

**APPROVED**

7-30-2024

BY THE CITY COUNCIL  
*Amy K. Simmons* CITY CLERK

THE CITY OF OKLAHOMA CITY  
SIMPLIFIED PLANNED UNIT DEVELOPMENT  
SPUD-1634  
MASTER DESIGN STATEMENT

May 2, 2024  
Revised June 3, 2024  
Revised by KF June 4 , 2024  
Revised June 17, 2024

**PREPARED BY:**

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This document serves as the Master Design Statement and fulfills the ordinance requirements for the Simplified Planned Unit Development (Chapter 59, Section 14150.B of the Oklahoma City Municipal Code, 2020).

**I. SPECIAL DEVELOPMENT REGULATIONS:**

The following Special Development Regulations and/or limitations are placed upon the development of the Simplified Planned Unit Development. Planning and zoning regulations will be those, which are in effect at the time of development of this Simplified Planned Unit Development, provided, however, that the density and or intensity of the SPUD shall not be increased. Development is when a permit is issued for any construction or addition to any structure on a development tract. Certain zoning districts are referred to as a part of the Special Development Regulations of this Simplified Planned Unit Development. For purposes of interpretation of these Special Development Regulations, the operative and controlling language and regulations of such zoning districts shall be the language and regulations applicable to the referenced zoning districts as contained in the City of Oklahoma City’s Planning and Zoning Code as such exists at the time of development of this Simplified Planned Unit Development. In the event of conflict between provisions of this SPUD and any of the provisions of the Oklahoma City Municipal Code, as amended (“Code”), in effect at the time a permit is applied for with respect to any lot, block, tract and/or parcel of land subject to this SPUD, the provisions of the Code shall prevail and be controlling; provided however, that in the event of a conflict between the Special Use and Development Regulations specifically negotiated as a part of this SPUD and the provisions of the Code in effect at the time a permit is applied for with respect to any lot, block, tract and/or parcel of land subject to this SPUD, such Special Use and Development Regulations of this SPUD shall prevail and be controlling.

This site will be developed in accordance with the regulation of the **R-4 General Residential District** and the **Gatewood Urban Conservation District** (OKC Zoning Ordinance, 2020, ,as amended), except that the following restrictions will apply:

**1. The following use(s) will be the only use(s) permitted on this site:**

- 8200.12 multi-family residential
- 8200.14 single family residential
- 8200.15 three and four family residential
- 8200.16 two family residential, except that dwellings may be attached or detached
- 8250.16 murals

**2. Maximum Building Height:** In the event of new construction, the primary structure in this SPUD fronting NW 17th Street shall be a maximum height of 35 feet or 2 ½ stories and accessory structures to the rear of the primary structure shall be a maximum height of 25 feet or two (2) stories.

3. **Maximum Building Size:** The maximum building coverage shall not exceed 60%, excluding paving and areas covered by front porches or decks. Maximum lot coverage shall meet the base zone. A minimum of 25% open area shall be provided which may include pervious paving.
4. **Maximum Number of Buildings:** There shall be a maximum of up to two structures. There shall be a maximum of up to four dwelling units total on the property. Existing house to remain unless damaged beyond feasible repair. Existing house may be developed into a duplex. Existing garage may be demolished or renovated/ added on to accommodate additional dwelling units.
5. **Building Setback Lines**

Front (Northwest 17 <sup>th</sup> ):	25 feet (front porch may encroach up to 6 feet)
Rear (South Alley):	0 feet
West:	In the event of new construction, setback shall be a minimum of three (3) feet or meet building code requirements, whichever is greater. Where existing garage or house is less than 3 feet from property line then additions may align with existing west side walls.
East:	In the event of new construction, setback shall be a minimum of three (3) feet or meet building code requirements, whichever is greater. Where existing garage or house is less than 3 feet from property line then additions may align with existing east side walls.
6. **Sight-proof Screening:** Sight-proof screening shall not be required. A fence up to 8 feet tall may be permitted along property lines. Fence may be constructed of materials per below II.1 Architecture regulations. If new parking, facing neighbors, is provided, then a 3-foot-wide minimum landscape buffer to be provided, in addition to a new 6 foot tall minimum solid fence, in front of the parking spaces.
7. **Landscaping:** The subject parcel shall meet all requirements of the City of Oklahoma City's Landscaping Ordinance in place at the time of development.
8. **Signs :** No signage allowed
9. **Access:** Access shall be permitted from the existing driveway on NW 17th Street and one driveway from the rear alley.
10. **Sidewalks:** Existing sidewalk along NW 17<sup>th</sup> to remain. No new sidewalks required. If the sidewalk is damaged during construction, the 4-foot sidewalk will be repaired to City standards as approved by Public Works and shall meet ADA requirements.

## **II. OTHER DEVELOPMENT REGULATIONS:**

### **1. Architecture**

Exterior building wall finish on all structures, exclusive of windows and doors, shall consist of a minimum 70% brick, brick veneer, masonry, rock, concrete, stone, stucco, stone masonry, concrete-board, architectural metal or wood, or other similar type finish. A maximum of 30% EIFS (Exterior Insulation Finish System) material shall be permitted. Architectural metal may include corrugated or other profiles with exposed fasteners. Masonry may include burnished or split face concrete block. Prefabricated barn or garage kit type structures that are not site specific or standard grey exposed concrete block buildings shall not be permitted.

Roof may be of any configuration, material or pitch.

### **2. Street Improvements: N/A**

### **3. Site Lighting**

The site lighting in this SPUD shall be in accordance with Chapter 59, Article XII, Section 59-12350 of the Oklahoma City Municipal Code, 2020, as amended.

### **4. Dumpsters**

No dumpsters shall be permitted.

### **5. Parking**

Existing parking shall be permitted to remain and deemed to conform to applicable regulations. In the event of a new structure, the design and number of all parking facilities in this SPUD shall be in accordance with Chapter 59, Article X of the Oklahoma City Municipal Code, 2020, as amended, with the exceptions that one parking space per dwelling unit is required and garages and covered parking shall count toward meeting the minimum parking requirements, provided each parking space in a garage or covered parking area shall be a minimum of 8½ feet wide by 18 feet deep.

In the event the existing home is expanded, rebuilt, or converted to a two-family residence, two parking spaces shall be required and shall be located behind the front building line of the primary structure on the site, in addition to required parking for other dwelling units. The two spaces for the primary structure may be configured as tandem (stacked) spaces on a single car-width drive.

A minimum aisle width of 22 feet shall be allowed for maneuvering for parking. A minimum aisle width of 10 feet shall be allowed for shared access drive to onsite parking. No minimum distance required between house and access drive(s) with a concrete curb or engineered barrier or foundation that extends 18 inches minimum

above drive.

Pervious paving, which may include compacted gravel, may be used for parking areas, driveways, pathways, and plazas. New gravel drives, within the ROW, shall not be permitted. Where connected to public rights-of-way the access drive apron will be constructed of hard surface paving meeting City code for driveway construction. A hard surface border may be required around the perimeter of pervious paving areas. Maintenance of the pervious paving is required, and a maintenance plan must be provided when construction documents are submitted for permitting.

**6. Maintenance**

Maintenance of all common areas in the development and maintenance of all amenities located within the common areas shall be the responsibility of the owner(s) of said property. No structures, storage of material, grading, fill, or other obstructions, including fences, either temporary or permanent, that shall cause a blockage of flow or an adverse effect on the functioning of the storm water facility, shall be placed within the common areas intended for the use of conveyance of storm water, and/or drainage easements shown. Certain amenities such as, but not limited to, walks, benches, piers, and docks, shall be permitted if installed in a manner to meet the requirements specified above.

**7. Drainage**

Development of this parcel will comply with Chapter 16 of the Oklahoma City Municipal Code, 2020, as amended.

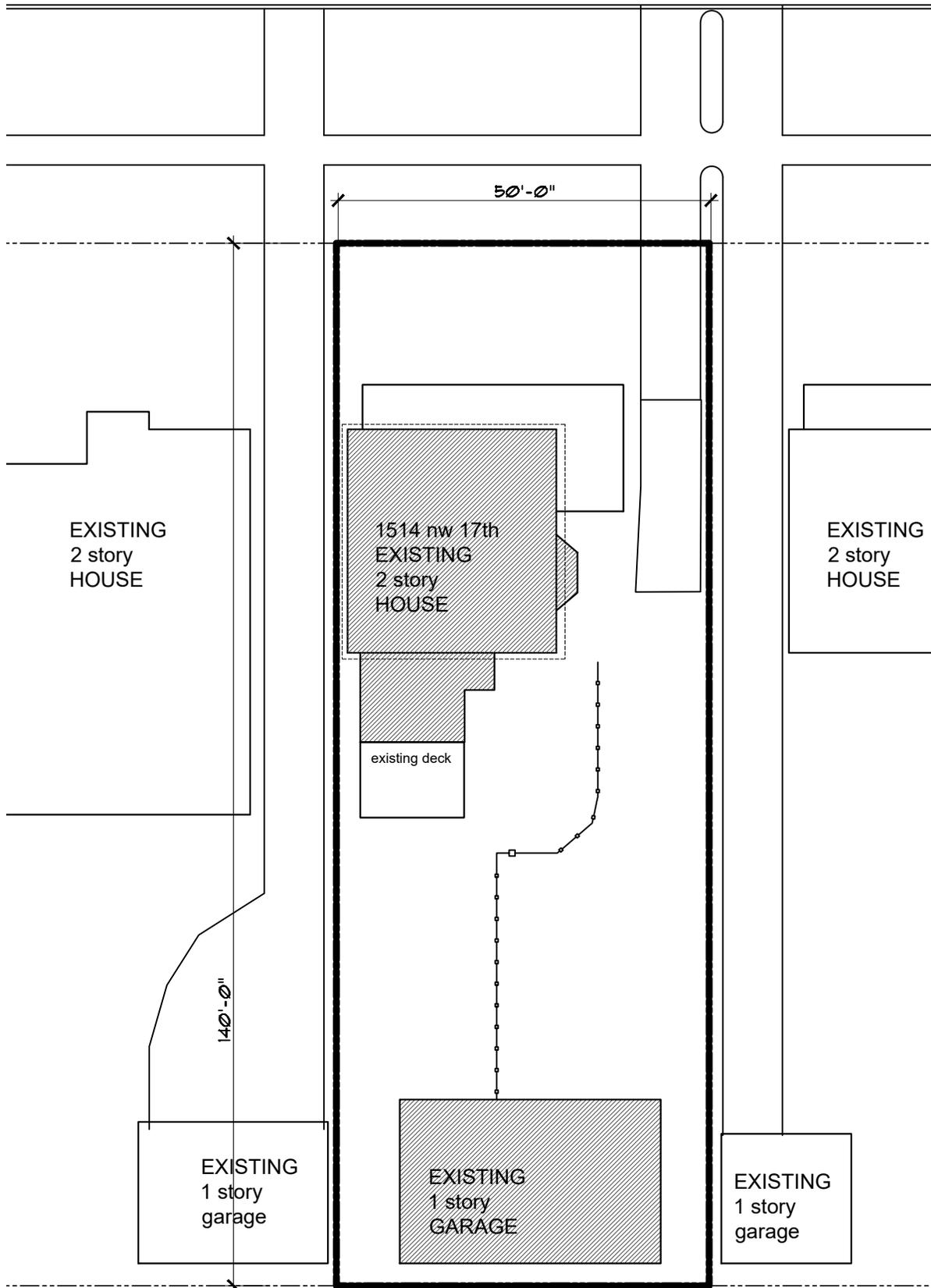
**III. SUPPORTING DOCUMENTS**

- Exhibit A: Legal Description
- Exhibit B: Existing Site Plan
- Exhibit C: Conceptual Site Plan

**SPUD-1634 Exhibit A, Legal Description**

UNIVERSITY ADDITION BLOCK 78 , LOTS 5 & 6

# NW 17th



ALLEY

SPUD-1634  
Exhibit B



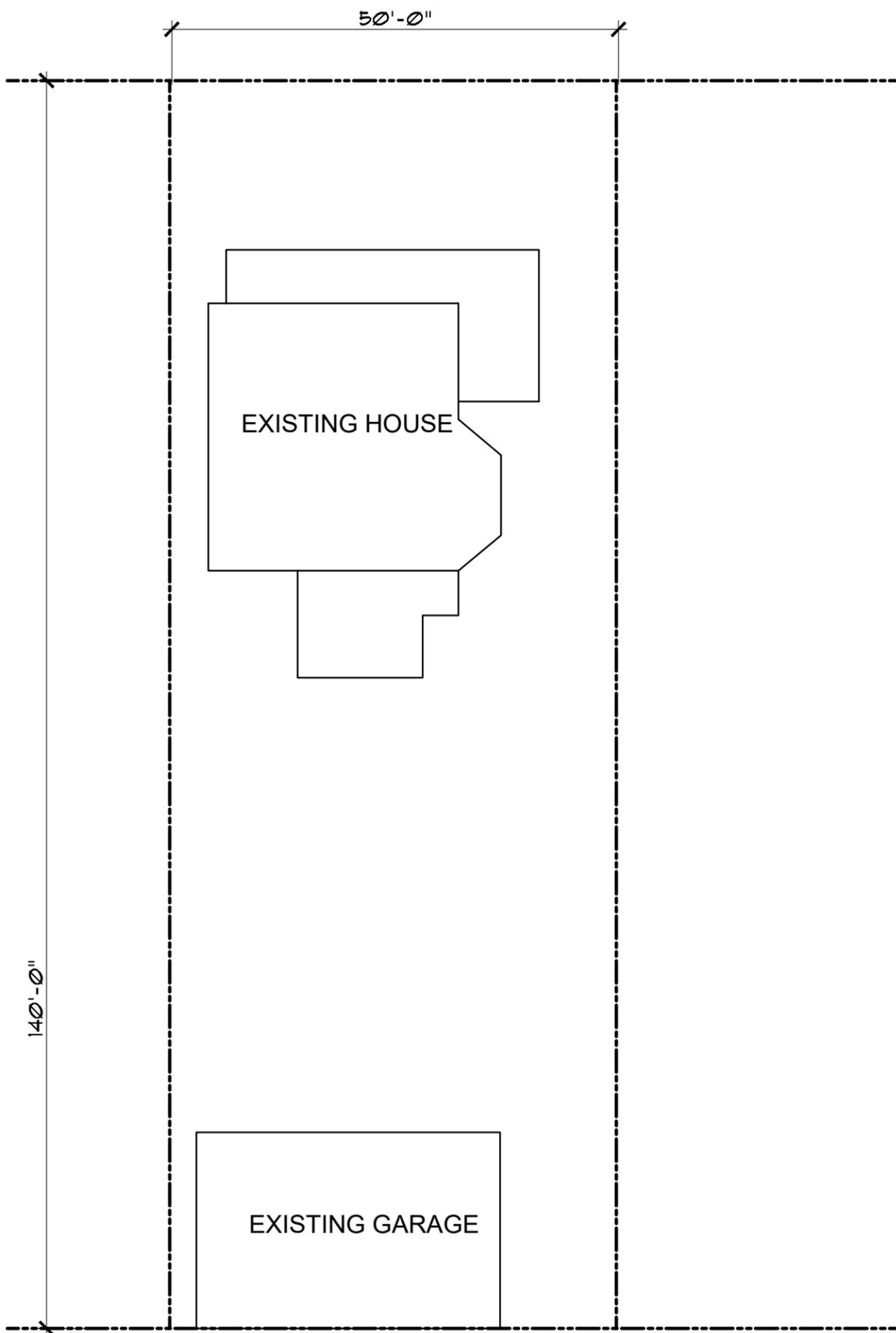
## EXISTING SITE PLAN

SCALE: 1" = 20'-0"

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# NW 17th

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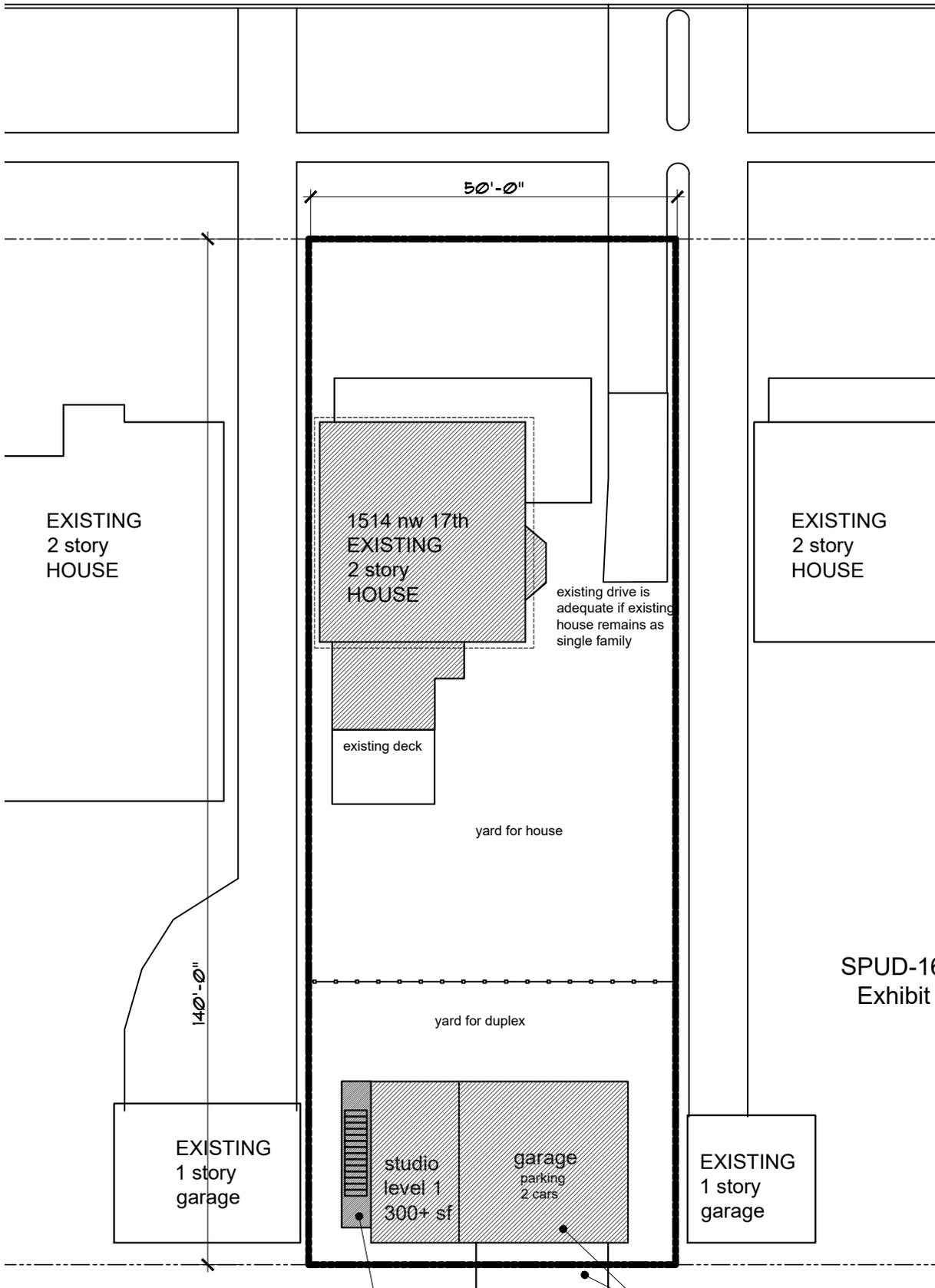


SPUD-1634  
Exhibit B



## EXISTING SITE PLAN

SCALE: 1/16" = 1'-0"



SPUD-1634  
Exhibit C

new entry and stair addition to new upper level unit above existing garage  
 potential to add drive/ relocate garage doors to alley side so tenants may access and share 2 car garage

**ALLEY**

*this site plan is conceptual in nature  
 to show a potential option  
 specific configuration to be determined*



# SITE PLAN CONCEPT

2021 11 20 11:00 AM