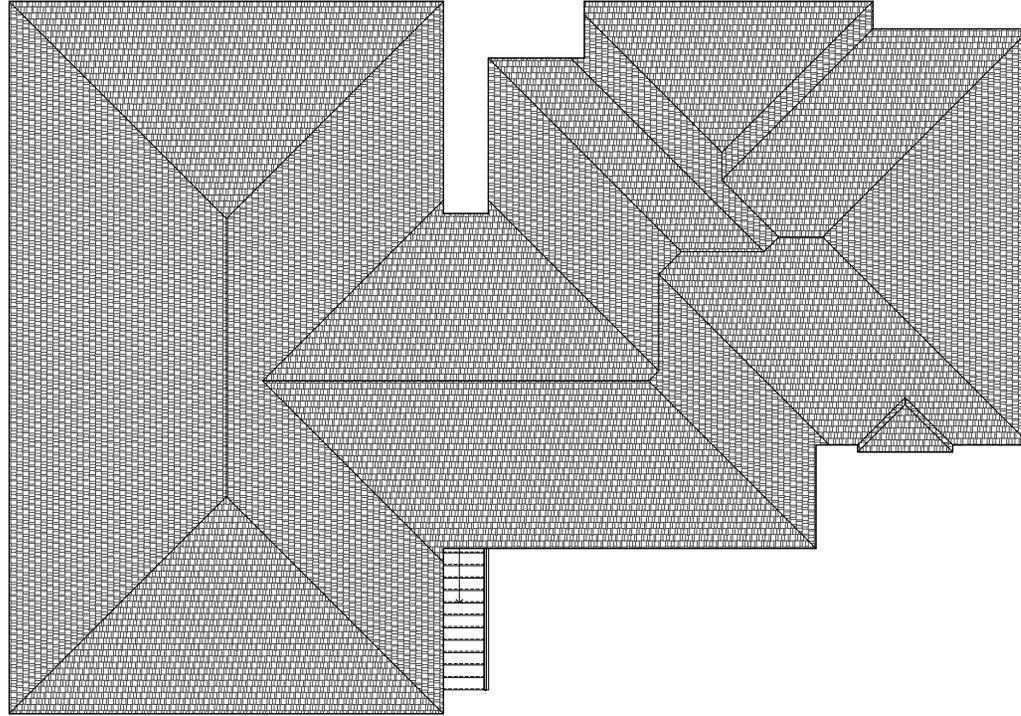


SCHEMATIC DESIGN DOCUMENTS
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Project number: 20252
Date: 05.14.2024
Drawn by: EAG
Checked by: EAG

A-101.2
BUILDING B - UNIT PLANS

SCALE: As indicated



① BUILDING A - ROOF PLAN
1/4" = 1'-0"

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5619 Karanagh Blvd.
Little Rock, AR 72207
501.788.6375 (PH)
www.sdg-architects.com
Architect of Record-Elizabeth Glasgow, AIA
OK License #: 05742
OK COA #: 02438

CONSULTANTS:

10-Unit Affordable Housing - CS
400 27th Street Oklahoma City, OK
BUILDING A & B

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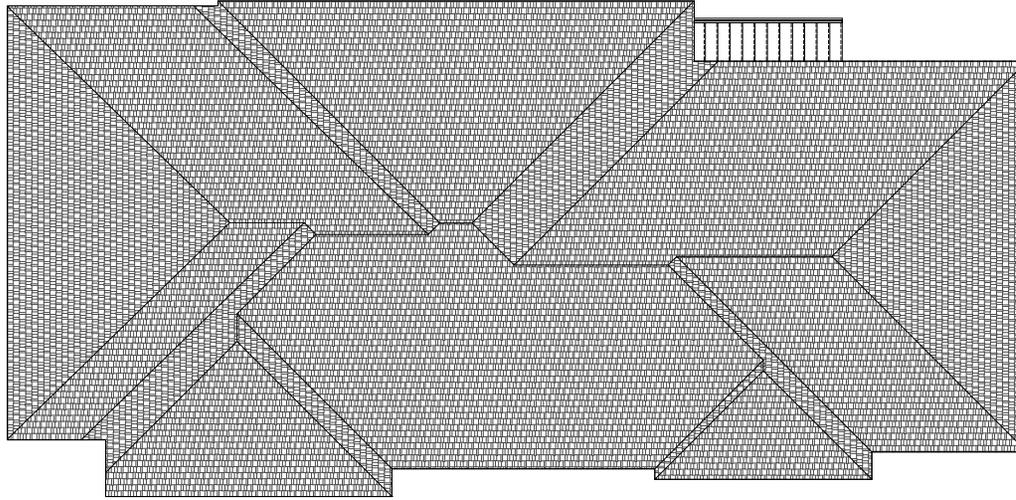
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Project number 20252
Date 05.14.2024
Drawn by EAG
Checked by EAG

A-102
BUILDING A - ROOF PLAN

SCALE: 1/4" = 1'-0"

01/02/2024 6:01:59 PM



① BUILDING B - ROOF PLAN
1/4" = 1'-0"

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5619 Kavanaugh Blvd.
Little Rock, AR 72207
501.788.6375 (PH)
www.sdg-architects.com
Architect of Record-Elizabeth Glasgow, AIA
OK License #: 05742
OK COA #: 02438

CONSULTANTS:

**10-Unit Affordable
Housing - CS**
400 27th Street Oklahoma
City, OK
BUILDING A & B

| No. | Description | Date |
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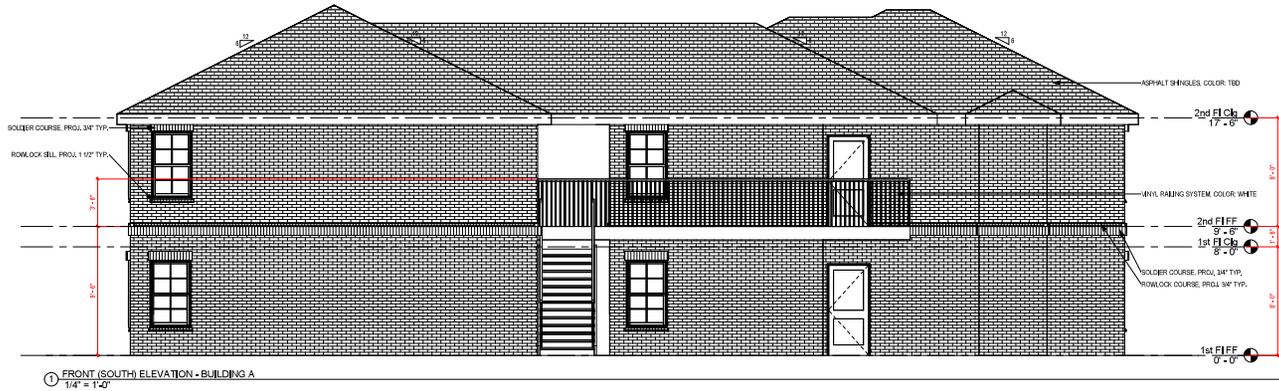
SCHMATIC DESIGN DOCUMENTS
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Project number 20252
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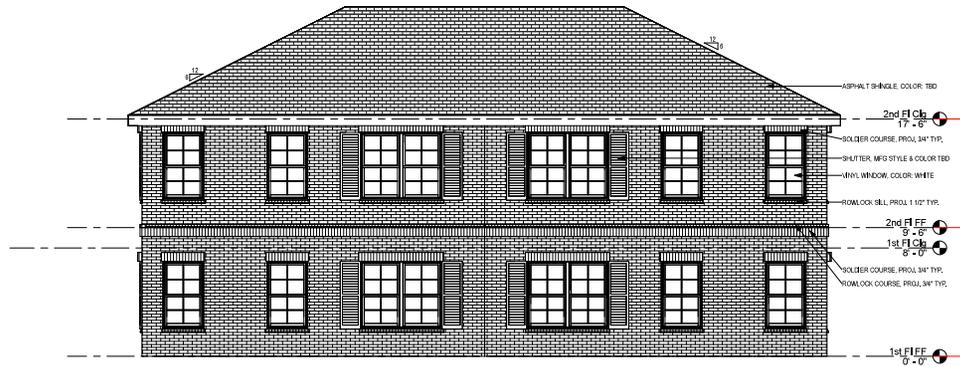
A-102.1
BUILDING B - ROOF
PLAN

SCALE: 1/4" = 1'-0"

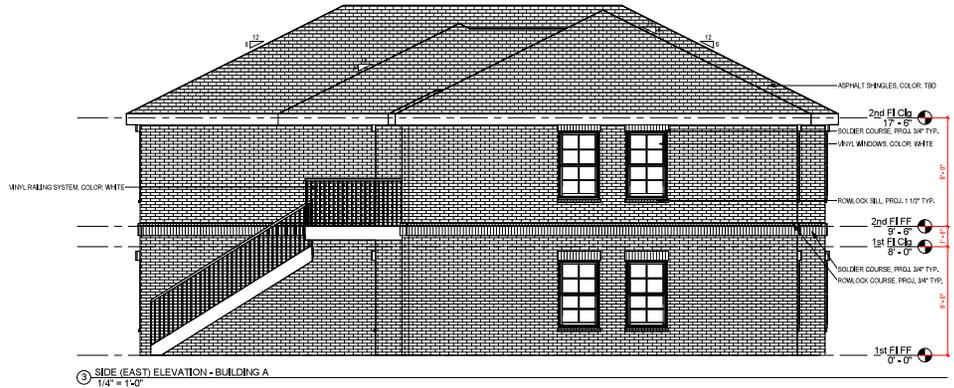
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1 FRONT (SOUTH) ELEVATION - BUILDING A
1/4" = 1'-0"



2 SIDE (WEST) ELEVATION - BUILDING A
1/4" = 1'-0"



3 SIDE (EAST) ELEVATION - BUILDING A
1/4" = 1'-0"

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5619 Kavanaugh Blvd.
Little Rock, AR 72207
501.726.8375 (PH)
www.sdg-architects.com
Architect of Record: Elizabeth Glasgow, AIA
OK License #: 65742
OK COA #: 02438

CONSULTANTS:

10-Unit Affordable Housing - CS
400 27th Street Oklahoma City, OK
BUILDING A & B

| No. | Description | Date |
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SCHEMATIC DESIGN DOCUMENTS
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Project number: 20552
Date: 05.14.2024
Drawn by: EAG
Checked by: EAG

A-201
EXTERIOR
ELEVATIONS - BLDG.
A

SCALE: 1/4" = 1'-0"

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1 REAR (NORTH) ELEVATION - BUILDING A
 1/4" = 1'-0"

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 5619 Karanagh Blvd.
 Little Rock, AR 72207
 (501) 781-8375 (PH)
 www.sdg-architects.com
 Architect of Record: Elizabeth Glasgow, AIA
 OK License #: 05742
 OK COA #: 02438

CONSULTANTS:

10-Unit Affordable Housing - CS
 400 27th Street Oklahoma City, OK
BUILDING A & B

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SCHEMATIC DESIGN DOCUMENTS
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Project number 20252
 Date 05.14.2024
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A-201.1
 EXTERIOR
 ELEVATIONS - BLDG.
 A

SCALE: 1/4" = 1'-0"

01/05/2024 4:02:02 PM

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 5619 Karsanagh Blvd.
 Little Rock, AR 72207
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 Architect of Record: Elizabeth Glasgow, AIA
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CONSULTANTS:

10-Unit Affordable Housing - CS
 400 27th Street Oklahoma City, OK
BUILDING A & B

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SCHEMATIC DESIGN DOCUMENTS
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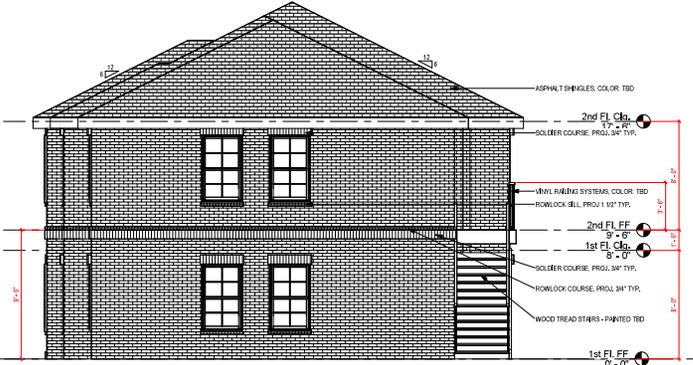
Project number: 20252
 Date: 05.14.2024
 Drawn by: EAG
 Checked by: EAG

A-202
EXTERIOR ELEVATIONS - BLDG. B

SCALE: 1/4" = 1'-0"



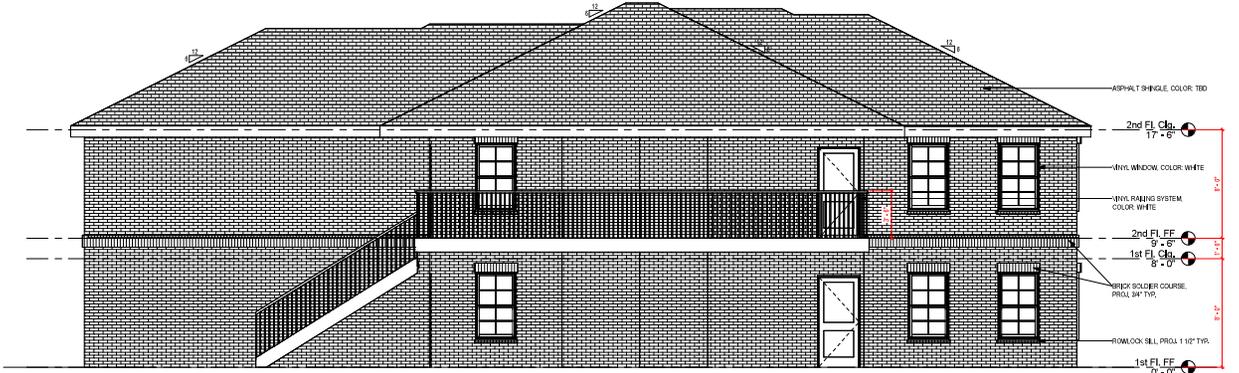
1 REAR (SOUTH) ELEVATION - BUILDING B
 1/4" = 1'-0"



4 SIDE (EAST) ELEVATION - BUILDING B
 1/4" = 1'-0"



2 SIDE (WEST) ELEVATION - BUILDING B
 1/4" = 1'-0"



3 FRONT (NORTH) ELEVATION - BUILDING B
 1/4" = 1'-0"