



The City of
OKLAHOMA CITY
PLANNING DEPARTMENT

HISTORIC PRESERVATION REVIEW SUBMITTAL PACKET

Applicable Historic Districts

- Crown Heights Historic District
- Edgemere Park Historic District
- Heritage Hills Historic and Architectural District
- Heritage Hills East Historic District
- Jefferson Park Historic District
- Mesta Park Historic District
- Putnam Heights Historic District
- Shepherd Historic District
- The Paseo Neighborhood

Packet Contents

- Application and Submittal Procedure
- Application Form
- Submittal Checklist

Staff Contacts

Katie McLaughlin Friddle

Historic Preservation Officer

(405) 297-3084 or kathryn.friddle@okc.gov

Angela Yetter

Historic Preservation Planner

(405) 297-1831 or angela.yetter@okc.gov

Administrative Coordinator

(405) 297-1624

APPLICATION AND SUBMITTAL PROCEDURE

Before submitting an application, you are encouraged review the *Historic Preservation Design and Sustainability Standards and Guidelines*, available online at <https://www.okc.gov/departments/planning/design-review-and-historic-preservation/historic-preservation>, and to discuss your project with Historic Preservation (HP) staff. Contact Katie McLaughlin Friddle at (405) 297-3084 or kathryn.friddle@okc.gov, or Angela Yetter at 297-1831 or angela.yetter@okc.gov.

Application Submittal

- ▶ Submit the following items: Application, Checklist, and **all required documents** (as described in the Checklist) to HP Staff, Planning Department, via email (listed above).
- ▶ HP staff will determine whether the project is subject to review by staff or the HP Commission.
- ▶ HP staff will issue the Applicant an invoice for the submittal fee. (\$75 for administrative review, \$150 for Commission review with no new construction, \$200 for Commission review including new construction) Applications fees must be paid upon submittal for review to be conducted. Applications with unpaid fees will be considered incomplete. The Applicant may present to the Development Center Cashier, located at 420 W Main St., 8th Floor, OKC to make payment, or the Applicant may request that an invoice and link for online payment be sent.

Project Review

- ▶ Within **10 days** of submittal, staff will request additional information if needed. Staff will inform you of the deadline for submittal of additional information.
- ▶ If requested information is not provided, it may result in delay of review and approval.

Public Hearing by Commission

- ▶ Applicants, project representatives, and/or property owners are **strongly encouraged** to attend the HP Commission meeting in order to respond to questions about the proposed project.
- ▶ If no representative is present, the HP Commission may continue or deny the project.
- ▶ The HP Commission may request additional information in order to make a fully informed decision, in which case they may continue your application to a specified future hearing.
- ▶ Additional information **will not be accepted** by the Commission at the Public Hearing.

Post-Hearing / Decision

- ▶ Any person aggrieved by any decision of staff or the HP Commission may appeal that decision to the Board of Adjustment within ten (10) business days of the date of decision (405-297-2623).
- ▶ Certificates of Appropriateness (CAs) will only be issued **after** the ten (10) business day appeal period. Work done prior to the end of the appeal period will be considered a violation.
- ▶ Your project may require additional building permits from the Development Services Department (405-297-2525). A complete copy of your CA and all attached documents must be submitted to the permit office in order to receive your building permit; please keep copies of your Certificate and attachments for your records. If work has been initiated but will not be complete before the expiration of the Certificate of Appropriateness, the applicant may contact staff to request an extension to the CA.
- ▶ **Upon completion of approved work, please contact Historic Preservation staff to request a final inspection of work, or you may let staff know that the work will not be completed.**



The City of
OKLAHOMA CITY

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Staff Only:

Date Stamp

Zoning: HP or HL

District: _____

HPCA- _____ - _____

Received by: _____

NOTE: any relevant permits must be applied for and paid for separately in the Development Services Dept.

NOTE: Contact Historic Preservation Staff for final design inspection when work is complete.

Please select: ☐ New Project ☐ Revision ☒ Extension ☐ Violation Notice Issued

Location of Proposed Work (Address): 605 NW 36th Terrace, Oklahoma City, Oklahoma

Legal Description of Property (lot, block, addition): Lot 015, Block 019, Crown Heights Addition

Year built: 1941 Exterior wall material: CMU Floor area: 1,456 sq.ft.

Itemized Work Items (List EACH ITEM proposed. Work not listed here will NOT be reviewed):

☐ New Construction ☒ Addition ☐ Fence ☐ Demolition (specify structure) _____

☐ Paving (specify) _____ ☐ Renovation (specify) _____

☐ Work not specified above _____

Owner's Authorization

I hereby certify that all above statements and statements contained in all attached and transmitted exhibits are true to the best of my knowledge and belief. In the event this proposal is approved and begun, I agree to complete the changes in accordance with approved plans in a good and workmanlike manner. I authorize the City of Oklahoma City to enter the property for the purpose of observing and photographing the project for presentations and to ensure consistency between the approved proposal and the completed project.

☒ (If applicable): I authorize my representative to speak for me in matters regarding this application. Any agreement made by my representative regarding this proposal will be binding upon me.

Owner's Signature

Bailey Gordon
Bailey Gordon (Oct 30, 2024 09:25 CDT)

Date Oct 30, 2024

Name (printed)

Bailey Gordon

Organization _____

Address

605 NW 36th Terrace

Phone

405-826-7621

City, State, Zip

Oklahoma City, Oklahoma 73118

Email

bailey@baileygordonconsulting.com

I prefer to be: ☐ Mailed or ☐ Emailed.

Representative Signature

Erica Dinnes
Erica Dinnes (Oct 30, 2024 09:28 CDT)

Date Oct 30, 2024

Name (printed)

Erica Dinnes

Organization

Dinnes Studios

Address

559 Pedras Circle

Phone

405-535-5801

City, State, Zip

Newcastle, Oklahoma 73065

Email

westind@dinnesstudio.com

I prefer to be: ☐ Mailed or ☒ Emailed.

Contact: ☐ Owner ☒ Representative

Is Federal money, a federal license or a federal permit included/required for any part of this project? Yes / No

If yes, what Federal agency? No

Is the property owner pursuing the Federal Tax Credits for Rehabilitation of income producing historic properties? Yes / No (For questions concerning the federal tax credit program, telephone the State Historic Preservation Office at (405) 522-4479).

NOTE: Specific deadlines apply to submission of additional documentation or requests for appeals. Should your project be continued or denied, you are responsible for compliance with those deadlines.

SUBMITTAL CHECKLIST

Submit this checklist with the application and supporting documents.*

* Staff and/or the Commission may request additional documents to fully illustrate the proposal.

Intent

The purpose of documentation is to illustrate what the property looks like NOW, what work is proposed, and what the property would look like AFTER proposed work is completed. Please consult staff if you have questions about how to adequately document your proposed project.

Drawing Standards

- 1. Scale
- 2. North arrow /directional reference
- 3. Property lines
- 4. Specification of materials
- 5. Dimensions

Minimum Required Documents

- **A. Scope of Work** – A written description of each proposed work item must be included on the application form itself. Additional pages may be attached if more detail is necessary.
- **B. Documentation of Existing Conditions** – Documentation of the appearance, condition and dimensions of any existing materials to be replaced or altered must be submitted.
 - 1. Clear photos of each work item, printed on regular 8.5x11 paper (no photo paper)
 - 2. Drawings or labeled photos with accurate dimensions and materials (no photo paper)
- **C. Site plans** for existing and proposed work as follows:
 - 1. Buildings (including garages)
 - 2. Fences or fence walls
 - 3. Sidewalks, driveways
 - 4. Landscape elements, including decks, sheds, etc.
- **D. Elevations, floor, and roof plans**, including existing and proposed features and elements:
 - 1. Exterior materials and architectural elements
 - 2. Doors, windows, awnings, light fixtures
 - 3. Porches, stoops, steps, ramps, railings
 - 4. Roof plan (ridgelines, chimneys, vents, gutters, etc.)
- **E. Construction methods and materials**
 - 1. Roof features, including chimneys, turbines, vents, gutters, etc.
 - 2. Brick/masonry color, size, and pattern
 - 3. Siding profile, dimensions, reveal
 - 4. Foundation material, dimensions, and features
- **F. Products**
 - 1. Cut sheet or brochure of any commercial product to be used, with dimensions, materials, and color
 - 2. Photos or drawings of custom products to be used, with dimensions, materials, and color
- **G. Additional documentation for New Construction or Additions**
 - 1. Floor height, with comparison to neighboring properties and primary structure (additions)
 - 2. Total height, with comparison to neighboring properties and primary structure (additions)
 - 3. Site plan with setbacks and siting of neighboring properties
 - 4. Topographical information for existing site and any proposed changes
- **H. Additional Documentation** – Documents as needed to fully define the project, such as illustrations, details, sections, product information, and samples.

Typical Project Requirements

- **Roof replacement**-A, B, C, E, and F
- **Siding replacement**-A, B, C, E, and F
- **Fence replacement**-A, B, C, E and F including height
- **Yard elements (sheds, decks, etc)**-A, B, C, D, E, and F
- **New Construction** – All
- **Additions** – All
- **Window replacement** -See window handout)

DOCUMENTATION FOR PROPOSED WINDOW REPLACEMENT

Applicants are encouraged to repair and retain existing historic windows. In some cases, replacement windows may be justified. In order to review replacement windows for conformance with the *Historic Preservation Design and Sustainability Standards and Guidelines*, the following minimum documentation **must be provided**:

1. **Documentation of the reason for replacement:** photos and written description showing that windows are beyond repair, or explanation that existing windows are not historic. *
2. **Clear photographs of all types of existing windows, printed on regular 8.5x11 paper.** When windows are boarded over, remove boards from typical windows in order to take photographs.
3. **Drawings or measured photos** illustrating dimensions and profile of components of all types of existing windows, including the head, jamb, sill, and muntins (see figure 1).**
4. **Wall section drawings** illustrating the horizontal and vertical sections of all existing** and proposed replacement windows. These drawings should include proposed head, jamb, sill, and muntin section details, and relationship of the frame (if being replaced) to the wall (see figures 2 and 3).
5. **Manufacturer's specifications** for proposed replacement windows, including materials and any glass treatments, such as low emissivity ("Low-E") coating, levels of reflectivity, and visible light transmittance.

**When historic windows do not exist, sections of proposed replacement windows should still be provided. For information about appropriate window design in this case, contact Historic Preservation Commission staff.*

***Wall sections illustrating existing windows are preferred, but labeled photos showing the same information as would be included in the wall section are acceptable.*

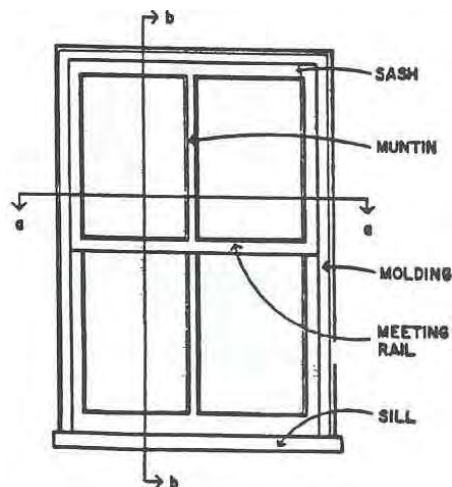


Figure 1

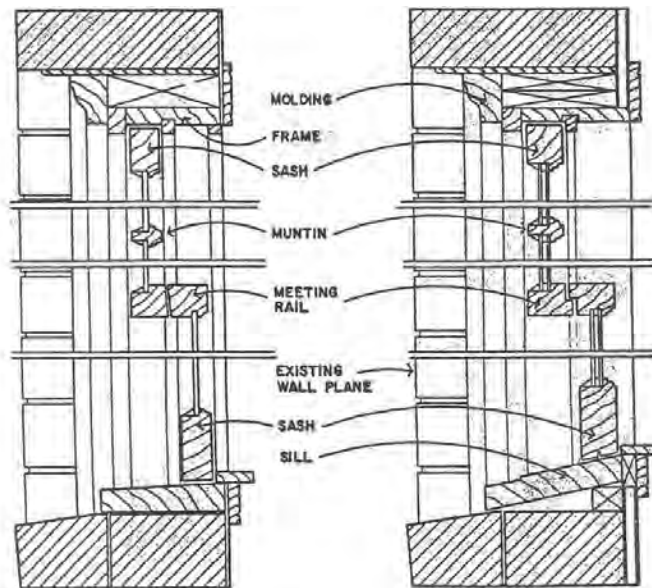


Figure 2

Figure 3

For additional information, contact Historic Preservation Commission staff at (405)297-3084

GORDON RESIDENCE

HP SUBMISSION OVERVIEW

REPORT NO. 03

OCTOBER 30TH, 2024

MEETING AGENDA

DISCUSSION ITEMS

INITIAL INFORMATION

- PROJECT NARRATIVE
- EXISTING PHOTOS
- EXISTING SITE

ARCHITECTURAL SUBMISSION APPENDIX A

- DEMOLTION + EXPANSION
- PLAN LEVEL 01
- SITE PLAN

ARCHITECTURAL SUBMISSION APPENDIX B

- PRODUCT SHEETS

INITIAL INFORMATION

PROJECT NARRATIVE

SCOPE OF WORK:

The project is a 840 SF addition to the existing home at 605 NW 36th Terrace, Oklahoma City, Oklahoma. The addition consists of a primary bedroom suite connected to the home via a small lounge area. The existing kitchen will also be renovated and expanded. The existing home is of cmu block construction of an irregular / non-standard dimension. The addition shall be clad in smooth lap siding (see appendix B) similar to that of neighboring homes in the areas.

INITIAL INFORMATION

EXISTING PHOTOS

KEY TAKEAWAYS:

- Kitchen and Dining
 - Disconnected kitchen and dining room arrangement
 - Limited kitchen space / no pantry
 - Limited dining space
 - Natrual light could be maximized throughout
- Primary Suite
 - No en-suite bathroom
 - Limited storage space / closet space
 - No access to outdoor amenity
- General Design
 - No direct connection to indoor entertainment area



INITIAL INFORMATION

EXISTING SITE

PROJECT SITE:

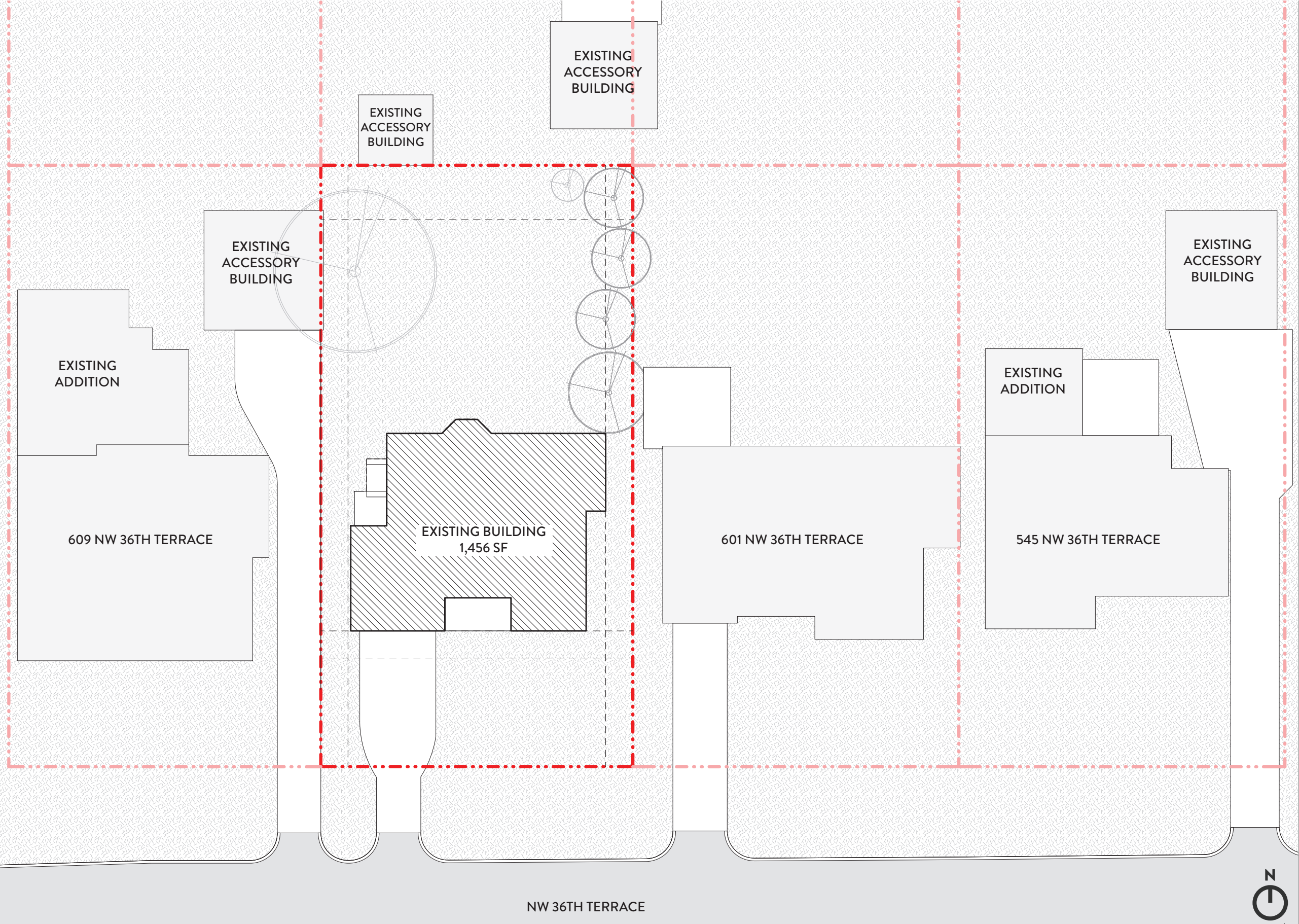
The site is located at 605 NW 36th Terrace in Oklahoma City

PROJECT BRIEF:

Existing footprint 1,456 SF

4.3 Building Additions:

4.3.4 - New additions shall not exceed 50% of the square footage of the footprint of the existing historic structure (enclosed space only), or 750 square feet, whichever is larger, and shall be no taller, no wider, and no deeper than the existing historic structure.



INITIAL INFORMATION

EXISTING SITE

PROJECT SITE:

The site is located at 605 NW 36th Terrace in Oklahoma City

PROJECT BRIEF:

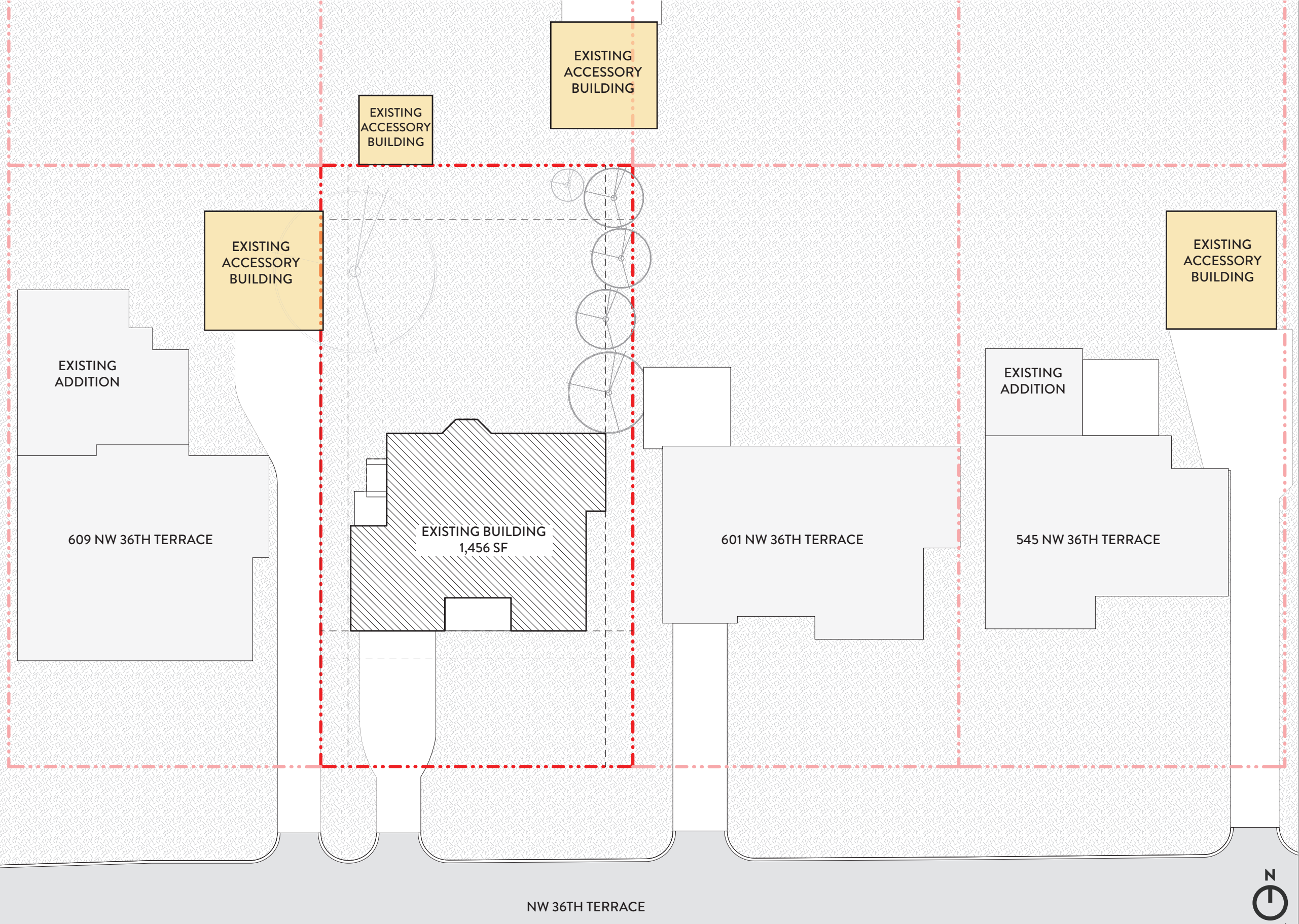
Existing footprint 1,456 SF

Existing Accessory:

The project site is surrounded by various existing accessory buildings and additions, which contribute to the overall context of the area. Highlighting these structures will provide a clearer understanding of the surrounding environment and how the new project will integrate with the existing built forms.

4.3 Building Additions:

4.3.4 - New additions shall not exceed 50% of the square footage of the footprint of the existing historic structure (enclosed space only), or 750 square feet, whichever is larger, and shall be no taller, no wider, and no deeper than the existing historic structure.



INITIAL INFORMATION

EXISTING SITE

PROJECT SITE:

The site is located at 605 NW 36th Terrace in Oklahoma City

PROJECT BRIEF:

Existing footprint 1,456 SF

Existing Accessory:

The project site is surrounded by various existing accessory buildings and additions, which contribute to the overall context of the area. Highlighting these structures will provide a clearer understanding of the surrounding environment and how the new project will integrate with the existing built forms.

Extent Lines:

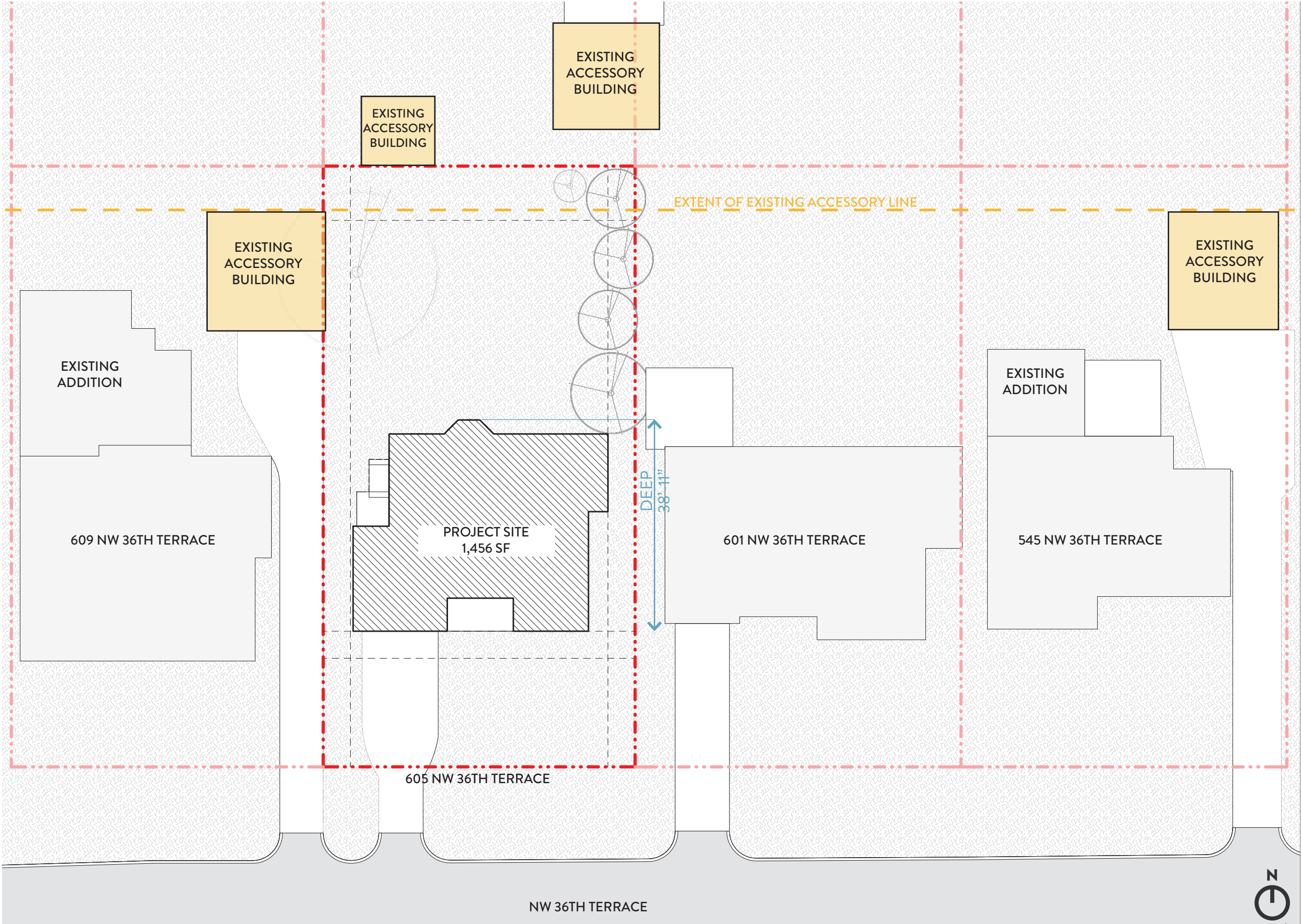
Showing the extent of the overall length of the existing buildings and accessory buildings that will affect the extent of the new addition.

Existing Footprint Length:

38' - 11" Deep

4.3 Building Additions:

4.3.4 - New additions shall not exceed 50% of the square footage of the footprint of the existing historic structure (enclosed space only), or 750 square feet, whichever is larger, and shall be no taller, no wider, and no deeper than the existing historic structure.



INITIAL INFORMATION

EXISTING SITE

PROJECT SITE:

The site is located at 605 NW 36th Terrace in Oklahoma City

PROJECT BRIEF:

Existing footprint 1,456 SF
New addition footprint 840 SF

Existing Accessory:

The project site is surrounded by various existing accessory buildings and additions, which contribute to the overall context of the area. Highlighting these structures will provide a clearer understanding of the surrounding environment and how the new project will integrate with the existing built forms.

Extent Building Lines:

The overall length of the existing buildings and accessory buildings must be fully accounted for.

Existing Footprint Length:

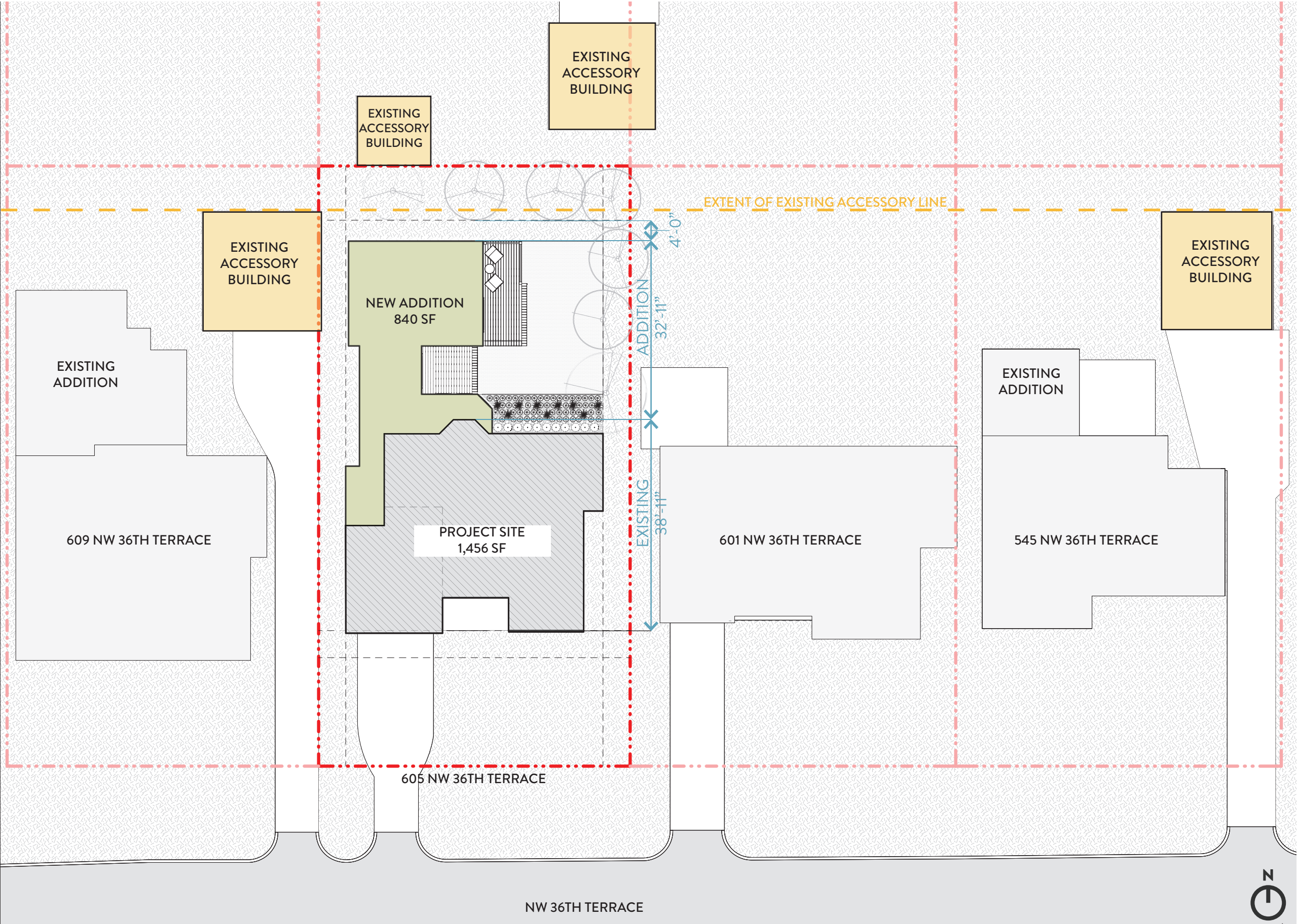
38' - 11" Deep

New Addition Footprint Length:

32' - 11" Deep

4.3 Building Additions:

4.3.4 - New additions shall not exceed 50% of the square footage of the footprint of the existing historic structure (enclosed space only), or 750 square feet, whichever is larger, and shall be no taller, no wider, and no deeper than the existing historic structure.



PROJECT TEAM:

OWNER: BAILEY GORDON
PHONE: 405-826-7621
605 NW 36TH TERRACE,
OKLAHOMA CITY, OK 73118

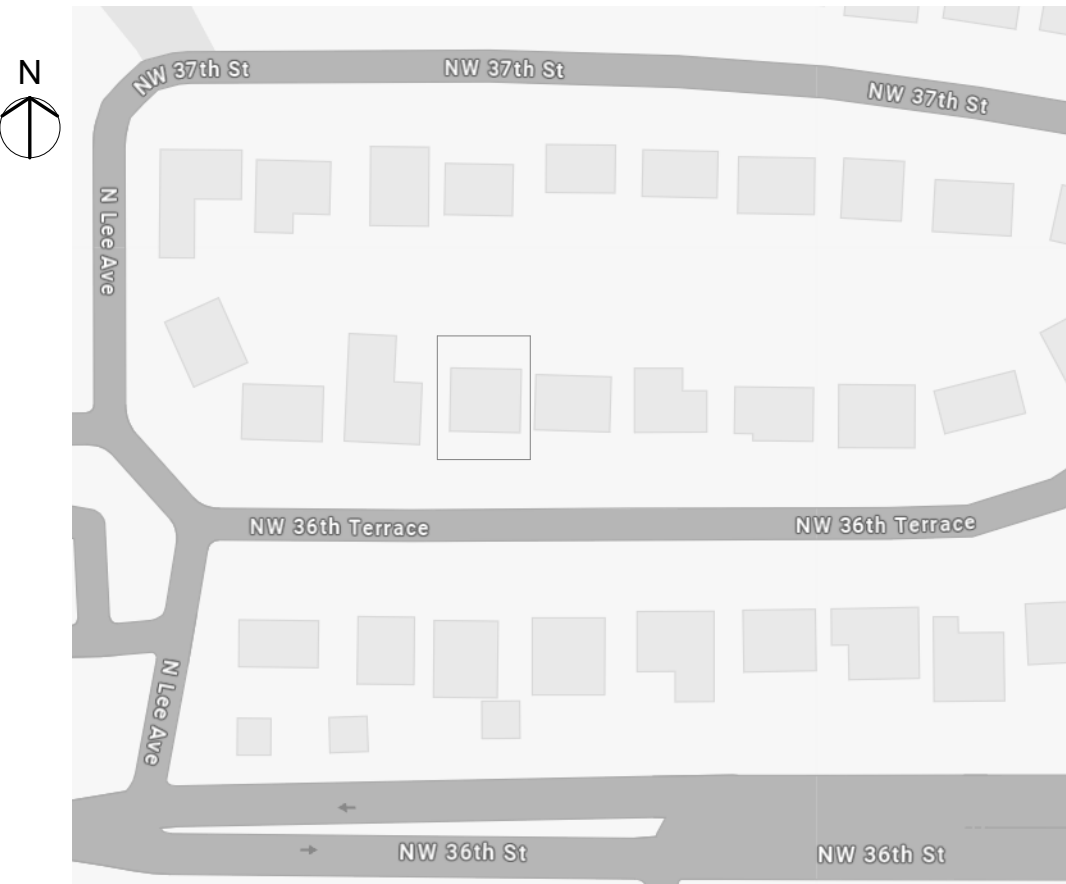
ARCHITECT:
DINNES STUDIO
PHONE: 713-205-0110
EMAIL: ERICAD@DINNESSTUDIO.COM
WEB: DINNESSTUDIO.COM

GENERAL CONTRACTOR:
MONARCH PROPERTIES
ERICA EMORY
PHONE: 405-514-5114
EMAIL:ERICA@MONARCHPROPERTIESOKC.COM

9/30/2024

GORDON RESIDENCE

VICINITY MAP:



SHEET LIST:

DRAWING ISSUE REGISTER					DAY	30
					MONTH	09
					YEAR	24
					50% CONSTRUCTION DOCUMENTS	
SHEET NUMBER	SHEET NAME	SCALE	SIZE	REV		
000 GENERAL						
000	COVER SHEET	NTS	24"X36"	-		
004	GENERAL NOTES AND DETAILS	AS NOTED	24"X36"	-		
005	EXISTING PHOTOS	AS NOTED	24"X36"	-		
091	SITE PLAN	AS NOTED	24"X36"	-		
092	LANDSCAPE PLAN	AS NOTED	24"X36"	-		
100 PLANS						
095	FOUNDATION PLAN	1/4" = 1'-0"	24"X36"	-		
096	PLUMBING FIXTURE SET-OUT PLAN	1/4" = 1'-0"	24"X36"	-		

DRAWING ISSUE REGISTER					DAY	30
					MONTH	09
					YEAR	24
					50% CONSTRUCTION DOCUMENTS	
SHEET NUMBER	SHEET NAME	SCALE	SIZE	REV		
101	PLAN LEVEL 01	1/4" = 1'-0"	24"X36"	-		
103	ROOF PLAN	1/4" = 1'-0"	24"X36"	-		
111	REFLECTED CEILING PLAN LEVEL 01	1/4" = 1'-0"	24"X36"	-		
121	FRAMING PLAN LEVEL 01	AS NOTED	24"X36"	-		
D101	DEMOLITION PLAN LEVEL 01	AS NOTED	24"X36"	-		
200 ELEVATIONS						
201	BUILDING ELEVATIONS	1/4" = 1'-0"	24"X36"	-		
400 ASSEMBLY						
401	INTERIOR ELEVATIONS	1/4" = 1'-0"	24"X36"	-		

DINNES STUDIO

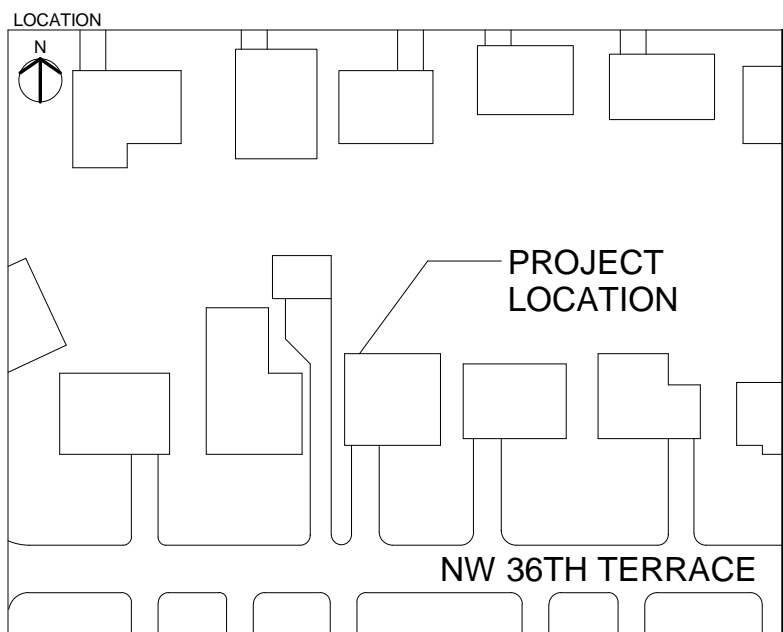
PROJECT TITLE:
GORDON RESIDENCE

NOTES:

REVISIONS:

8/30/2024 50% CONSTRUCTION DOCUMENTS

KEY:



PROJECT TEAM			
CLIENT:	BAILEY GORDON		
CONTRACTOR:	MONARCH PROPERTIES		
project title			
GORDON RESIDENCE			
drawing title			
GENERAL NOTES AND DETAILS			
scale		status	
As indicated @ 24"x36"		PRELIM	
project number	discipline	drawing no	revision
24725	ARCH	004	-

ABBREVIATIONS		ABBREVIATIONS	
TEXT	ABBV DESCRIPTION	TEXT	ABBV DESCRIPTION
A/C	AIR CONDITIONING	L.T.	LIGHT
ACOUST	ACOUSTICAL	LW	LIGHTWEIGHT
ADJ	ADJACENT	LWC	LIGHTWEIGHT CONCRETE
A.F.F.	ABOVE FINISH FLOOR	MAS	MASONRY
ALUM	ALUMINIUM	MAX	MAXIUM
ARCH	ARCHITECT, ARCHITECTURE	MDF	MEDIUM DENSITY FIBERBOARD
BD	BOARD	MECH	MECHANICAL
BLDG	BUILDING	MED	MEDIUM
BLK	BLOCK	M.H.	MANHOLE
BLKG	BLOCKING	MIC	MICROWAVE
B.M.	BENCH MARK	MIN	MINIMUM
BRNG	BEARING	MISC	MISCELLANEOUS
B.S.	BOTH SIDES	M.O.	MASONRY OPENING
BSMT	BASEMENT	MOD	MODULAR
BTM	BOTTOM	MT	MOUNT, MOUNTED, MOUNTING
B.W.	BOTH WAYS	MTL	METAL
		MULL	MULL
CAB	CABINET	N	NORTH
CEM	CEMENT	NAT	NATURAL
CF	CUBIC FEET	NIC	NOT IN CONTRACT
C.I.	CAST IRON	NOM	NOMINAL
CIR	CIRCLE	N.R.	NOISE REDUCTION
CIRC	CIRCUMFERENCE	N.R.C	NOISE REDUCTION COEFFICIENT
C.J.	CONTROL JOINT	N.T.S.	NOT TO SCALE
CL	CENTERLINE		
CLG	CEILING	O.A.	OVERALL
CLG HT	CEILING HIEIGHT	O.C.	ON CENTER
CLR	CLEAR, CLEARANCE	O.D.	OUTSIDE DIAMETER
CLST	CLOSET	O.H.	OPPOSITE HAND
CMU	CONCRETE MASONRY UNIT	OPG	OPENING
C.O.	CLEAN OUT	OPP	OPPOSITE
COL	COLUMN	OSB	ORIENTED STRAND BOARD
COMP	COMPOSITION		
CONC	CONCRETE	PED	PEDESTAL
CONST	CONSTRUCTION	PERF	PERFORATE, PERFORATED
CONT	CONTINUOUS, CONTINUE	P.L.	PROPERTY LINE
CONTR	CONTRACT, CONTRACTOR	PLAM	PLASTIC LAMINATE
CORR	CORRUGATED	PLYWD	PLYWOOD
CPT	CARPET, CARPETED	P.S.F.	POUNDS PER SQUARE FOOT
CS	COUNTERSINK	P.S.I.	POUNDS PER SQUARE INCH
C.T.	CERAMIC TILE	PT	POINT
CY	CUBIC YARD	PVC	POLYVINYL CHLORIDE
D	DEPTH	R	RISER
DEMO	DEMOLISH, DEMOLITION	R.A.	RETURN AIR
D.H.	DOUBLE HUNG	RAD	RADIUS
DIA	DIAMETER	R.B.	RUBBER BASE
DIAG	DIAGONAL	R.D.	ROOF DRAIN
DIAMETER		RE	REFER TO
DIM	DIMENSION	REFLECT	REFLECTOR
D.L.	DEAD LOAD	REV	REVISION, REVISIONS, REVISED
DR	DOOR	RM	ROOM
D.S.	DOWNSPOUT	R.O.	ROUGHT OPENING
DTL	DETAIL	R.O.W.	RIGHT OF WAY
DW	DISHWASHER		
DWG	DRAWING	S	SOUTH
		S.C.	SOLID CORE
E	EAST	SCHED	SCHEDULE
EA	EACH	S.D.	STORM DRAIN
E.F.	EACH FACE	SECT	SECTION
E.J.	EXPANSION JOINT	SHT	SHEET
EL	ELEVATION	SIM	SIMILAR
ELEC	ELECTRIC, ELECTRICAL	S.J.	SAW JOINT
ELEV	ELEVATOR	S.P.	SOUND PROOF
EMERG	EMERGENCY	SPEC	SPECIFICATION, SPECIFICATIONS
ENCL	ENCLOSE, ENCLOSURE	SPK	SPEAKER
E.P.	ELECTRICAL PANELBOARD	SQ	SQUARE
EQ	EQUAL	S.S.	STAINLESS STEEL
EQUIP.	EQUIPMENT	STD	STANDARD
EST	ESTIMATE	STL	STEEL
EXH	EXHAUST	STOR	STORAGE
EXIST	EXISTING	STRUCT	STRUCTURE, STURACTURAL
EXP	EXPOSED	SUSP	SUSPENDED
EXT	EXTERIOR		
		T	TREAD
F.A.	FIRE ALARM	T&G	TONGUE AND GROOVE
F.D.	FLOOR DRAIN	TEL	TELEPHONE
F.E.	FIRE EXTINGUISHER	T.O.	TOP OF
F.E.C.	FIRE EXTINGUISHER CABINET	T.O.M.	TOP OF MANSORY
F.F.	FINISHED FLOOR	T.O.P.	TOP OF PARAPET
F.F.L.	FINISHED FLOOR LINE	T.O.S.	TOP OF SLAB
FIN	FINISH, FINISHED	T.O.W.	TOP OF WALL
FLR	FLOOR, FLOORING	T.V.	TELEVISION
F.S.	FULL SIZE	TYP	TYPICAL
FT	FOOT, FEET		
FTG	FOOTING	U.C.	UNDER COUNTER
		UNO	UNLESS NOTED OTHERWISE
GA	GAGE, GAUGE		
GALV	GALVANIZED	VCT	VINYL COMPOSITION TILE
G.C.	GENERAL CONTRACTOR	VERT	VERTICAL
GYP	GYPSUM BOARD	VIF	VERIFY IN FIELD
		VIN	VINYL
		VJ	V-JOINT, V-JOINTED
HARDBD	HARDBOARD		
H.B.	HOSE BIBB		
H.C.	HOLLOW CORE	W	WEST
H.D.	HEAVY DUTY	W	WIDTH, WIDE
HDW	HARDWARE	W/	WITH
H.M.	HOLLOW METAL	W/O	WITHOUT
HORIZ	HORIZONTAL	W.C.	WATER CLOSET
HT	HEIGHT	WD	WOOD
HTG	HEATING	WIN	WINDOW
HVAC	HEATING / VENTILATING / AIR CONDITIONING		
H.W.H.	HOT WATER HEATER		
I.D.	INSIDE DIAMETER		
INCL	INCLUDE, INCLUDED, INCLUDING		
INSUL	INSULATE, INSULATED, INSULATION		
INT	INTERIOR		
JAN	JANITOR, JANITORS		
J.B.	JOIST BEARING		
J.T.	JOINT		
KIT	KITCHEN		
L	LENGTH		
LAD	LADDER		
LAM	LAMINATE, LAMINATED		
LAV	LAVATORY		
L.H.	LEFT HAND		
L.L.	LIVE LOAD		

GENERAL NOTES - PROJECT RELATED:

CODE COMPLIANCE - ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL BUILDING CODES. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE COMPLIANCE WITH ALL APPLICABLE CODES AND TO ENSURE ALL PLANS MEET OR EXCEED APPLICABLE CODES BEFORE CONSTRUCTION BEGINS. THE GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL REVIEW ALL PLANS AND PROMPTLY NOTIFY DINNES STUDIO OF ANY NECESSARY CHANGES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

INSTALLATION - IT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR OR DESIGNATED STRUCTURAL ENGINEER TO ENSURE THE PROPER MATERIALS AND CONSTRUCTION TECHNIQUES ARE SELECTED TO CONSTRUCT THIS PROJECT TO ENSURE IT MEETS OR EXCEEDS APPLICABLE SAFETY STANDARDS AND LOAD REQUIREMENTS.

SAFETY - THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR ENSURING ALL SAFETY PRECAUTIONS OR SAFETY PROGRAMS ARE USED TO PROVIDE A SAFE WORK SITE. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING PROPER STRUCTURAL SHORING AND BRACING ARE IN PLACE DURING CONSTRUCTION. DINNES STUDIO ACCEPTS NO RESPONSIBILITY FOR MEANS, METHODS AND TECHNIQUE OF CONSTRUCTION EMPLOYED BY THE GENERAL CONTRACTOR.

WALLS - ALL EXTERIOR WALLS ARE 2X6 STUDS @ 16" O.C., AND ALL INTERIOR WALLS ARE 2X4 STUDS @ 16" O.C., UNLESS NOTED OTHERWISE OR REQUIRED BY STRUCTURAL INTEGRITY OR PLUMBING.

DIMENSIONS - GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND ELEMENTS PRIOR TO CONSTRUCTION. SHOULD THERE BE ANY DISCREPANCY BETWEEN THE DRAWING DIMENSIONS AND FIELD DIMENSIONS, THE FIELD DIMENSIONS SHALL GOVERN AND THE ARCHITECT SHALL BE NOTIFIED.

COVENANTS - THE GENERAL CONTRACTOR IS RESPONSIBLY FOR NOTIFYING DINNES STUDIO AND ENSURING COMPLIANCE WITH ANY APPLICABLE CODES, COVENANTS AND RESTRICTIONS.

SITE SURVEY - THIS DRAWING SET MAKES NO REFERENCE TO A SITE SURVEY, ANY REFERENCE TO EASEMENTS, PROPERTY LINES, OR SITE ELEMENTS SHOULD BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO CONSTRUCTION.

GENERAL NOTES - FOUNDATION:

- PROVIDE A MINIMUM OF 4" SAND FILL BELOW GARAGE SLAB.
- PROVIDE A MINIMUM OF 8" SAND FILL BELOW MAIN RESIDENCE SLAB.
- SLAB EDGE ON SHEET 095 SHOWN TO EXTERIOR EDGE OF THE STUD CAVITY.

EXCAVATION - ALL FOOTINGS ARE TO REST ON UNDISTURBED SOIL AND BELOW THE LOCAL FROST LINE. THE FOUNDATION ELEVATION LEVEL TO BE ABOVE THE FLOOD PLAIN AS REQUIRED BY CODE.

DRAINAGE - THE GENERAL CONTRACTOR SHALL ENSURE THAT THE FINISHED GRADE SUFFICIENTLY SLOPES AWAY FROM THE STRUCTURE SO AS TO PREVENT WATER STANDING OR FLOWING TOWARD THE STRUCTURE OR INTO THE ADJACENT PROPERTY. DRAINAGE SHALL BE PROPERLY TRANSFERRED INTO THE EXISTING LOT SURFACE WATER DRAINING SYSTEM. ANY AREA DRECIY IMPACTED BY THE ADDITION SHALL BE MODIFIED TO RESTORE EXISTING SURFACE WATER DRAINAGE.

CONCRETE - ALL CONCRETE WILL BE OF A CONSISTENT MIX TO THE RECOMMENDATION OF THE MANUFACTURER FOR THE SOIL TYPE AND SITE SPECIFIC CONDITIONS. REINFORCED STEEL SHALL BE USED AS REQUIRED BY CODE AND STANDARD BUILDING PRACTICES.

ANCHOR BOLTS - ANCHOR BOLTS SHALL BE PLACED IN THE FOUNDATION SLAB DURING THE FOUNDATION POUR A MINIMUM OF 7" DEEP AND SPACED NO LESS THAN 6 FEET APART OR 1 FOOT FROM ANY CORNER.

SOIL TESTING - NO SOIL TESTING HAS BEEN CONDUCTED ON THE SITE, AND FAILURE TO CONDUCT SUCH TESTS BEFORE CONSTRUCTION WILL BE AT THE SOLE RISK OF THE HOMEOWNER.

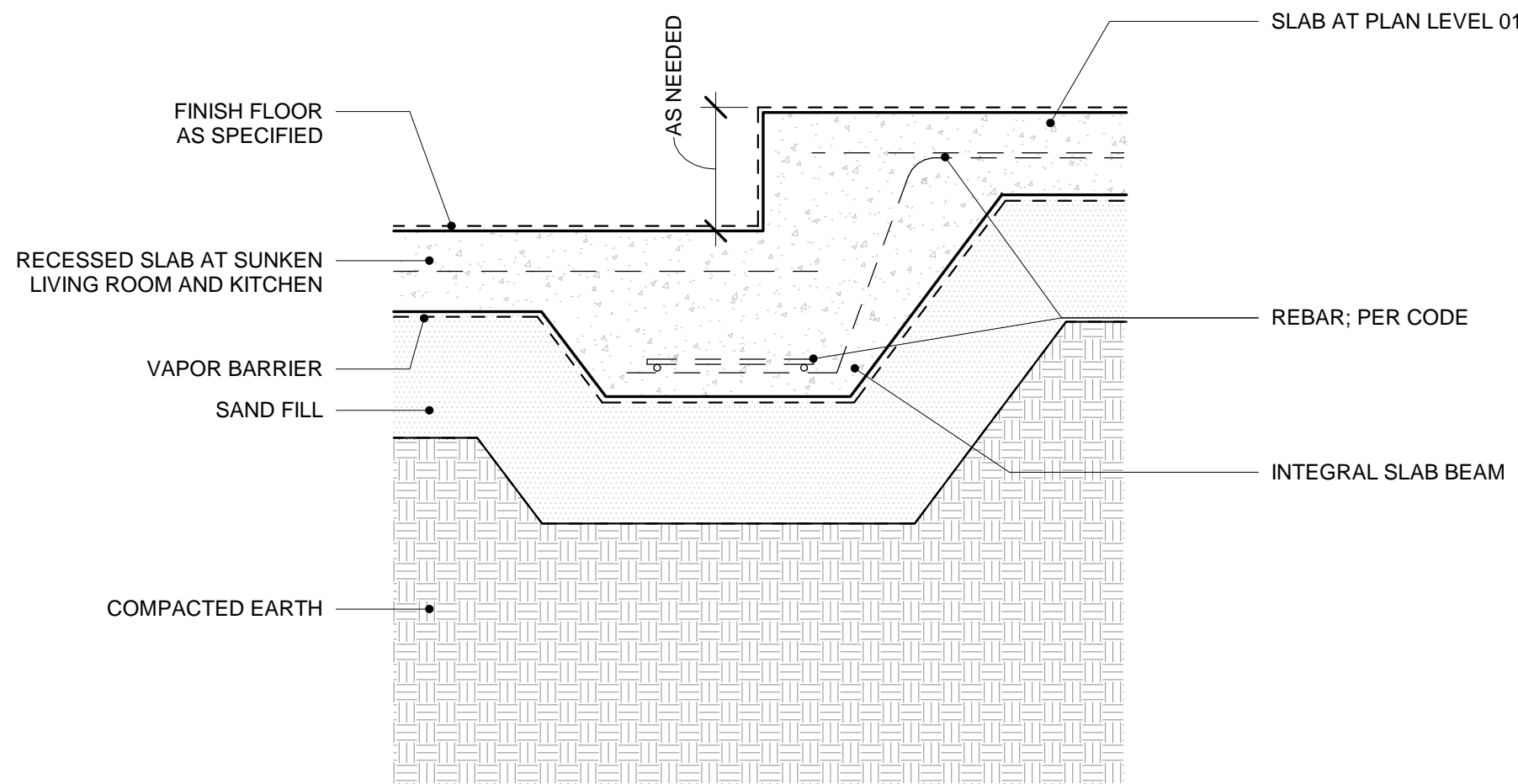
ENGINEERING - THE FOUNDATION PLAN AND TYPICAL FOUNDATION DETAILS WERE NOT PREPARED BY A LICENSED ENGINEER. DINNES STUDIO RECOMMENDS A QUALIFIED PROFESSIONAL ENGINEER BE CONSULTED PRIOR TO CONSTRUCTION WHO WILL TAKE INTO ACCOUNT THE RESULTS OF SOIL TESTING AND A/L LOAD CONSIDERATIONS. A QUALIFIED PROFESSIONAL ENGINEER SHALL SPECIFY ALL FOUNDATION WALLS, SLABS, FOOTINGS, SUPPORT BEAMS, AND WEB TRUSSES.

GENERAL NOTES - DRAWING SET:

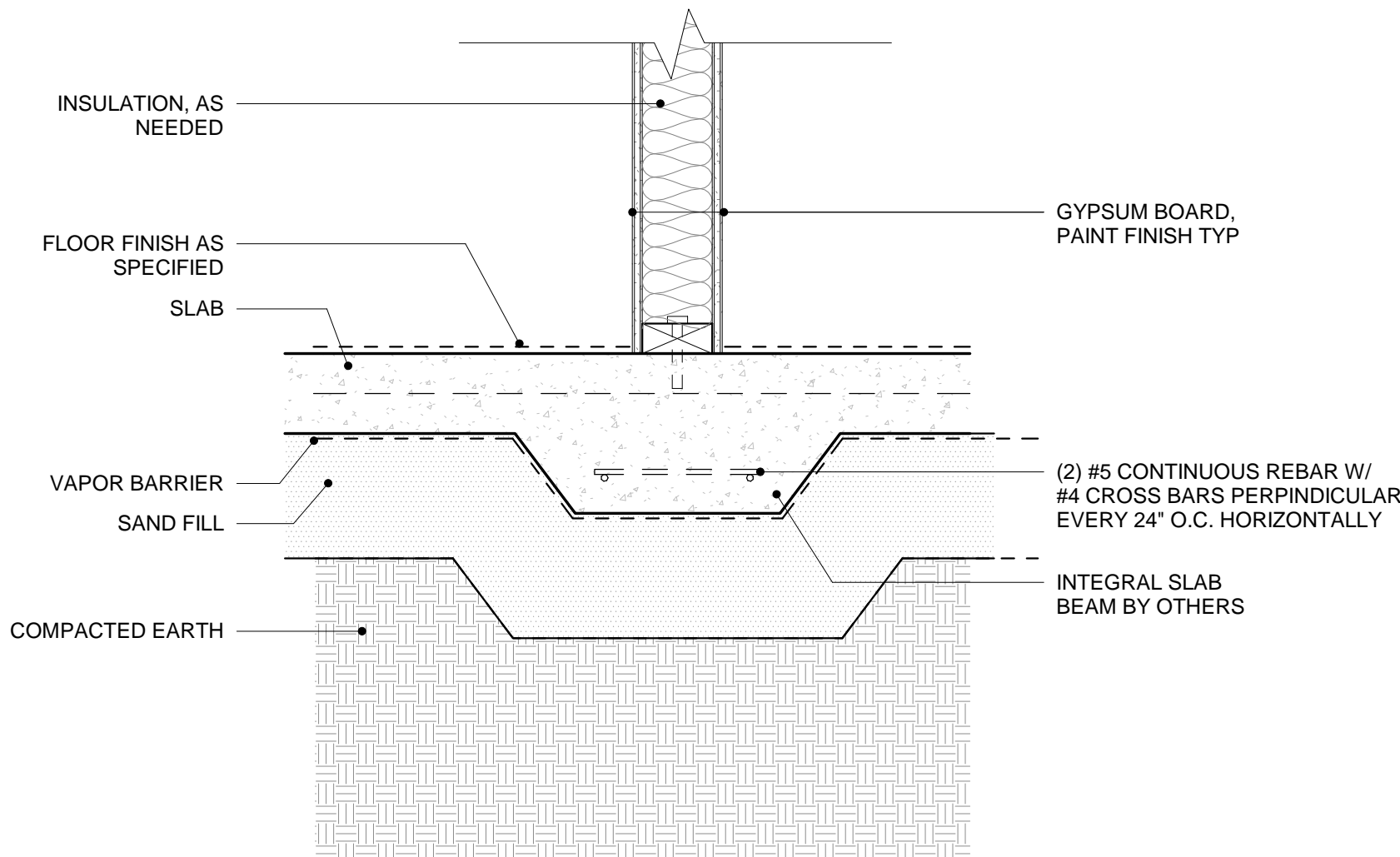
USE - THIS DRAWING SET HAS BEEN PREPARED FOR THE EXCLUSIVE USE BY **BAILEY GORDON**. THIS DRAWING SET IS FOR THE SINGLE USE OF CONSTRUCTING THE GORDON RESIDENCE AT 605 NW 36TH TERRACE IN OKLAHOMA CITY, OKLAHOMA. DINNES STUDIO ACCEPTS NO RESPONSIBILITY FOR ANY ADDITIONAL USE, ALTERNATION OR DUPLICATION OF THESE DRAWINGS.

ALL DRAWING SHEETS ARE **ARCH D, 24"x36"**. DINNES STUDIO ACCEPTS NO RESPONSIBILITY FOR SCALING OF THESE DRAWINGS BEYOND WHAT IS INDICATED ON EACH, INDIVIDUAL SHEET.

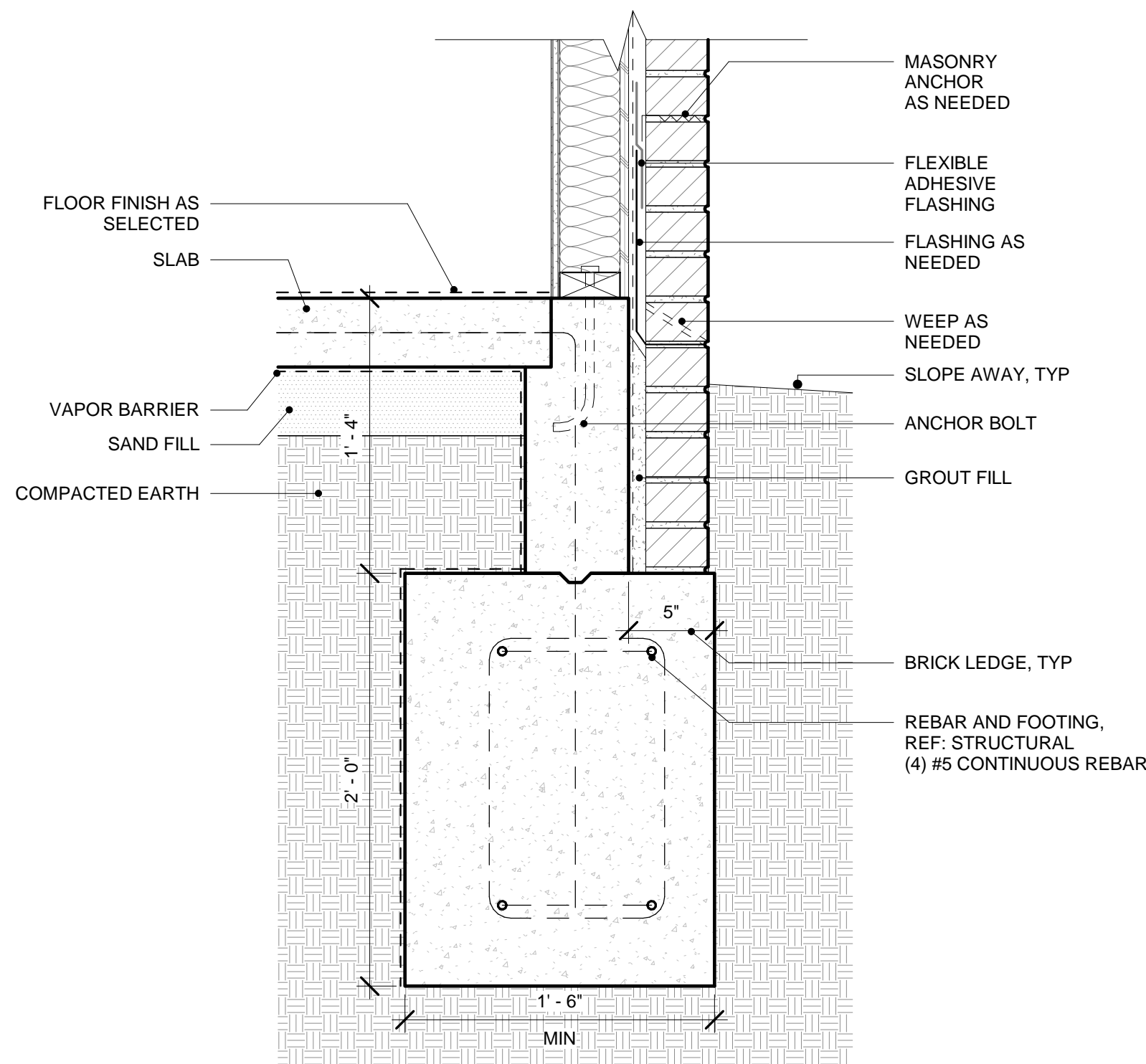
THESE PLANS ARE THE PROPERTY OF DINNES STUDIO AND ARE PROTECTED UNDER COMMON COPYRIGHT LAW.



03 DETAIL - SUNKEN SLAB
1 1/2" = 1'-0"



01 DETAIL - INTEGRAL SLAB BEAM
1 1/2" = 1'-0"



02 DETAIL - SLAB EDGE AND FOOTING, TYP
1 1/2" = 1'-0"

DINNES STUDIO

PROJECT TITLE:
GORDON RESIDENCE

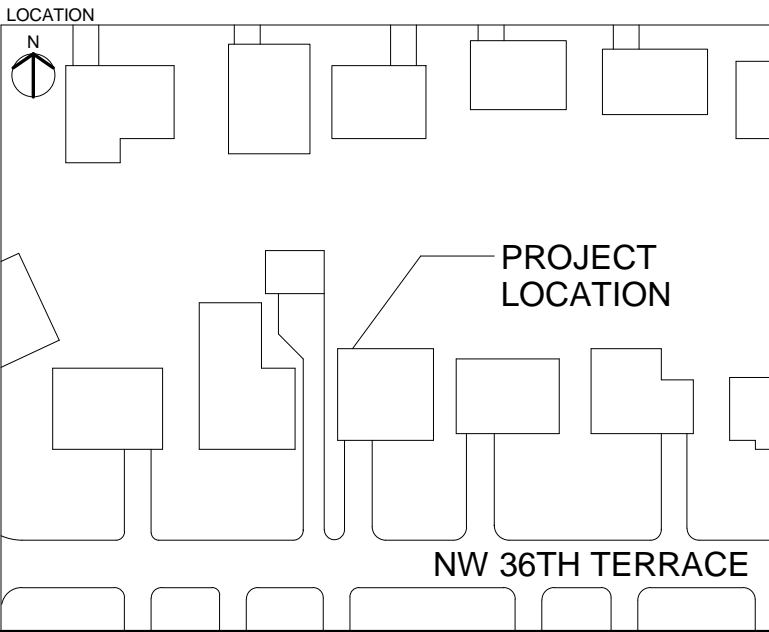
- NOTES:
- GENERAL NOTES:
- REFERENCE SHEET 004 FOR ALL OTHER GENERAL NOTES PERTAINING TO THIS PROJECT AND DRAWING SET.
 - GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND ELEMENTS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND PROMPTLY NOTIFY DINNES STUDIO OF ANY ALTERATION OR CHANGES REQUIRED. SHOULD THERE BE ANY DISCREPANCY BETWEEN THE DRAWING DIMENSIONS AND FIELD DIMENSIONS, THE FIELD DIMENSIONS SHALL GOVERN AND THE ARCHITECT SHALL BE NOTIFIED.
 - USE OF THIS DRAWING SET CONSTITUTES AGREEMENT WITH AND ACCEPTANCE OF ALL GENERAL NOTES RELATED TO THIS DRAWING SET.

REVISIONS:

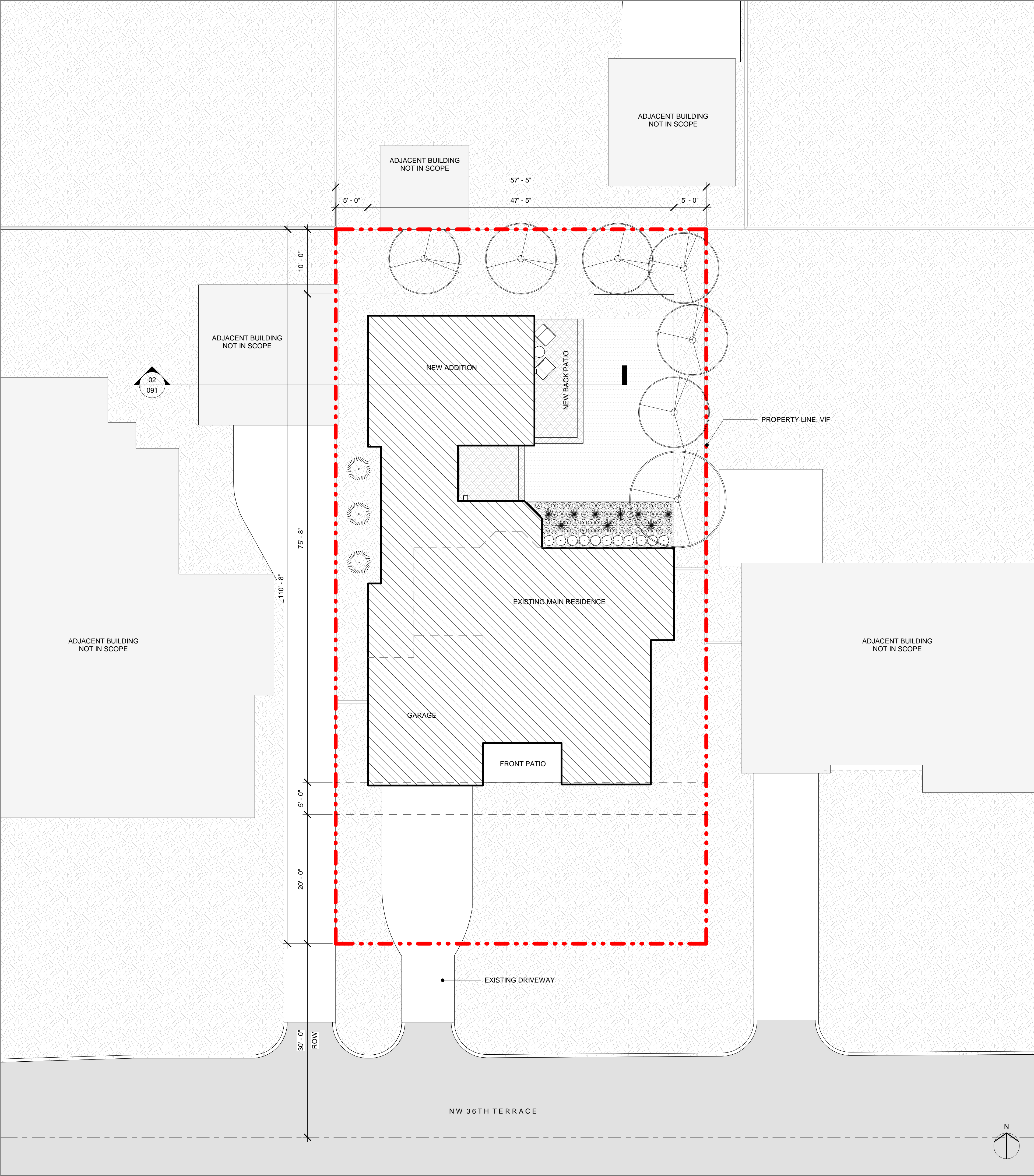
-	9/30/2024	50% CONSTRUCTION DOCUMENTS
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KEY:

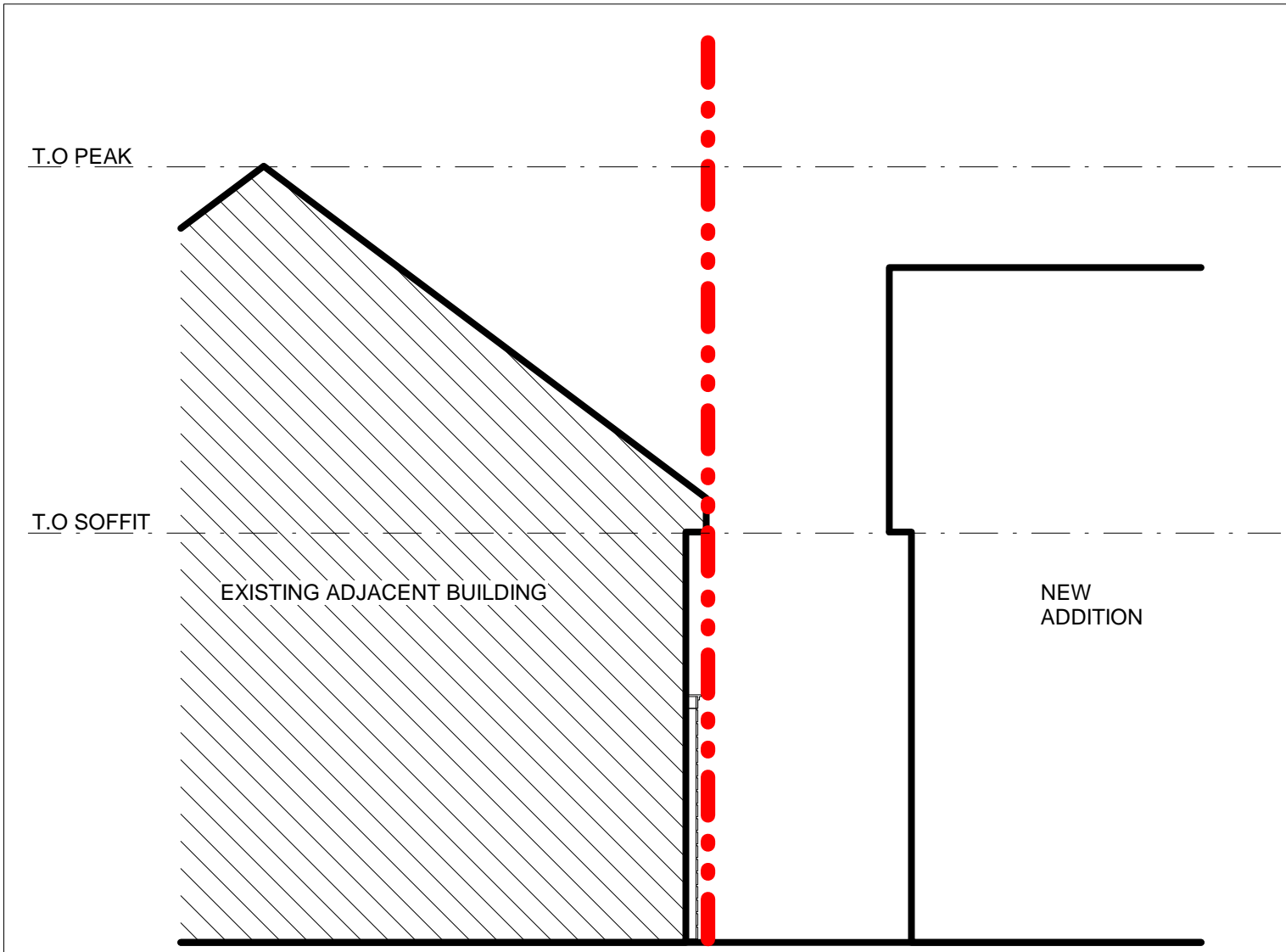
PRELIM



PROJECT TEAM			
CLIENT:	BAILEY GORDON		
CONTRACTOR:	MONARCH PROPERTIES		
project title			
GORDON RESIDENCE			
drawing title			
SITE PLAN			
scale		status	
As indicated @ 24"x36""		PRELIM	
project number	discipline	drawing no	revision
24725	ARCH	091	-



01 | SITE PLAN
1/8" = 1'-0"



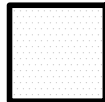
02 | Section 1
1/4" = 1'-0"

LEGEND - LANDSCAPING:				
TAG	PLANT SPACING	PLANT QUANTITY	PLANT SYMBOL	COMMON NAME BOTANICAL NAME
PLANTS, SHURBS AND TREES				
P1	24" O.C.	35		MEXICAN FEATHERGRASS (<i>NASSELLA TENUISSIMA</i>)
P2	24" O.C.	11		RED YUCCA (<i>HESPERALOE PARVIFLORA</i>)
P3	18" O.C.	11		SILVER DOWNY WILLOW (<i>SALIX LAPPONUM</i>)
T1	-	4		EXISTING TREE
T2	-	3		ALLEE ELM (<i>ULMUS PARVIFOLIA 'EMER II'</i>)
T3	-	3		ITALIAN CYPRESS (<i>ULMUS PARVIFOLIA 'EMER II'</i>)

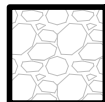
LANDSCAPE HATCH LEGEND:



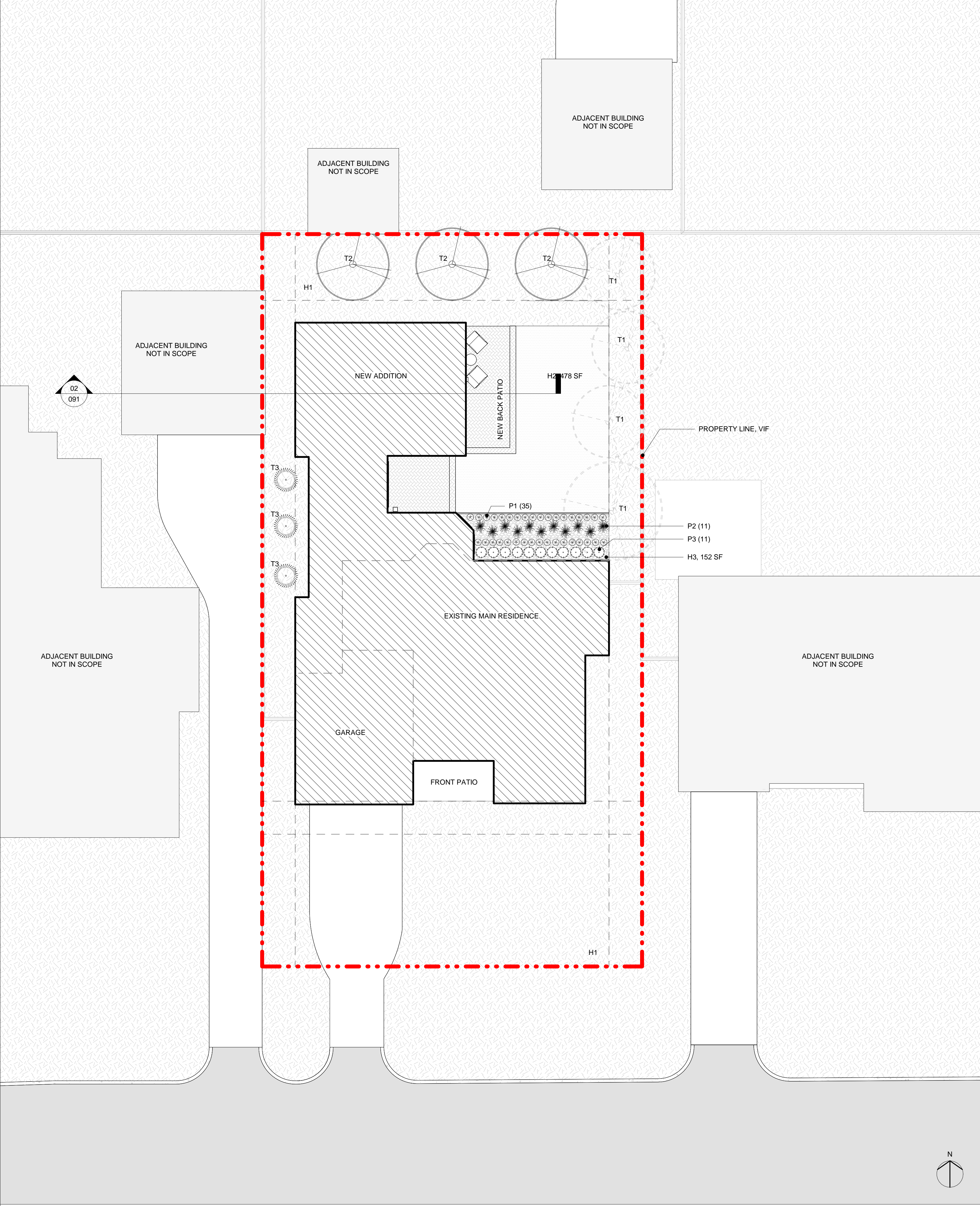
H1 - SODDED AREA



H2 - 3/8" DESERT GOLD SCREENINGS, MINIMUM 3" DEPTH WITH LANDSCAPING FABRIC UNDERNEATH



H3 - 2-3" KIOWA RIVER ROCK, MIN 2" DEPTH, WITH LANDSCAPING FABRIC UNDERNEATH



10/28/2024 10:39:38 AM

DINNESSTUDIO

PROJECT TITLE:
GORDON RESIDENCE

NOTES:

GENERAL NOTES:

01. REFERENCE SHEET 004 FOR ALL OTHER GENERAL NOTES PERTAINING TO THIS PROJECT AND DRAWING SET.

02. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND ELEMENTS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND PROMPTLY NOTIFY DINNES STUDIO OF ANY ALTERATION OR CHANGES REQUIRED. SHOULD THERE BE ANY DISCREPANCY BETWEEN THE DRAWING DIMENSIONS AND FIELD DIMENSIONS, THE FIELD DIMENSIONS SHALL GOVERN AND THE ARCHITECT SHALL BE NOTIFIED.

03. USE OF THIS DRAWING SET CONSTITUTES AGREEMENT WITH AND ACCEPTANCE OF ALL GENERAL NOTES RELATED TO THIS DRAWING SET.

REVISIONS:

- 9/30/2024 50% CONSTRUCTION DOCUMENTS

KEY:

PRELIM

LOCATION

PROJECT LOCATION

NW 36TH TERRACE

PROJECT TEAM

CLIENT: BAILEY GORDON

CONTRACTOR: MONARCH PROPERTIES

project title
GORDON RESIDENCE

drawing title
LANDSCAPE PLAN

scale
As indicated @ 24"X36"

status
PRELIM

project number
24725

discipline
ARCH

drawing no
092

revision
-

01 | LANDSCAPE PLAN
1/8" = 1'-0"

DINNES STUDIO

PROJECT TITLE:
GORDON RESIDENCE

NOTES:

GENERAL NOTES:

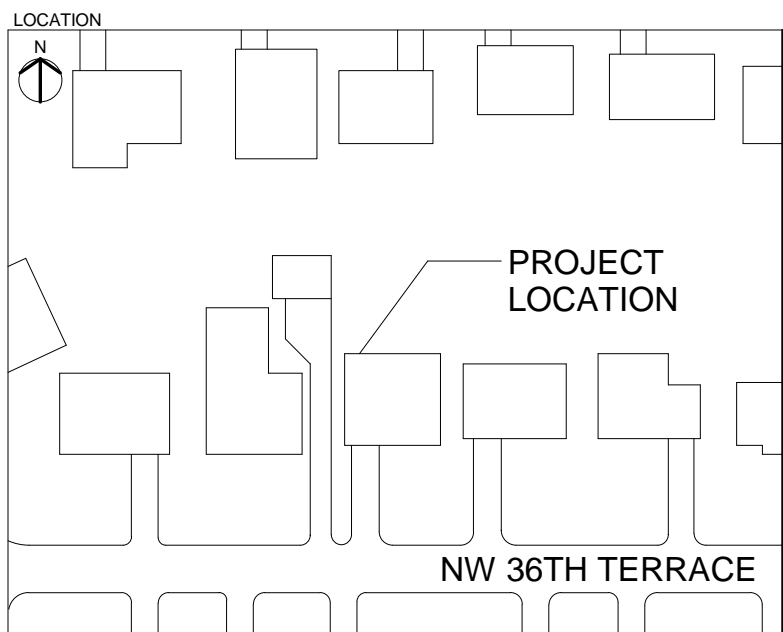
- REFERENCE SHEET 004 FOR ALL OTHER GENERAL NOTES PERTAINING TO THIS PROJECT AND DRAWING SET.
- GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND ELEMENTS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND PROMPTLY NOTIFY DINNES STUDIO OF ANY ALTERATION OR CHANGES REQUIRED. SHOULD THERE BE ANY DISCREPANCY BETWEEN THE DRAWING DIMENSIONS AND FIELD DIMENSIONS, THE FIELD DIMENSIONS SHALL GOVERN AND THE ARCHITECT SHALL BE NOTIFIED.
- USE OF THIS DRAWING SET CONSTITUTES AGREEMENT WITH AND ACCEPTANCE OF ALL GENERAL NOTES RELATED TO THIS DRAWING SET.
- FOUNDATION AND FOOTING INFORMATION FOR REFERENCE ONLY.
- OUTSIDE FACE OF STEMWALL SHOWN TO OUTSIDE FACE OF STUD. SHEATHING IS ASSUME TO BE 1/2" THICK, UNLESS NOTED OTHERWISE OR REQUIRED FOR STRUCTURAL INTEGRITY.

REVISIONS:

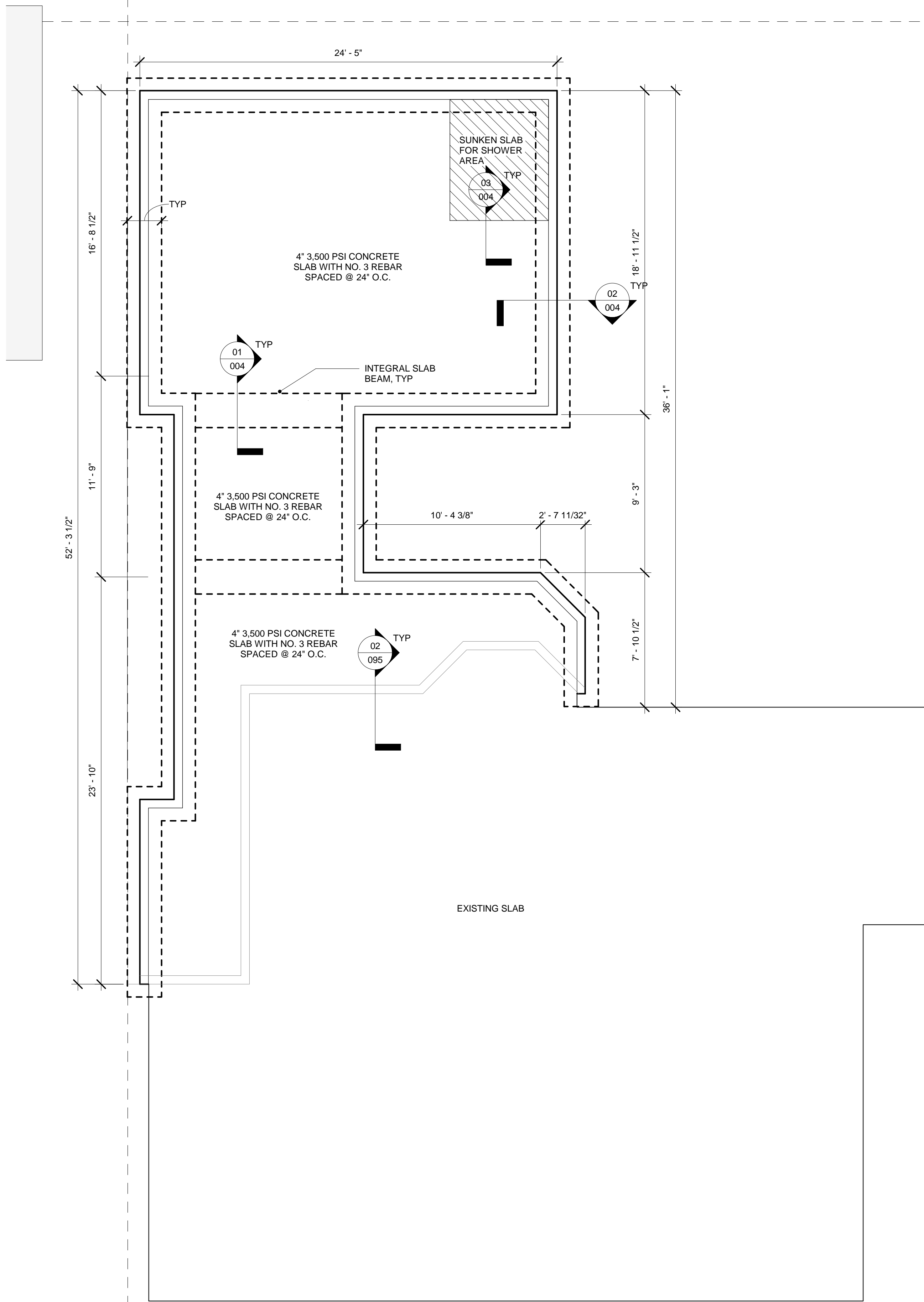
- 9/30/2024 50% CONSTRUCTION DOCUMENTS

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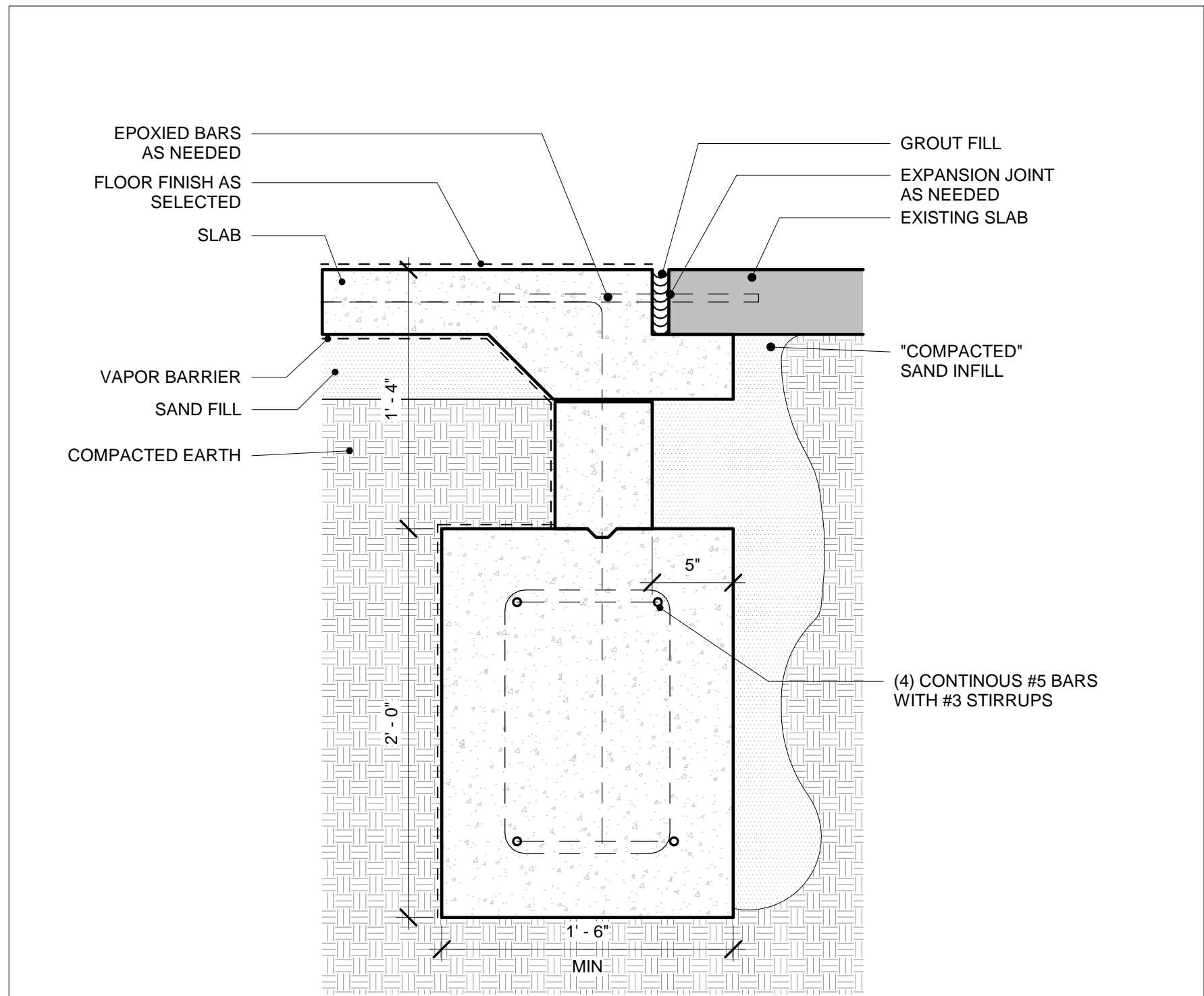
PRELIM



PROJECT TEAM			
CLIENT:	BAILEY GORDON		
CONTRACTOR:	MONARCH PROPERTIES		
project title	GORDON RESIDENCE		
drawing title	FOUNDATION PLAN		
scale	As indicated@ 24"x36"		status
			PRELIM
project number	discipline	drawing no	revision
24725	ARCH	095	-



01 FOUNDATION PLAN
1/4" = 1'-0"



02 DETAIL - SLAB EDGE AND FOOTING, TYP
1 1/2" = 1'-0"

DINNES
STUDIO

PROJECT TITLE:
GORDON RESIDENCE

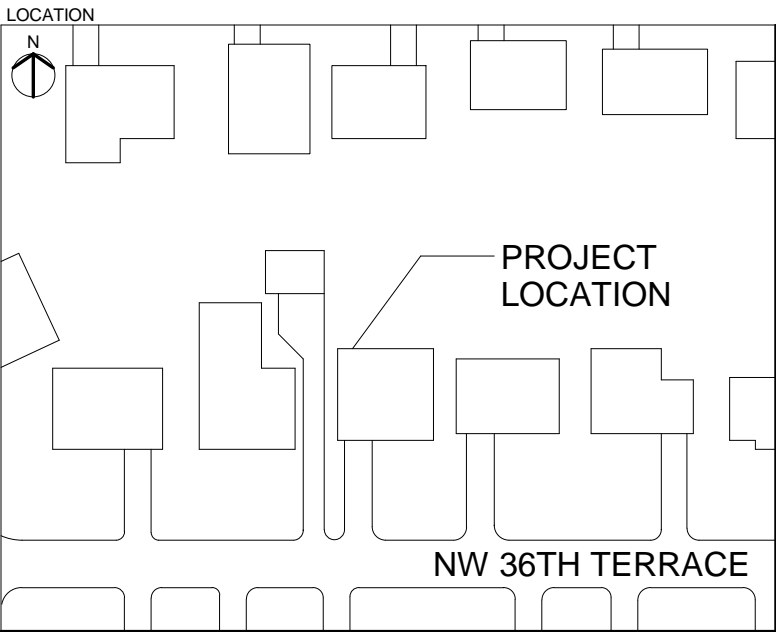
- NOTES:
- GENERAL NOTES:
- REFERENCE SHEET 091 FOR ALL OTHER GENERAL NOTES PERTAINING TO THIS PROJECT AND DRAWING SET.
 - GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND ELEMENTS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND PROMPTLY NOTIFY DINNES STUDIO OF ANY ALTERATION OR CHANGES REQUIRED. SHOULD THERE BE ANY DISCREPANCY BETWEEN THE DRAWING DIMENSIONS AND FIELD DIMENSIONS, THE FIELD DIMENSIONS SHALL GOVERN AND THE ARCHITECT SHALL BE NOTIFIED.
 - USE OF THIS DRAWING SET CONSTITUTES AGREEMENT WITH AND ACCEPTANCE OF ALL GENERAL NOTES RELATED TO THIS DRAWING SET.
 - ALL DECK MOUNTED FITTINGS ARE DIMENSIONED TO THE CENTERLINE OF FIXTURE. ALL WALL MOUNTED FITTINGS ARE DIMENSIONED TO THE CENTERLINE OF WALL CAVITY.
 - SEE SHEET 101 FOR LOCATION OF ALL SHOWER CONTROLS IF NOT NOTED ON THIS SHEET, SHEET 096.
 - PLUMBING FIXTURE LOCATION PROVIDED FOR GENERAL COORDINATION PURPOSES ONLY.** GENERAL CONTRACTOR TO CONFIRM AND VERIFY LOCATION OF PLUMBING LINES / DRAINS ARE COMPATIBLE WITH CLIENT SELECTED FIXTURES.

REVISIONS:

-	9/30/2024	50% CONSTRUCTION DOCUMENTS
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KEY:

PRELIM



PROJECT TEAM			
CLIENT:	BAILEY GORDON		
CONTRACTOR:	MONARCH PROPERTIES		
project title			
GORDON RESIDENCE			
drawing title			
PLUMBING FIXTURE SET-OUT PLAN			
scale		status	
1/4" = 1'-0" @ 24"x36"		PRELIM	
project number	discipline	drawing no	revision
24725	ARCH	096	-

LEGEND - PLUMBING:	
SYMBOL	PRODUCT DESCRIPTION
	TOILET, TYP RESIDENTIAL
	FREE STANDING TUB
	BATHROOM FAUCET
	KITCHEN FAUCET
	BATHROOM TUB FAUCET
	BATHROOM SHOWER HEAD
	BATHROOM SINK
	KITCHEN SINK
	DISHWASHER
	KITCHEN FRIDGE/ FREEZER

01 PLUMBING FIXTURE SET-OUT PLAN

1/4" = 1'-0"

DINNES
STUDIOPROJECT TITLE:
GORDON RESIDENCE

NOTES:

GENERAL NOTES:

- REFERENCE SHEET 004 FOR ALL OTHER GENERAL NOTES PERTAINING TO THIS PROJECT AND DRAWING SET.
- GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND ELEMENTS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND PROMPTLY NOTIFY DINNES STUDIO OF ANY ALTERATION OR CHANGES REQUIRED. SHOULD THERE BE ANY DISCREPANCY BETWEEN THE DRAWING DIMENSIONS AND FIELD DIMENSIONS, THE FIELD DIMENSIONS SHALL GOVERN AND THE ARCHITECT SHALL BE NOTIFIED.
- USE OF THIS DRAWING SET CONSTITUTES AGREEMENT WITH AND ACCEPTANCE OF ALL GENERAL NOTES RELATED TO THIS DRAWING SET.

WALL TYPES LEGEND:

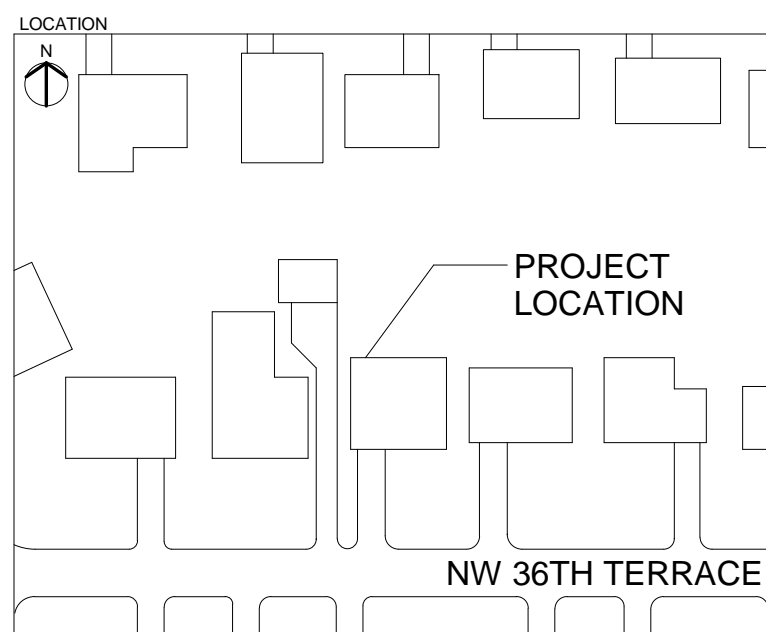
- EXISTING WALL CONSTRUCTION
- NEW WALL CONSTRUCTION

REVISIONS:

9/30/2024 50% CONSTRUCTION DOCUMENTS

KEY:

PRELIM



PROJECT TEAM

CLIENT: BAILEY GORDON

CONTRACTOR: MONARCH PROPERTIES

project title
GORDON RESIDENCE

drawing title
PLAN LEVEL 01

scale
1/4" = 1'-0" @ 24"X36"

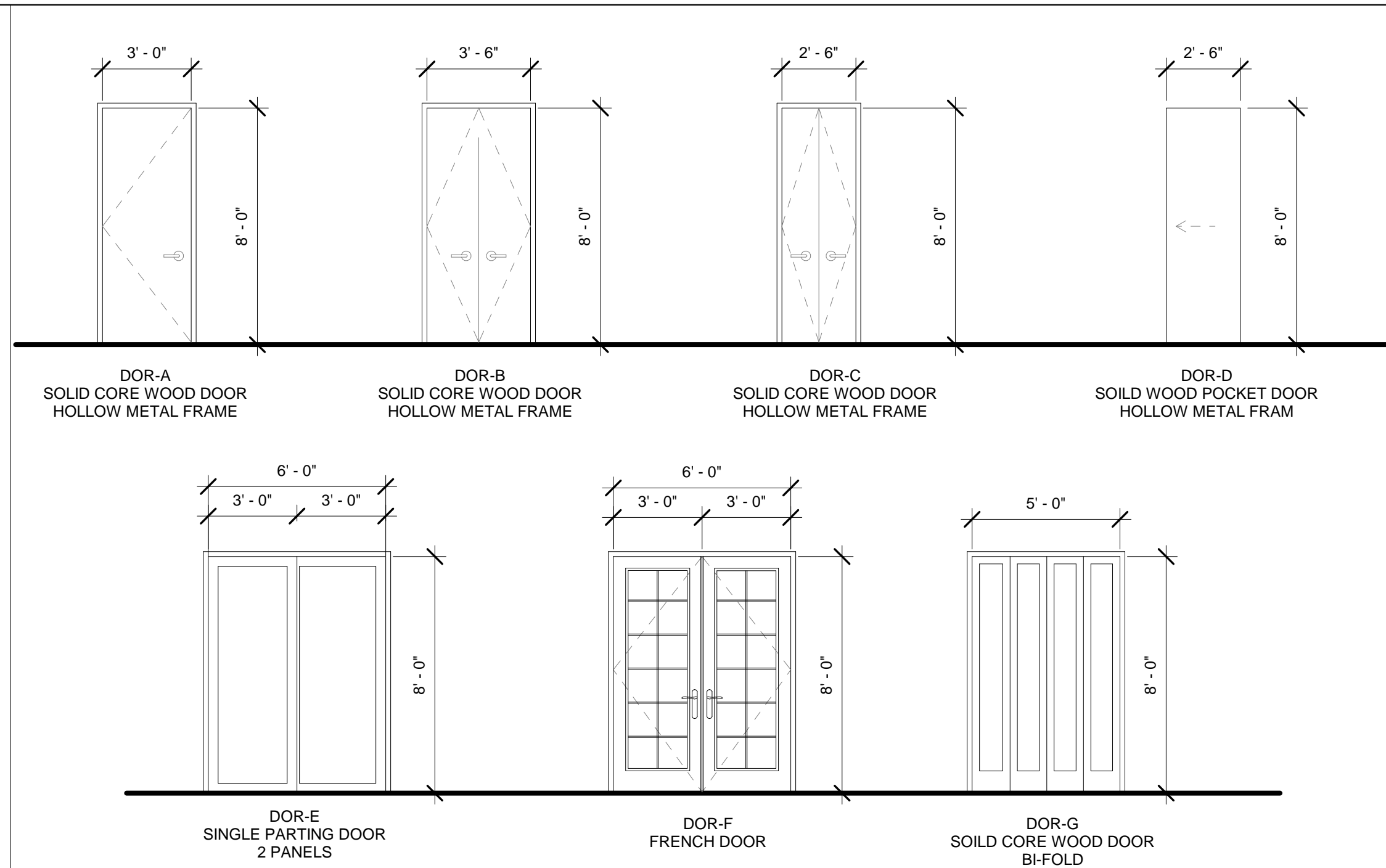
status
PRELIM

project number
24725

discipline
ARCH

drawing no
101

revision
-



DOOR SCHEDULE						
DOOR NUMBER	LEAF TYPE	LEAF SIZE	LEAF FINISH	FRAME TYPE	FRAME FINISH	FUNCTION NOTES
D101	A	3'-0" X 8'-0"	PNT-XX	HM	PNT-XX	
D102	E	6'-0" X 8'-0"	N/A	STL	N/A	
D103	G	5'-0" X 8'-0"	PNT-XX	HM	PNT-XX	
D104	A	3'-0" X 8'-0"	PNT-XX	HM	PNT-XX	
D105	F	6'-0" X 8'-0"	PNT-XX	HM	PNT-XX	
D106	B	3'-6" X 8'-0"	PNT-XX	HM	PNT-XX	
D107	D	2'-6" X 8'-0"	PNT-XX	HM	PNT-XX	
D108	C	2'-6" X 8'-0"	PNT-XX	HM	PNT-XX	

OUTLINE SPECIFICATITONS				
TAG	ITEM	MANUFACTURE	DESCRIPTION	REMARKS
CF-01	CEILING FAN, OUTDOOR RATED WHERE NEEDED			
CTP-01	KITCHEN COUNTERTOP			
CTP-02	BATHROOM COUNTERTOP			
CTP-03	MUDROOM COUNTERTOP			
DSP-01	DOWNSPOUT			
FCT-01	KITCHEN FAUCET			
FCT-02	BATHROOM FAUCET			
FCT-03	SHOWER FAUCET			
FCT-04	TUB FAUCET			
FRG-01	36" FRIDGE / FREEZER UNIT			
GUT-01	6" GUTTER			
GYP-01	GYPSUM WALL BOARD			
L-XX	SEE SHEET 111			
MIL-01	FULL HEIGHT CABINETS			
MIR-02	BANQUETTE			
MIR-01	WALL MIRROR			
PAV-01	BRICK PAVERS			
PNT-01	EXTERIOR PAINT			
PNT-02	INTERIOR PAINT			
RAL-01	NEW VINYL RAILING			
RNG-01	STOVE TOP RANGE			
SID-01	HORIZONTAL SIDING	HARDIE PLANK	SMOOTH	
SNK-01	KITCHEN SINK			
SNK-02	BATHROOM SINK			
SNK-03	MOP SINK			
TIL-01	FLOOR TILE, KITCHEN			
TIL-02	FLOOR TILE, BATHROOM			
TIL-03	FLOOR TILE, SHOWER			
TIL-11	WALL TILE			
TIL-12	WALL TILE, BATHROOM			
TLA-01	TOILET TISSUE HOLDER			
TLA-02	ADA HANDBARS			
TLA-03	ROBE HOOK			
TUB-01	FREE STANDING TUB			
VF-01	VENT FAN			
WC-01	WATER CLOSET			

ROOM SCHEDULE - SEE GENERAL NOTES FOR DISCLAIMER				
Area	Level	Name	Floor Finish	
PLAN LEVEL 01				
49 SF	PLAN LEVEL 01	PRIMARY CLOSET		
120 SF	PLAN LEVEL 01	PRIMARY BATHROOM	TIL-02	
22 SF	PLAN LEVEL 01	CLOSET		
165 SF	PLAN LEVEL 01	PRIMARY BEDROOM	TIL-01	
17 SF	PLAN LEVEL 01	WC	TIL-02	
35 SF	PLAN LEVEL 01	MUDROOM		
37 SF	PLAN LEVEL 01	PANTRY	TIL-01	
100 SF	PLAN LEVEL 01	LIVING ROOM	TIL-01	
270 SF	PLAN LEVEL 01	KITCHEN	TIL-01	
86 SF	PLAN LEVEL 01	HALLWAY	TIL-01	
113 SF	PLAN LEVEL 01	DINING ROOM	TIL-01	

FLOOR LEGEND:

- FLOOR TILE
- BATHROOM TILE
- BRICK PAVER

01 ENLARGED PLAN LEVEL 01
1/4" = 1'-0"

DINNES
STUDIO

PROJECT TITLE:
GORDON RESIDENCE

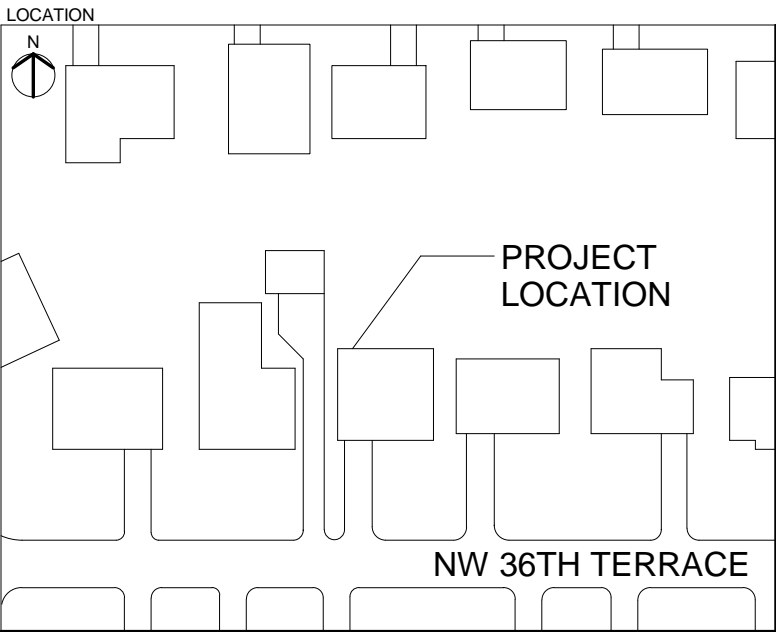
- NOTES:
- GENERAL NOTES:
- REFERENCE SHEET 001 FOR ALL OTHER GENERAL NOTES PERTAINING TO THIS PROJECT AND DRAWING SET.
 - GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND ELEMENTS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND PROMPTLY NOTIFY DINNES STUDIO OF ANY ALTERATION OR CHANGES REQUIRED. SHOULD THERE BE ANY DISCREPANCY BETWEEN THE DRAWING DIMENSIONS AND FIELD DIMENSIONS, THE FIELD DIMENSIONS SHALL GOVERN AND THE ARCHITECT SHALL BE NOTIFIED.
 - USE OF THIS DRAWING SET CONSTITUTES AGREEMENT WITH AND ACCEPTANCE OF ALL GENERAL NOTES RELATED TO THIS DRAWING SET.
 - ALL ROOFS WITH A PITCH OF 4/12 OR LOWER TO RECEIVE WEATHERWATCH UNDERLAYMENT, OR SIMILAR.
 - PROVIDE GUTTERS AND DOWNSPOUTS AS NEEDED.

REVISIONS:

-	9/30/2024	50% CONSTRUCTION DOCUMENTS
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KEY:

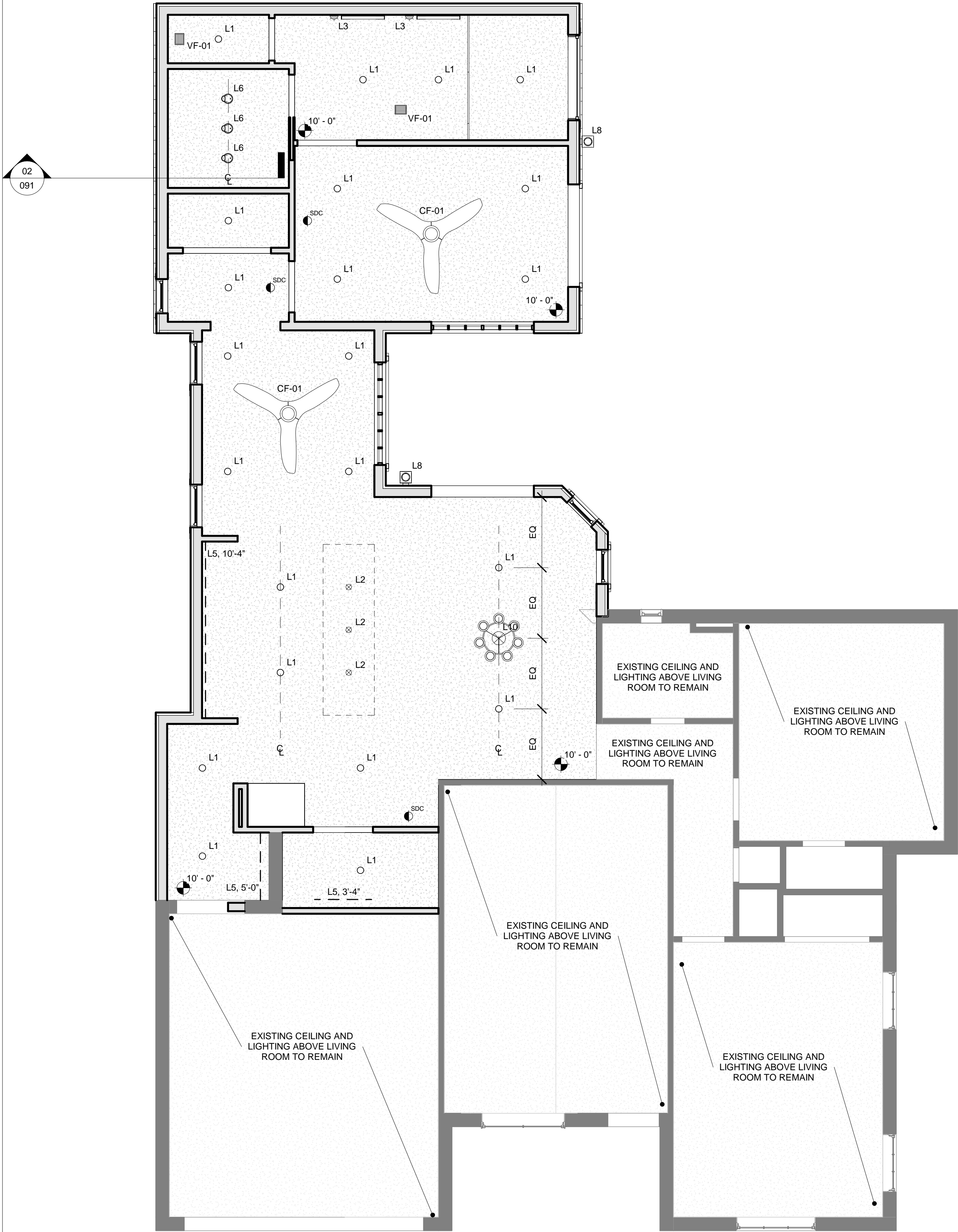
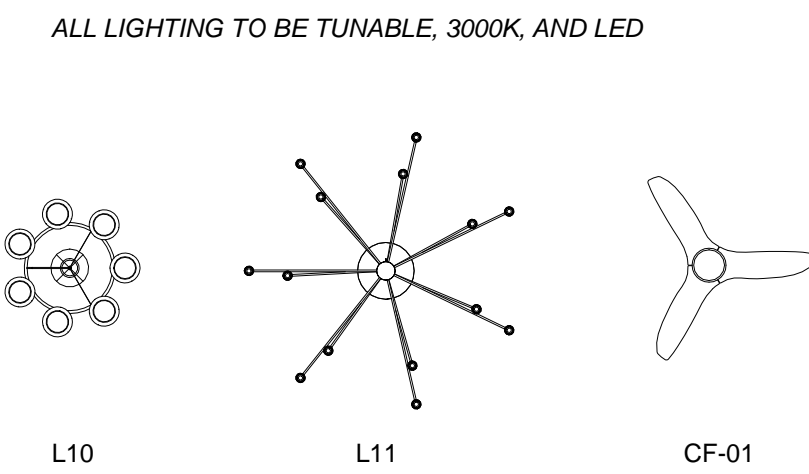
PRELIM



PROJECT TEAM			
CLIENT:		BAILEY GORDON	
CONTRACTOR:		MONARCH PROPERTIES	
project title			
GORDON RESIDENCE			
drawing title			
ROOF PLAN			
scale		status	
1/4" = 1'-0" @ 24"X36"		PRELIM	
project number	discipline	drawing no	revision
24725	ARCH	103	-

LEGEND - LIGHTING:		
TAG	SYMBOL	PRODUCT DESCRIPTION
L1	⊙	4" RECESSED CAN LIGHTS, WET RATED WHERE NEEDED
L2	⊗	PENDANT LIGHT
L3	⌘	VANITY WALL SCONCE
L4	▬ ▬ ▬	RECESSED LINEAR COVE LIGHT, WALL WASH LED
L5	— —	UNDER CABINET LED STRIP LIGHT
L6	⦿	SPOTS, ADJUSTABLE HEAD
L7	▬ ▬ ▬	4'-0" T5 UTILITIY LIGHT FIXTURE
L8	⦿	EXTERIOR WALL SCONCE
L9	●	CEILING MOUNT CYLINDER DOWN LIGHT
L10	SEE ADJACENT	STAIRWELL CHANDELIER
L11	SEE ADJACENT	LIVING ROOM CHANDELIER
CF-01	SEE ADJACENT	CEILING FAN, OUTDOOR RATED WHERE NEEDED

⌀	110V DUPLEX OUTLET, GFI RATED WHERE NOTED
⦶	110V QUADPLEX OUTLET, GFI RATED WHERE NOTED
⌀	110V WEATHER PROOF NO-FAULT OUTLET WITH COVER
§	SINGLE PHASE SWITCH
§	THREE PHASE SWITCH (2-WAY)
SD	SMOKE DETECTOR
SDC	SMOKE AND CARBON MONOXIDE DETECTOR



01 REFLECTED CEILING PLAN LEVEL 01
1/4" = 1'-0"

DINNES STUDIO

PROJECT TITLE:
GORDON RESIDENCE

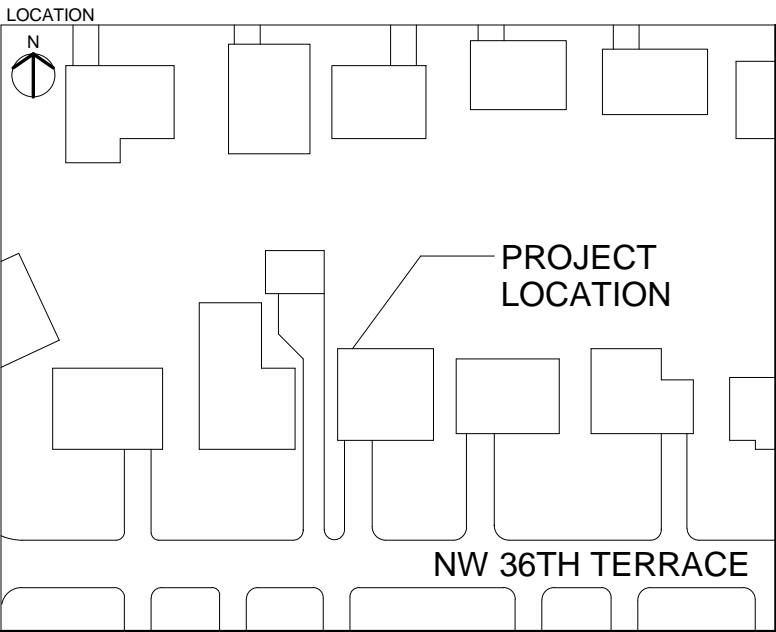
- NOTES:
- GENERAL NOTES:
- REFERENCE SHEET 0... FOR ALL OTHER GENERAL NOTES PERTAINING TO THIS PROJECT AND DRAWING SET.
 - GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND ELEMENTS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND PROMPTLY NOTIFY DINNES STUDIO OF ANY ALTERATION OR CHANGES REQUIRED. SHOULD THERE BE ANY DISCREPANCY BETWEEN THE DRAWING DIMENSIONS AND FIELD DIMENSIONS, THE FIELD DIMENSIONS SHALL GOVERN AND THE ARCHITECT SHALL BE NOTIFIED.
 - USE OF THIS DRAWING SET CONSTITUTES AGREEMENT WITH AND ACCEPTANCE OF ALL GENERAL NOTES RELATED TO THIS DRAWING SET.
 - ALL LIGHTS TO BE ON DIMMERS.
 - ALL LIGHTING, INTERIOR AND EXTERIOR, TO BE 3000K IN COLOR TEMPERATURE.

REVISIONS:

-	8/30/2024	50% CONSTRUCTION DOCUMENTS
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KEY:

PRELIM



PROJECT TEAM			
CLIENT:	BAILEY GORDON		
CONTRACTOR:	MONARCH PROPERTIES		
project title			
GORDON RESIDENCE			
drawing title			
REFLECTED CEILING PLAN LEVEL 01			
scale		status	
1/4" = 1'-0" @ 24"x36"		PRELIM	
project number	discipline	drawing no	revision
24725	ARCH	111	-

DINNES STUDIO

PROJECT TITLE:
GORDON RESIDENCE

NOTES:

GENERAL NOTES:

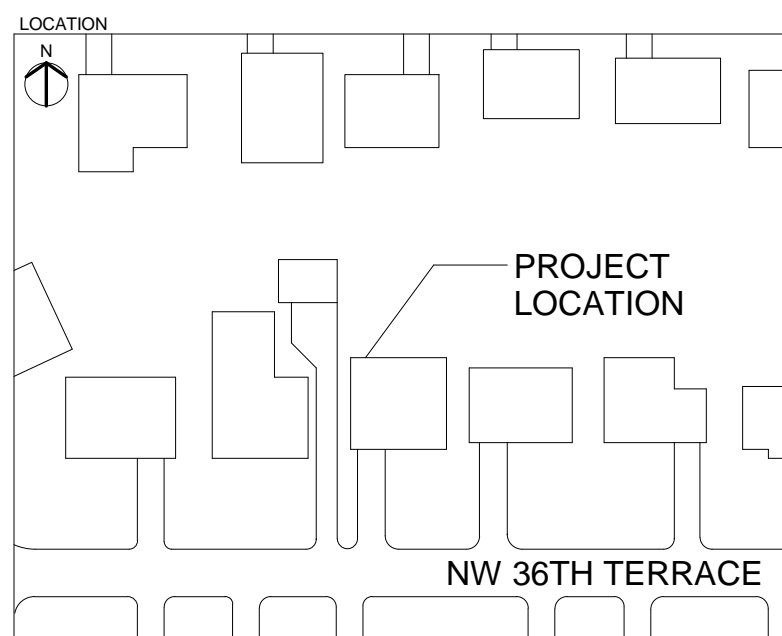
- REFERENCE SHEET 004 FOR ALL OTHER GENERAL NOTES PERTAINING TO THIS PROJECT AND DRAWING SET.
- GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND ELEMENTS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND PROMPTLY NOTIFY DINNES STUDIO OF ANY ALTERATION OR CHANGES REQUIRED. SHOULD THERE BE ANY DISCREPANCY BETWEEN THE DRAWING DIMENSIONS AND FIELD DIMENSIONS, THE FIELD DIMENSIONS SHALL GOVERN AND THE ARCHITECT SHALL BE NOTIFIED.
- USE OF THIS DRAWING SET CONSTITUTES AGREEMENT WITH AND ACCEPTANCE OF ALL GENERAL NOTES RELATED TO THIS DRAWING SET.
- ALL EXTERIOR WALLS ARE TO BE CONSTRUCTED OF 2X6 FRAMING AND ALL OTHER INTERIOR WALLS TO BE OF 2X4 CONSTRUCTION UNLESS NOTED OTHERWISE.
- FRAME OUT TO OUT DIMENSIONS TAKE FROM EXTERIOR FACE OF STUD TO EXTERIOR FACE OF STUD.

REVISIONS:

9/30/2024 50% CONSTRUCTION DOCUMENTS

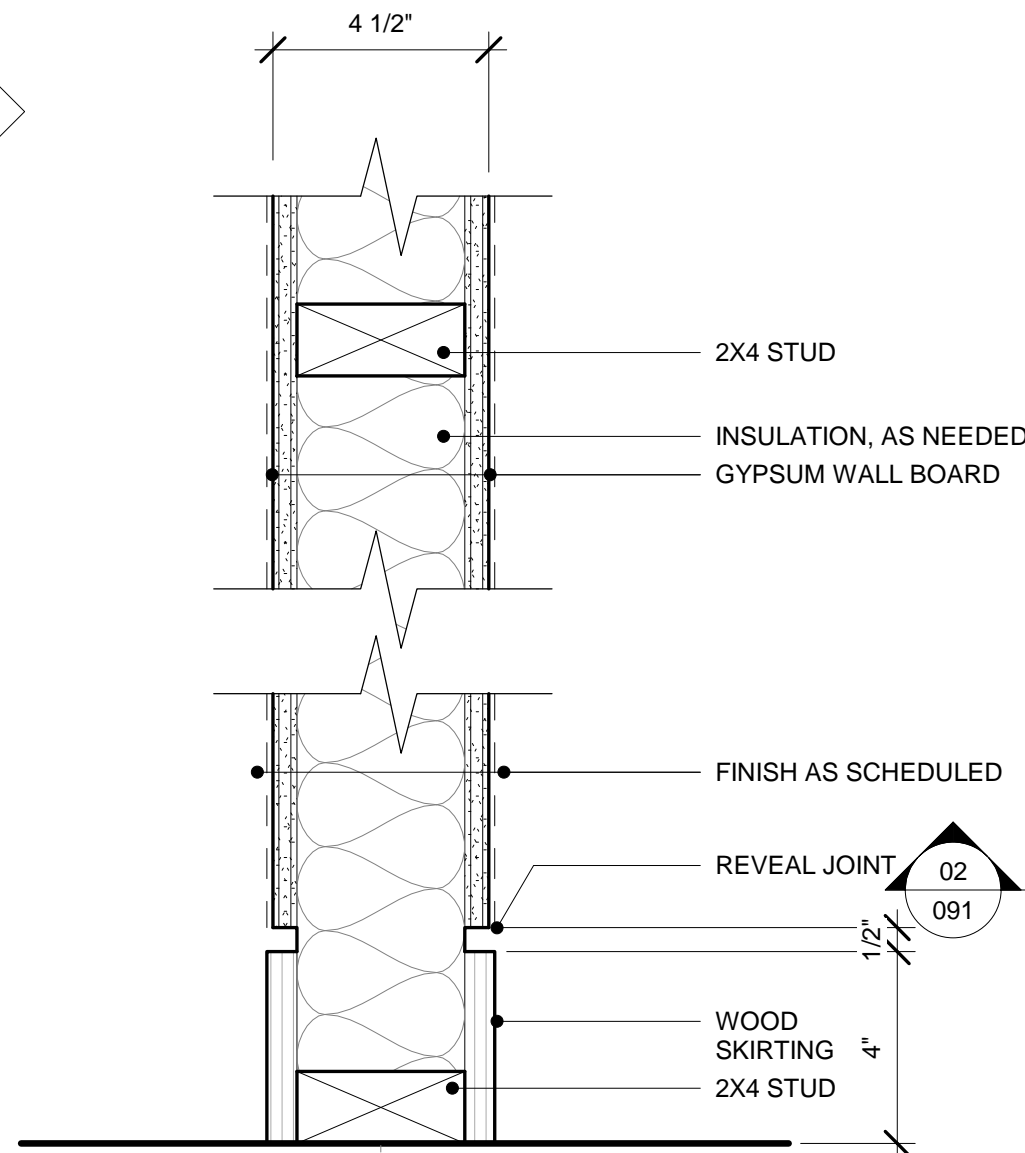
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PRELIM



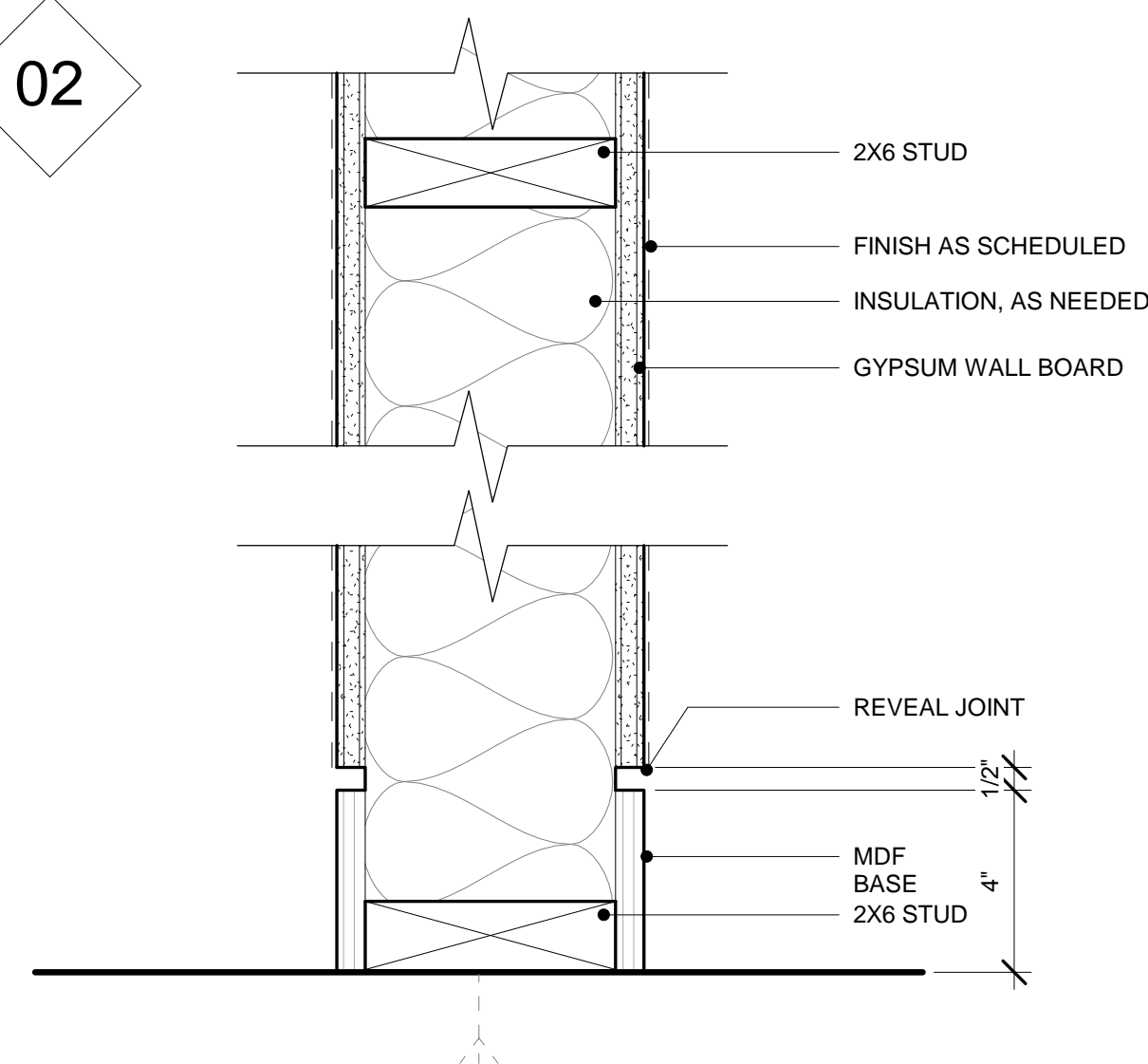
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CLIENT:	BAILEY GORDON		
CONTRACTOR:	MONARCH PROPERTIES		
project title			
GORDON RESIDENCE			
drawing title			
FRAMING PLAN LEVEL 01			
scale		status	
As indicated @ 24"x36"™		PRELIM	
project number	discipline	drawing no	revision
24725	ARCH	121	-

01



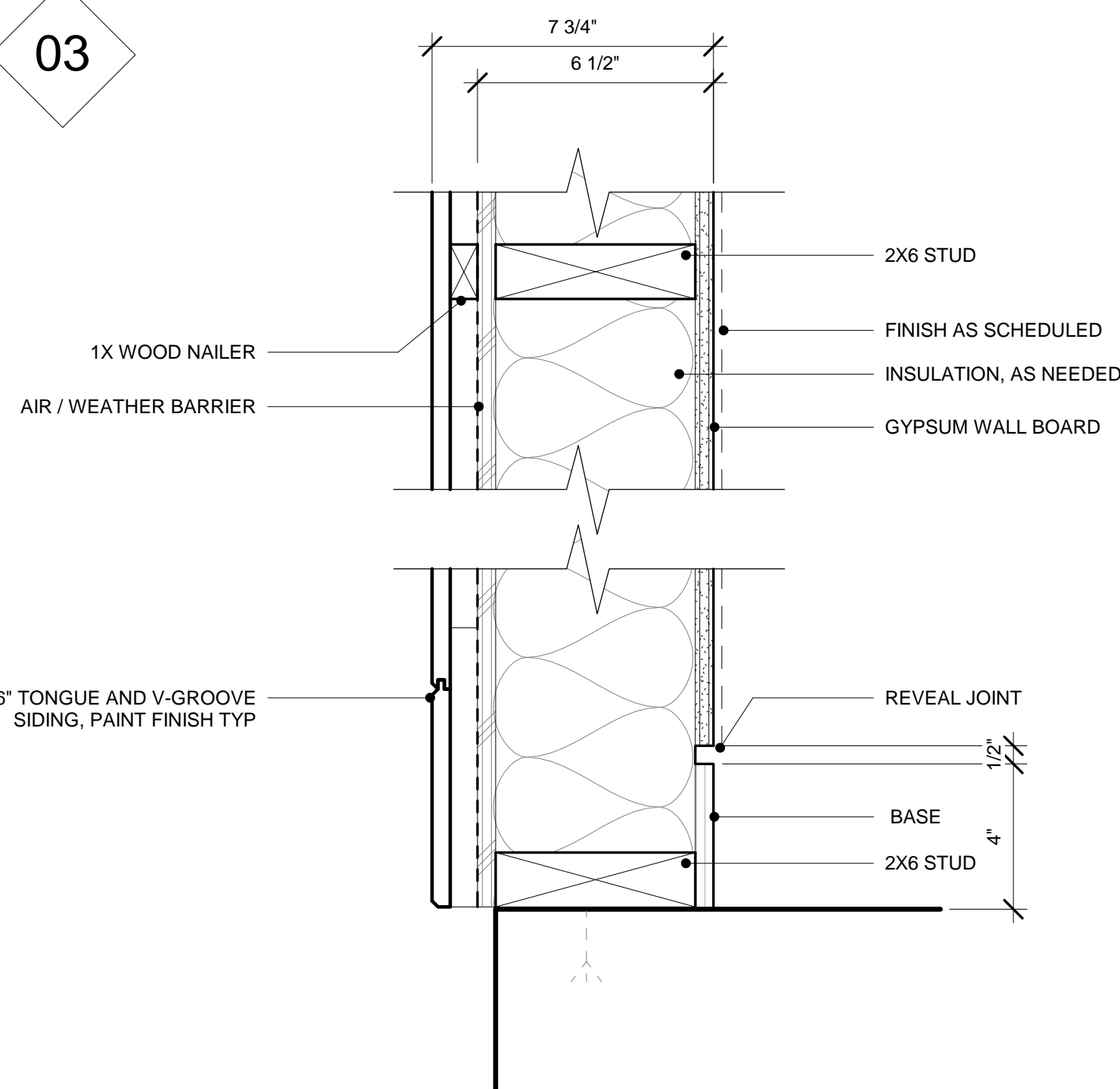
04 WALL TYPE 01 - 2X4 STUD
3" = 1'-0"

02



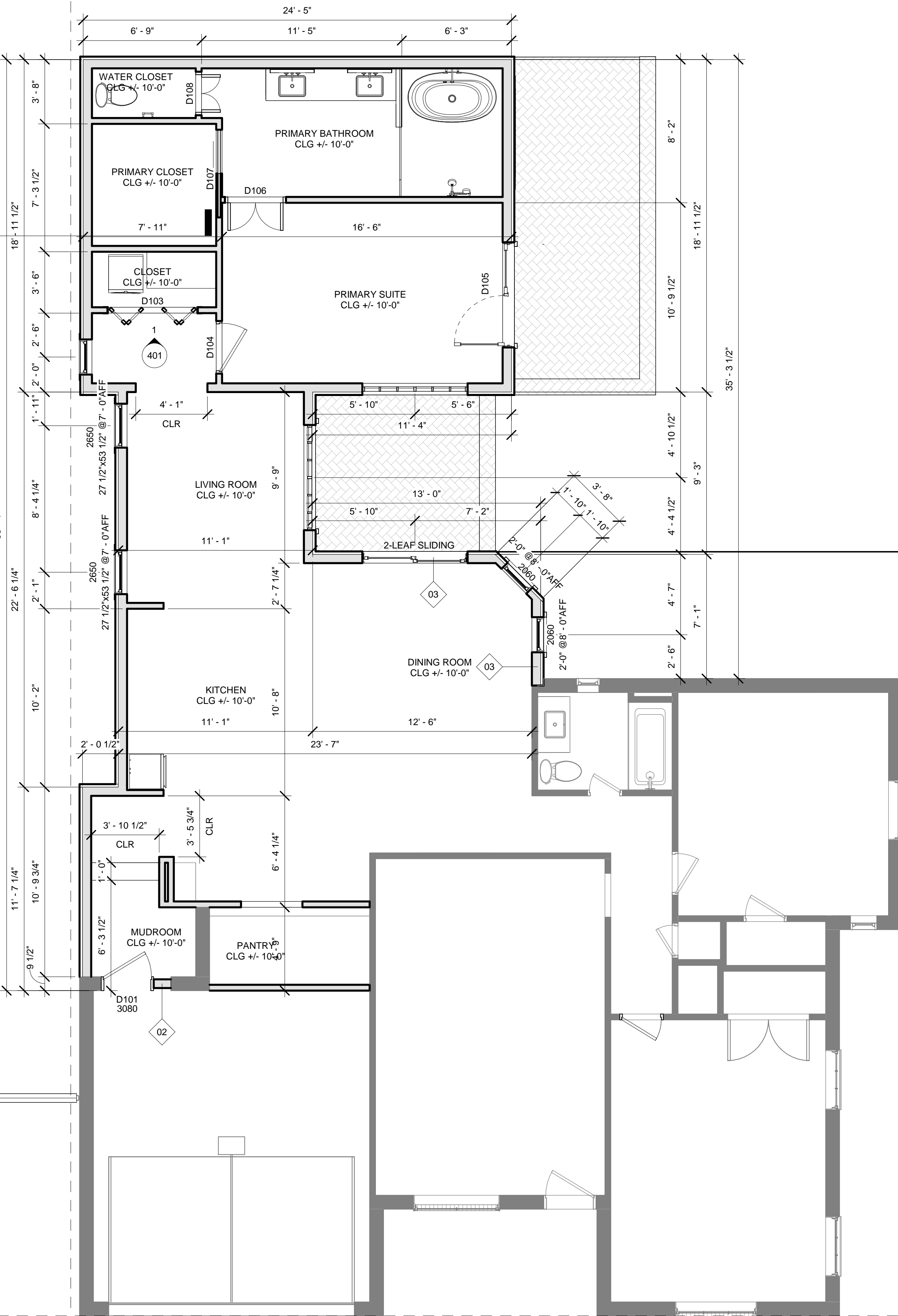
03 WALL TYPE 02 - 2X6 STUD
3" = 1'-0"

03



02 WALL TYPE 03 - 2X6 STUD
3" = 1'-0"

01 FRAMING LEVEL 01 PLAN
1/4" = 1'-0"



DINNES STUDIO

PROJECT TITLE:
GORDON RESIDENCE

NOTES:

GENERAL NOTES:

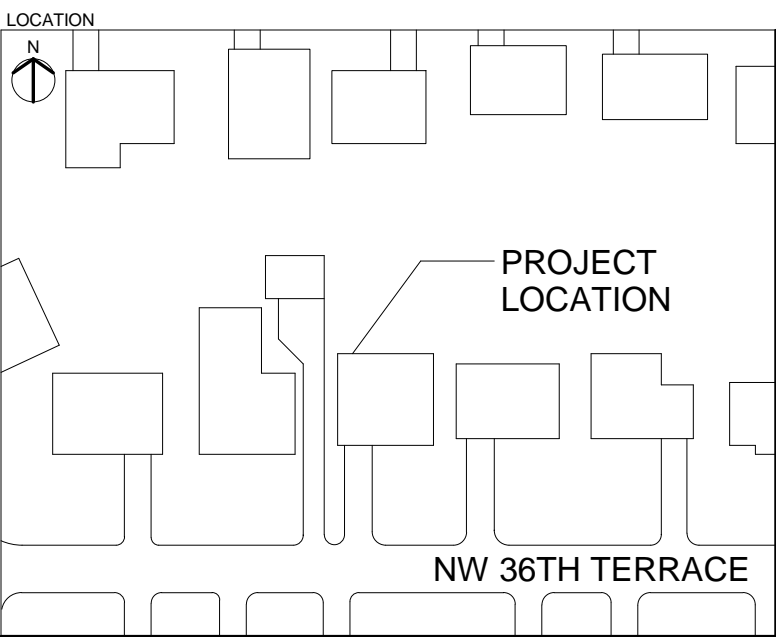
- REFERENCE SHEET 004 FOR ALL OTHER GENERAL NOTES PERTAINING TO THIS PROJECT AND DRAWING SET.
- GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND ELEMENTS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND PROMPTLY NOTIFY DINNES STUDIO OF ANY ALTERATION OR CHANGES REQUIRED. SHOULD THERE BE ANY DISCREPANCY BETWEEN THE DRAWING DIMENSIONS AND FIELD DIMENSIONS, THE FIELD DIMENSIONS SHALL GOVERN AND THE ARCHITECT SHALL BE NOTIFIED.
- USE OF THIS DRAWING SET CONSTITUTES AGREEMENT WITH AND ACCEPTANCE OF ALL GENERAL NOTES RELATED TO THIS DRAWING SET.

REVISIONS:

9/30/2024 50% CONSTRUCTION DOCUMENTS

KEY:

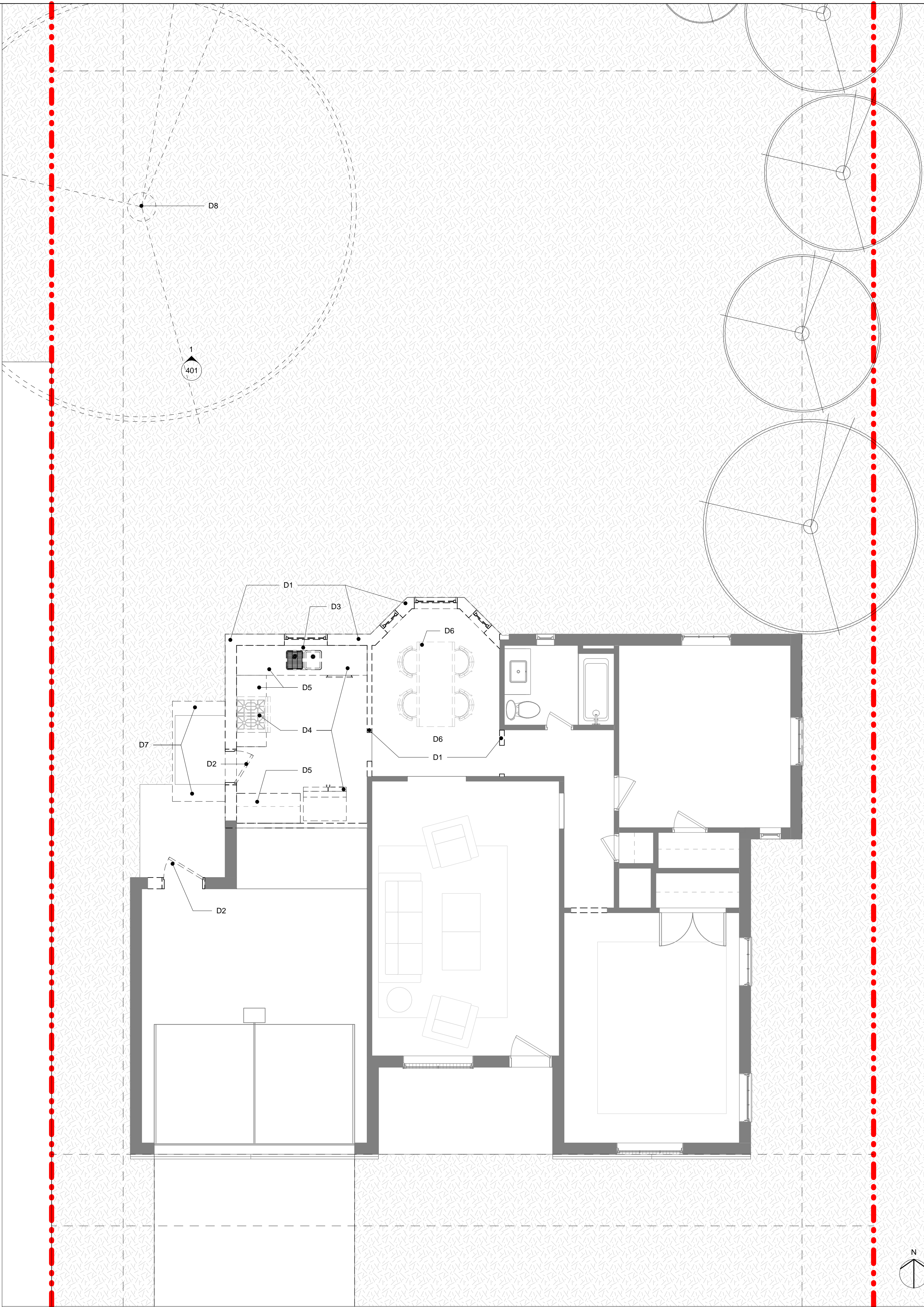
PRELIM



PROJECT TEAM			
CLIENT:	BAILEY GORDON		
CONTRACTOR:	MONARCH PROPERTIES		
project title			
GORDON RESIDENCE			
drawing title			
DEMOLITION PLAN LEVEL 01			
scale		status	
As indicated @ 24"x36"		PRELIM	
project number	discipline	drawing no	revision
24725	ARCH	D101	-

DEMOLITION LEGEND:

- | | |
|----|--|
| D1 | DEMOLISH EXISTING WALL CONSTRUCTION |
| D2 | REMOVE EXISTING DOOR, FRAME AND HARDWARE. |
| D3 | DEMOLISH EXISTING PLUMBING FIXTURE AND ALL ASSOCIATED FITTINGS. CAP AND ABANDON PLUMBING LINE IF APPLICABLE. |
| D4 | REMOVE EXISTING KITCHEN APPLIANCES. CAP AND ABANDON ASSOCIATED GAS AND ELECTRIC LINE(S) IF APPLICABLE. |
| D5 | REMOVE EXISTING MILLWORK |
| D6 | REMOVE EXISTING FLOOR VENEER MATERIAL, CLEAN AND PREP SLAB FOR NEW FLOORING MATERIAL |
| D7 | INFILL EXISTING FLOOR AREA. MATCH FINISH ELEVATION TO FINISH FLOOR ELEVATION IN ADJACENT AREAS. |
| D8 | REMOVE EXISTING TREE, GRIND STUMP, BACK FILL, AND COMPACT EARTH |



DINNES STUDIO

PROJECT TITLE:
GORDON RESIDENCE

NOTES:

GENERAL NOTES:

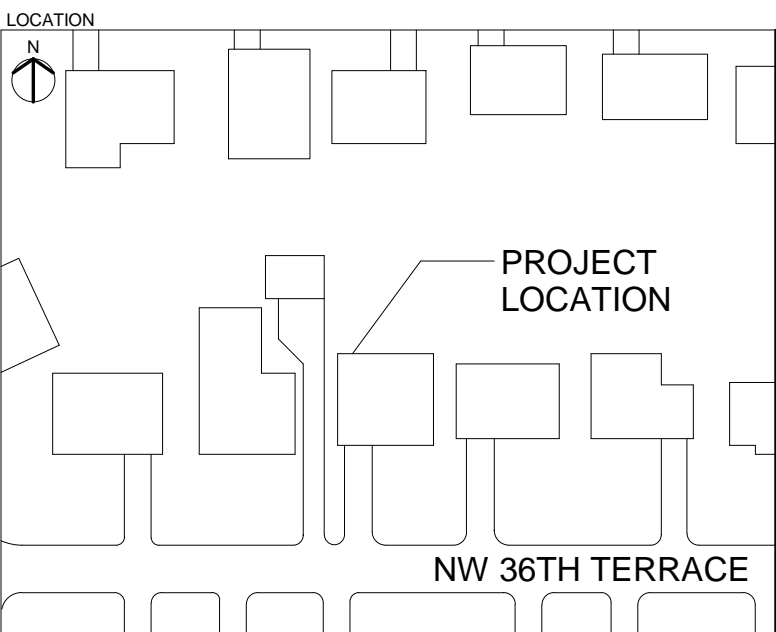
- REFERENCE SHEET 004 FOR ALL OTHER GENERAL NOTES PERTAINING TO THIS PROJECT AND DRAWING SET.
- GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND ELEMENTS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND PROMPTLY NOTIFY DINNES STUDIO OF ANY ALTERATION OR CHANGES REQUIRED. SHOULD THERE BE ANY DISCREPANCY BETWEEN THE DRAWING DIMENSIONS AND FIELD DIMENSIONS, THE FIELD DIMENSIONS SHALL GOVERN AND THE ARCHITECT SHALL BE NOTIFIED.
- USE OF THIS DRAWING SET CONSTITUTES AGREEMENT WITH AND ACCEPTANCE OF ALL GENERAL NOTES RELATED TO THIS DRAWING SET.

REVISIONS:

9/30/2024 50% CONSTRUCTION DOCUMENTS

KEY:

PRELIM



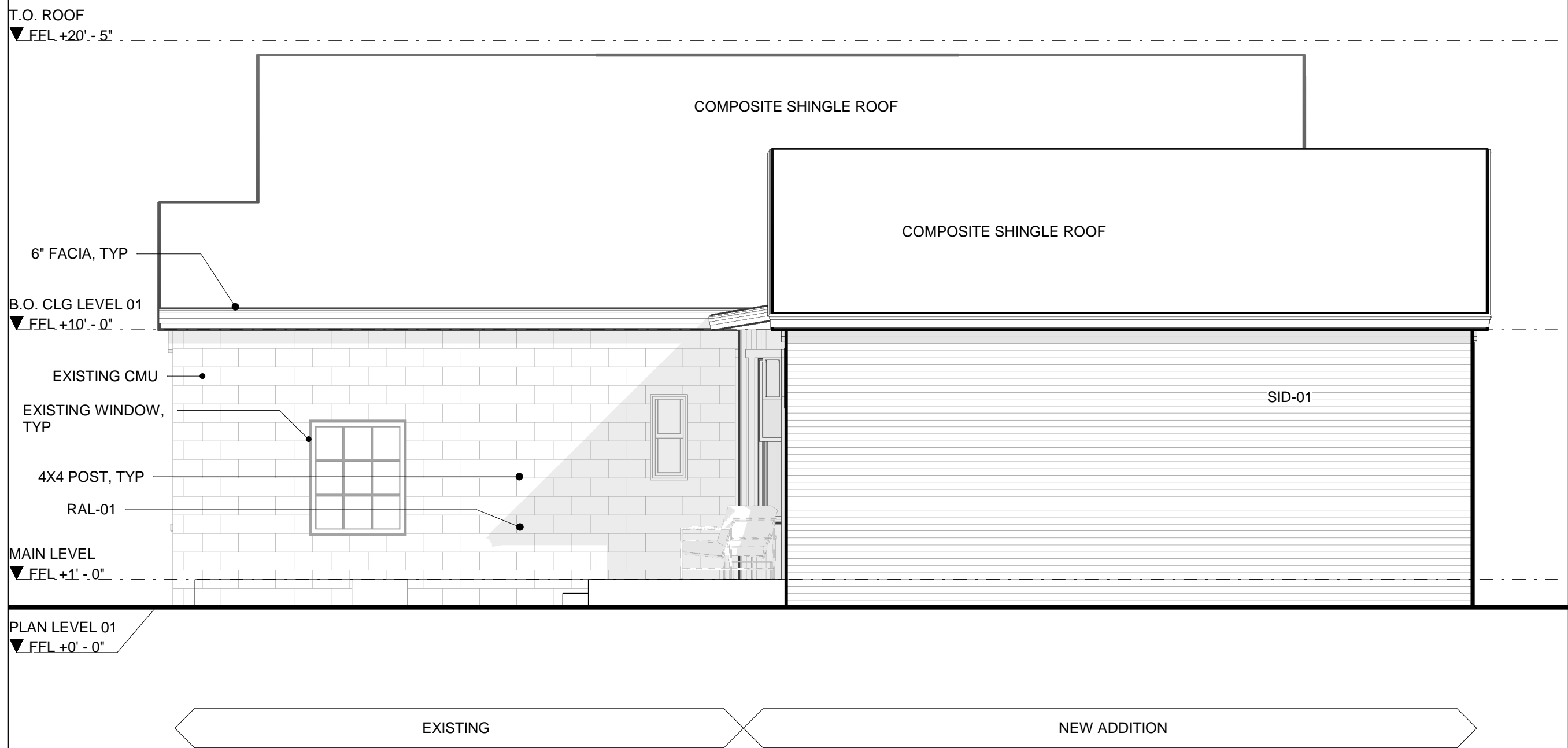
PROJECT TEAM

CLIENT:	BAILEY GORDON
CONTRACTOR:	MONARCH PROPERTIES

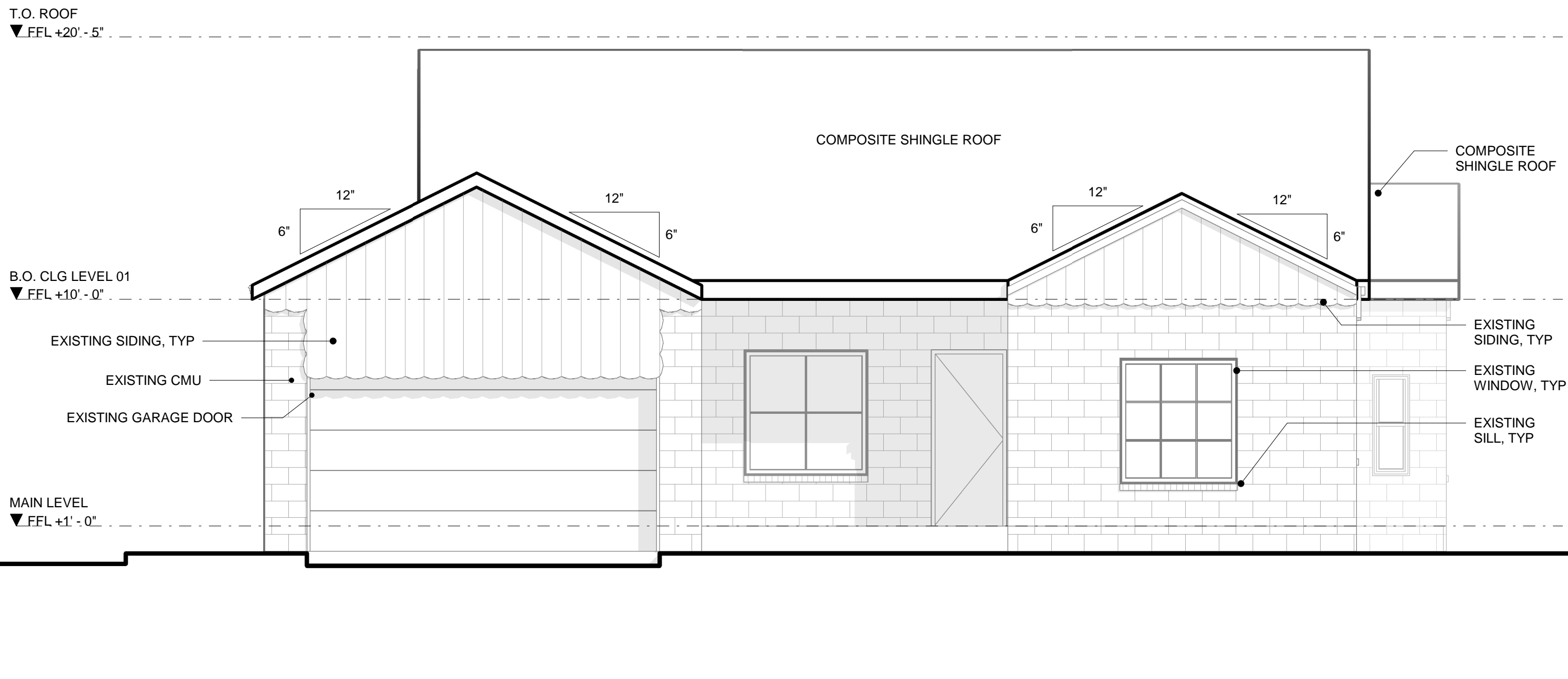
project title
GORDON RESIDENCE

drawing title
BUILDING ELEVATIONS

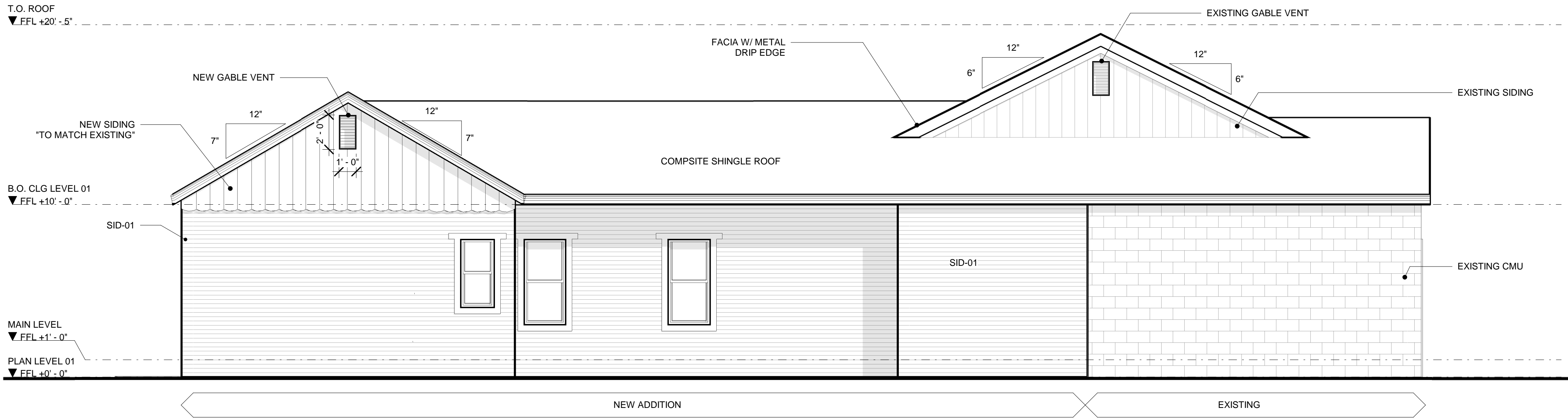
scale 1/4" = 1'-0" @ 24"X36"	status PRELIM		
project number 24725	discipline ARCH	drawing no 201	revision -



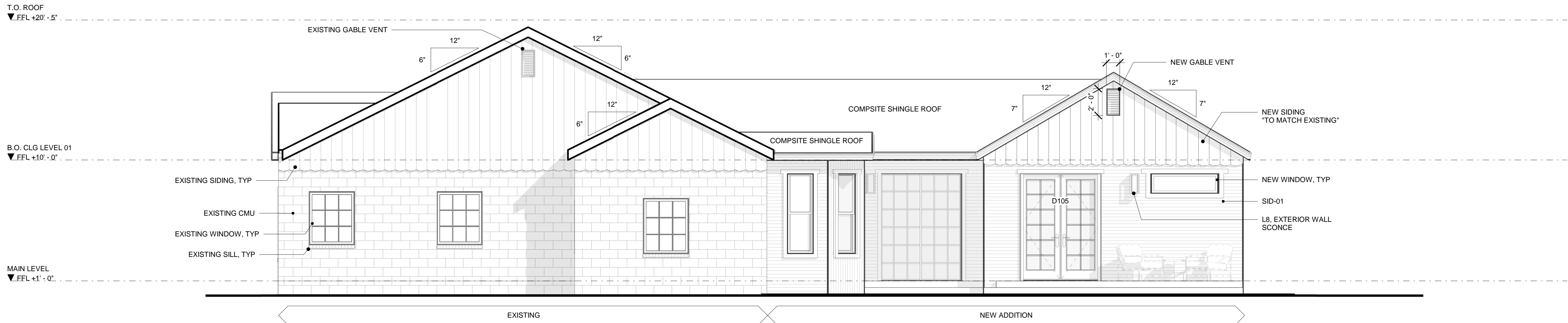
04 NORTH ELEVATION
1/4" = 1'-0"



03 SOUTH ELEVATION
1/4" = 1'-0"



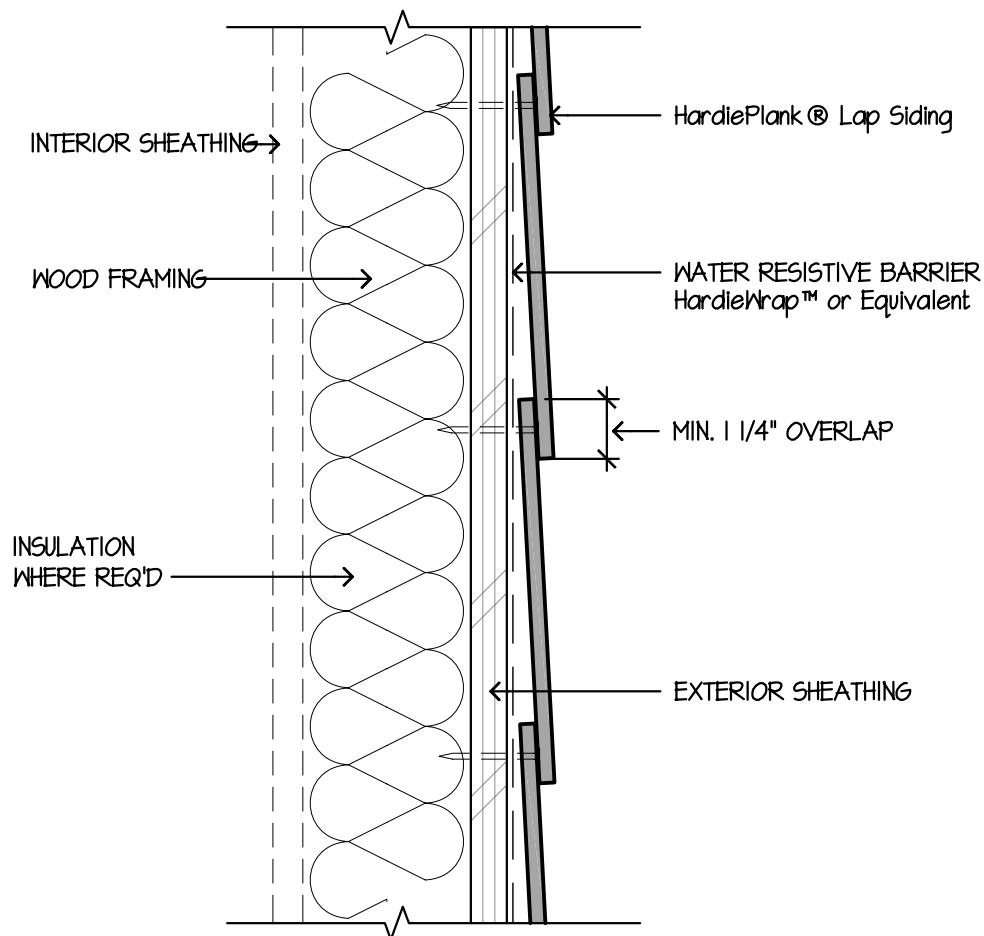
02 WEST ELEVATION
1/4" = 1'-0"



01 EAST ELEVATION
1/4" = 1'-0"

APPENDIX B

PRODUCT SHEETS



HORIZONTAL LAP VIEW

These drawings are published as an information guide only. These CAD drawings are intended as templates to assist the designer. They do not contain the full details required for construction and must be read in conjunction with the installation instructions on www.jameshardie.com. You should obtain architectural, engineering or other technical advice to assess the suitability of these drawings to the requirements of your particular project. James Hardie accepts no liability in respect to the use of

DETAIL:

105

HardiePlank® Lap Siding Details

- Wood Framing
- OSB or Plywood Sheathing
- Shown with Siding Nails Blind Fastened into Framing



JamesHardie



Pella®
Architect
Series®
Traditional

Proposed windows



Photograph(s):
© Ashley Avila Photography



Wood Windows
and Patio Doors

Thoughtfully Designed. Timeless Style.

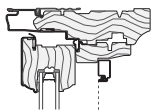
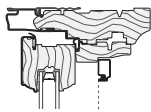
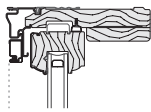
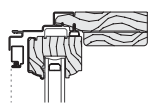
High-quality, high-performance wood windows and doors. Broad custom capabilities and virtually endless design options for both new construction and renovation projects. Pella® Integral Light Technology® Grilles combine the look of true divided lights with today's energy efficiency, structural integrity and water-resistant performance.

- A wide variety of standard and custom sizes and grille patterns
- The convenience of interior prefinished stain, prefinished paint or primed are available
- Virtually unlimited exterior color options
- Dual-pane glazing standard
- Triple-pane glazing available

Insynctive®

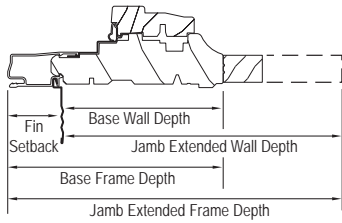
Available with factory-installed
integrated security sensors.



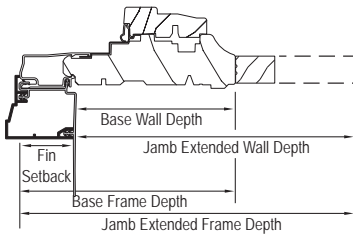
	Cross Section	Frame / Install	Wall Depth Range	Performance Range
Awning Vent and Fixed		Fold-out Fin Block Frame EnduraClad Exterior Trim / Brickmould	Base Frame Depth: 5" Std. Fin Setback: 1-5/16" Base Wall Depth: 3-11/16" Jamb extended wall depth: 3-11/16" - 9-3/16"	LC30 - CW50 U: 0.16 - 0.47 SHGC: 0.16 - 0.62 STC: up to 35
Casement Vent and Fixed		Fold-out Fin Block Frame EnduraClad Exterior Trim / Brickmould	Base Frame Depth: 5" Std. Fin Setback: 1-5/16" Base Wall Depth: 3-11/16" Jamb extended wall depth: 3-11/16" - 9-3/16"	LC30 - CW50 U: 0.16 - 0.47 SHGC: 0.16 - 0.62 STC: up to 35
Single-Hung and Double-Hung		Fold-out Fin Block Frame EnduraClad Exterior Trim / Brickmould	Base Frame Depth: 5" Std. Fin Setback: 1-5/16" Base Wall Depth: 3-11/16" Jamb extended wall depth: 3-11/16" - 9-3/16"	CW30 - CW50 U: 0.24 - 0.46 SHGC: 0.17 - 0.60 STC: up to 34
Precision Fit Double-Hung		Pocket Replacement	Overall frame depth: 4-3/4" Pocket frame depth: 3-1/4"	CW40 - CW50 U: 0.26 - 0.47 SHGC: 0.19 - 0.60 STC: up to 30

Performance ranges shown are for single-units and do not account for combinations (multiple units mulled together). Drawings are not to scale.

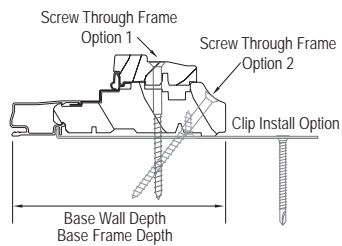
Window Frame Dimensions



Standard Fold-Out Fin



EnduraClad Exterior Trim / Brickmould



Block Frame / Installation Clip

Window frames shown are typical products only and may not apply to custom products.



For installation instructions visit <https://www.pella.com/professionals/installation-instructions/>

Use this Quick-Read (QR) code with your mobile device for quick access.

You may need to first install a QR code reading App, an Internet connection is required.



Rolscreen® Retractable Screens

Optional Rolscreen retractable screen rolls out of sight when you're not using it, so the screen stays protected.

WARNING: Screen will not stop child or pet from falling out of window or door. Keep child or pet away from open window or door.

Finishes

EnduraClad® Protective Finish Options + Virtually Unlimited Custom Colors



						
White	Black	Brown	Fossil			
						
Iron Ore	Portobello	Putty	Almond	Classic White	Brick Red	Hartford Green

Interior Prefinished Colors

						
Dark Mahogany Stain	Early American Stain	Golden Oak Stain	Natural Stain	Provincial Stain	Red Mahogany Stain	Espresso Stain
						
Black Stain	Charcoal Stain	White	Bright White	Linen White	Primed	

Screens



InView™ Screen

Standard screen on Pella wood windows and patio doors, as well as Rolscreen® retractable screen on wood casement windows and sliding patio doors.

Vinyl coated 18/18 mesh fiberglass. Complies with performance requirements of SMA 1201.

Because of printing and display limitations, actual colors may vary from those shown.

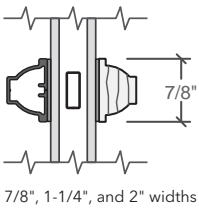
Grilles

For a full list of grille size and pattern availability contact your local Pella sales representative.

Integral Light Technology® Grilles

Grille Profile

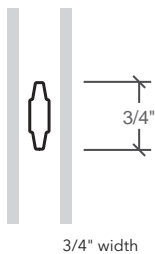
- Extruded aluminum grilles are adhered to the exterior face
- Wood grilles are adhered to the interior face
- Between-the-glass non-glare spacers, which are aligned with the interior and exterior grilles, replicate the appearance of true divided lights
- Typical grilles are 7/8" wide Ogee profile, other standard and custom widths are available
- Custom grille patterns are available



Grilles-Between-the-Glass₁

Grille Profile

- Permanent aluminum grilles are factory-installed inside the airspace of insulating glass
- Black, White, Brown, Fossil, Ivory, Harvest, or Cordovan interior
- Interior colors complement today's most popular interior finishes; choose a color to coordinate with the window or door frame, or select a contrasting grille color for a one-of-a-kind look
- Grilles are 3/4" wide



Interior GBG Colors



Black



White



Brown



Fossil



Ivory



Harvest



Cordovan

Available Patterns

Traditional	Prairie 9-Lite	Top Row	Cross	Custom Equally Divided

Pattern availability may vary depending on size of unit.

Not all patterns represented and custom configurations are also available. For details contact your local Pella sales representative.

1) Appearance of exterior grille color may vary depending on the Low-E insulating glass selection.

Hardware

Consult your local Pella sales representative for a full list of available hardware options.

Rustic Collection



Casement/Awning Window



Double-Hung Window

Finishes



Distressed Nickel



Distressed Bronze

Classic Collection



Casement/Awning Window



Double-Hung Window

Finishes



Matte Black



Satin Nickel



Oil-Rubbed Bronze

Essential Collection



Casement/Awning Window



Double-Hung Window

Finishes



White



Champagne



Brown



Matte Black



Satin Nickel



Oil-Rubbed Bronze

Because of printing limitations, actual colors may vary slightly from those shown.



Pella®
Architect
Series®
Traditional
Awning



**Air, Water,
& Structural
Performance**

Performance Class & Grade Rating	Water Penetration Resistance	Air Infiltration	Design Pressure	Forced Entry
LC30 - CW50	7.5 psf	0.05	30 - 50 psf	10

**Thermal
Performance**

Clad Vent Units
11/16" glass thickness;
Triple-Pane Insulating
glass is also available.

Type of Glazing (Argon fill)	U-Factor	SHGC	VLT %	CR	Energy Star® Capable
Advanced Low-E IG	0.28 - 0.32	0.19 - 0.26	0.24 - 0.48	55 - 61	NC, SC, S
SunDefense™ Low-E IG	0.28 - 0.32	0.18 - 0.20	0.40 - 0.44	56 - 61	NC, SC, S
AdvancedComfort Low-E IG	0.25 - 0.29	0.23 - 0.25	0.42 - 0.47	43 - 47	N, NC, SC, S
NaturalSun Low-E IG	0.29 - 0.33	0.43 - 0.47	0.49 - 0.54	55 - 61	N

**Sound
Performance**

Additional glass
options available,
values for Large
Awning may vary

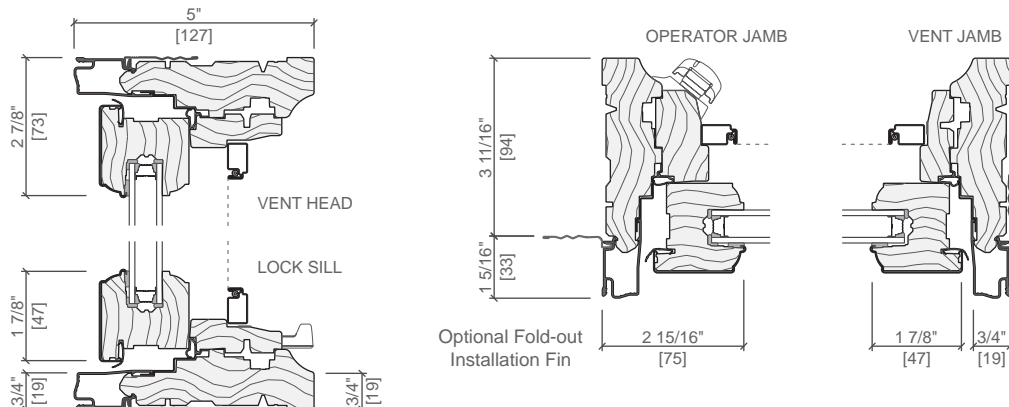
Frame Size Tested	Type of Glazing	Integral Grilles		Removable or No Grilles	
		STC	OITC	STC	OITC
Vent; 53" x 29"	2.5mm / 2.5mm glass	27	24	27	23
	5mm / 3mm glass	33	29	32	27
	3mm / 6mm glass PVB	—	—	33	28
Fixed; 47" x 59"	3mm / 3mm glass	30	27	29	24
	5mm / 3mm glass	—	—	31	27
	3mm / 6mm glass PVB	—	—	32	28

Sound testing results shown for vent awning are taken from similarly configured vent casement.

Code Approvals: Hallmark Certified; **FPAS#:** Standard=FL11284; Large Awning= FL14345 **TDI#:** Standard=WIN-1581; Large Awning= WIN-1581

Maximum performance when glazed with the appropriate glass. See the Performance section earlier in this manual to learn more about performance standards and ratings.






Performance varies based on actual product attributes.

































Other frame types are available. Not to scale. All dimensions are approximate. Large Awning operator is located on sill instead of jamb.

Standard Sizes

Vent Units


























	(451) (432)	(552) (533)	(603) (584)	(654) (635)	(756) (737)
Opening	1' 5 3/4"	1' 9 3/4"	1' 11 3/4"	2' 1 3/4"	2' 5 3/4"
Frame	1' 5"	1' 9"	1' 11"	2' 1"	2' 5"
	 1717	 2121	 2323	 2525	 2929

Vent and Fixed Units

	(832) (813)	(908) (889)	(1 060) (1 041)	(1 213) (1 194)	(1 365) (1 346)	(1 518) (1 499)
Opening	2' 8 3/4"	2' 11 3/4"	3' 5 3/4"	3' 11 3/4"	4' 5 3/4"	4' 11 3/4"
Frame	2' 8"	2' 11"	3' 5"	3' 11"	4' 5"	4' 11"
	 3217	 3517	 4117	 4717	 5317	 5917 (F)
	 3221	 3521	 4121	 4721	 5321	 5921 (F)
	 3223	 3523	 4123	 4723	 5323	 5923 (F) 45 50
	 3225	 3525	 4125	 4725	 5325	 5925 (F) 45 50
	 3229	 3529	 4129	 4729	 5329	 5929 (F) 45 50

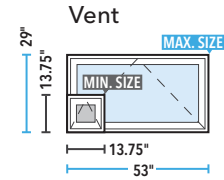
Large Awning Standard Sizes

Vent Units

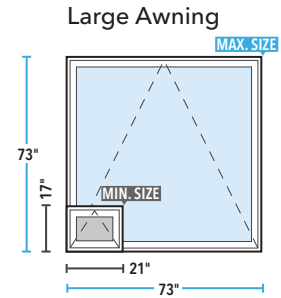
	(908) (889)	(1 060) (1 041)	(1 213) (1 194)	(1 365) (1 346)	(1 518) (1 499)
Opening	2' 11 3/4"	3' 5 3/4"	3' 11 3/4"	4' 5 3/4"	4' 11 3/4"
Frame	2' 11"	3' 5"	3' 11"	4' 5"	4' 11"
	 3535	 4135	 4735	 5335	 5935
	 3541	 4141	 4741	 5341	 5941
	 3547	 4147	 4747	 5347	 5947
	 3553	 4153	 4753	 5353	 5953
	 3559	 4159	 4759	 5359	 5959

Special Sizes

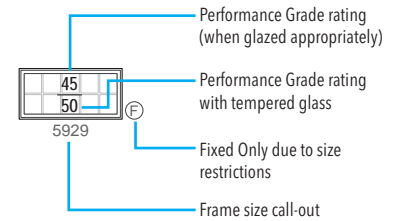
Special sizes are available in 1/8" increments.



Frame height cannot exceed frame width on standard awning vent special sizes.



Frame width and frame height cannot both exceed 59".



Impact-Resistant glazing with higher design pressure ratings available.

Performance for wood exterior units may vary from what is shown.



Standard Sizes

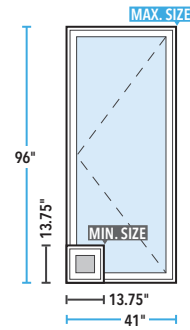
Vent and Fixed Units

	(451) (432)	(552) (533)	(603) (584)	(654) (635)	(756) (737)	(832) (813)	(908) (889)
Opening	1' 5 3/4"	1' 9 3/4"	1' 11 3/4"	2' 1 3/4"	2' 5 3/4"	2' 8 3/4"	2' 11 3/4"
Frame	1' 5"	1' 9"	1' 11"	2' 1"	2' 5"	2' 8"	2' 11"
(375) (356)	1714	2114	2314	2514	2914	3214	3514
(451) (432)	1717	2117	2317	2517	2917	3217	3517
(552) (533)		2121					
(603) (584)			2323				
(654) (635)	1725	2125	2325	2525	2925	3225	3525
(756) (737)				2929			
(832) (813)	1732	2132	2332	2532	2932	3232	3532
(908) (889)	1735	2135	2335	2535	2935	3235	3535
(1060) (1041)	1741	2141	2341	2541	2941	3241	3541
(1213) (1194)	1747	2147	2347	2547	2947	3247	3547
(1365) (1346)	1753	2153	2353	2553	2953	3253	3553
(1518) (1499)	1759	2159	2359	2559	2959	3259	3559
(1670) (1651)	1765	2165	2365	2565	2965	3265	3565
(1822) (1803)	1771	2171	2371	2571	2971	3271	3571
(1873) (1854)	1773	2173	2373	2573	2973	3273	3573

Special Sizes

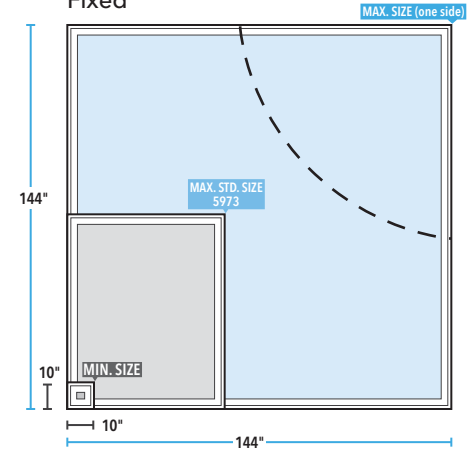
Special sizes are available in 1/8" increments.

Vent



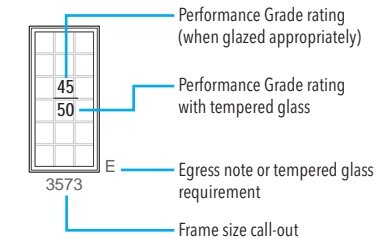
Vent units maximum frame area cannot be greater than 19.5 sq. ft.

Fixed



Maximum frame area = 66.25 sq. ft.

Maximum glass area = 60 sq. ft.



ⓕ Fixed units only.

ⓓ Tempered glass is standard.

Impact-Resistant glazing with higher design pressure ratings available.

Performance for wood exterior units may vary from what is shown.

Egress Notes:

- E = Window meets minimum clear opening of 24" height, 20" width, and 5.7 sq. ft..
- E1 = Window meets minimum clear opening of 24" height, 20" width, and 5.0 sq. ft.
- E2 = With optional side pivot hardware, window meets minimum clear opening of 24" height, 20" width, and 5.7 sq. ft.
- E3 = With optional side pivot hardware, window meets minimum clear opening of 24" height, 20" width, and 5.0 sq. ft..

Check all applicable local codes for emergency egress requirements.

Special sizes wider than 35" do not meet egress due to restricted sash opening angle.





Pella®
Architect
Series®
Traditional

Double-
Hung



Air, Water,
& Structural
Performance

Performance Class & Grade Rating	Water Penetration Resistance	Air Infiltration	Design Pressure	Forced Entry
H-CW30 - CW50	4.6 - 7.5 psf	0.11	30 - 50 psf	10

Thermal
Performance

Vent Units
11/16" glass thickness

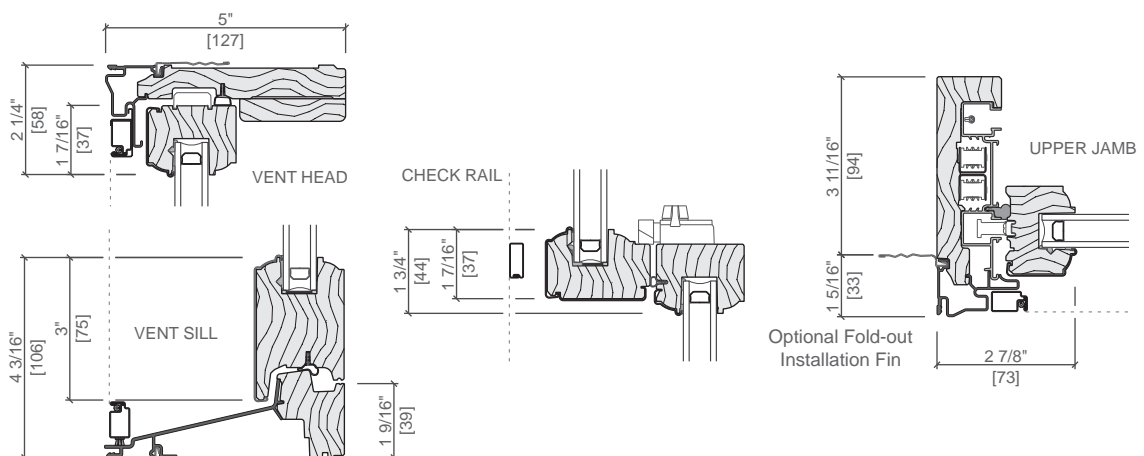
Type of Glazing (Argon fill)	U-Factor	SHGC	VLT %	CR	Energy Star® Capable
Advanced Low-E IG	0.28 - 0.32	0.19 - 0.28	0.25 - 0.53	48 - 60	NC, SC, S
SunDefense™ Low-E IG	0.28 - 0.33	0.19 - 0.21	0.43 - 0.49	56 - 60	NC, SC, S
AdvancedComfort Low-E IG	0.25 - 0.28	0.25 - 0.28	0.45 - 0.51	44 - 49	N, NC, SC, S
NaturalSun Low-E IG	0.30 - 0.34	0.46 - 0.52	0.52 - 0.60	55 - 60	N

Sound
Performance

Frame Size Tested	Type of Glazing	Integral Grilles		Removable or No Grilles	
		STC	OITC	STC	OITC
Vent; 45" x 65"	2.5mm / 2.5mm glass	27	25	26	22
	3mm / 3mm glass	29	25	28	23
	3mm / 5mm glass	33	29	32	28
	3mm / 6mm Laminated glass	34	29	33	28

















































































Code Approvals: Hallmark Certified; FPAS#: 20675; TDI#:Win-2174

Maximum performance when glazed with the appropriate glass. See the Performance section earlier in this manual to learn more about performance standards and ratings. Performance varies based on actual product attributes.



Other frame types are available. Not to scale. All dimensions are approximate. SE Double-Hung shown.

Standard Sizes

	(552) (533)	(654) (635)	(756) (737)	(857) (838)	(959) (940)	(1 060) (1 041)	(1 162) (1 143)	(1 238) (1 219)
Opening	1' 9 3/4"	2' 1 3/4"	2' 5 3/4"	2' 9 3/4"	3' 1 3/4"	3' 5 3/4"	3' 9 3/4"	4' 0 3/4"
Frame	1' 9"	2' 1"	2' 5"	2' 9"	3' 1"	3' 5"	3' 9"	4' 0"
(908) (889)								
(1 060) (1 041)								
(1 213) (1 194)								
(1 365) (1 346)								
(1 467) (1 448)								
(1 518) (1 499)								
(1 670) (1 651)								
(1 822) (1 803)								
(1 975) (1 956)								
(2 153) (2 134)								

Not to scale.

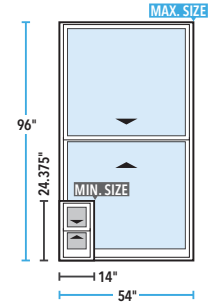
Traditional grille patterns shown.

Special Sizes

Special sizes are available in 1/8" increments.

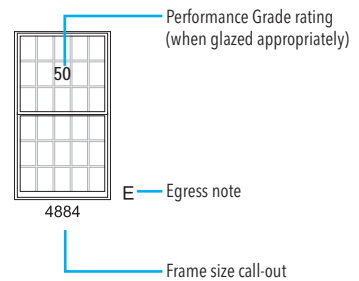
Replacement windows are available in 1/2" sizes.

Vent-Equal



Cottage and custom sash split also available. Specify checkrail height when ordering.

Transoms and Companion fixed windows available for combinations. See Casement window offering for matching glass sightlines, or see the Fixed Frame Direct Set offering.



Impact-Resistant glazing with higher design pressure ratings available.

Performance for wood exterior units may vary from what is shown.

Egress Notes:

E = Window meets minimum clear opening of 24" height, 20" width, and 5.7 sq. ft.

E1 = Window meets minimum clear opening of 24" height, 20" width, and 5.0 sq. ft.

Check all applicable local codes for emergency egress requirements.





Pella®
Architect
Series®
Traditional

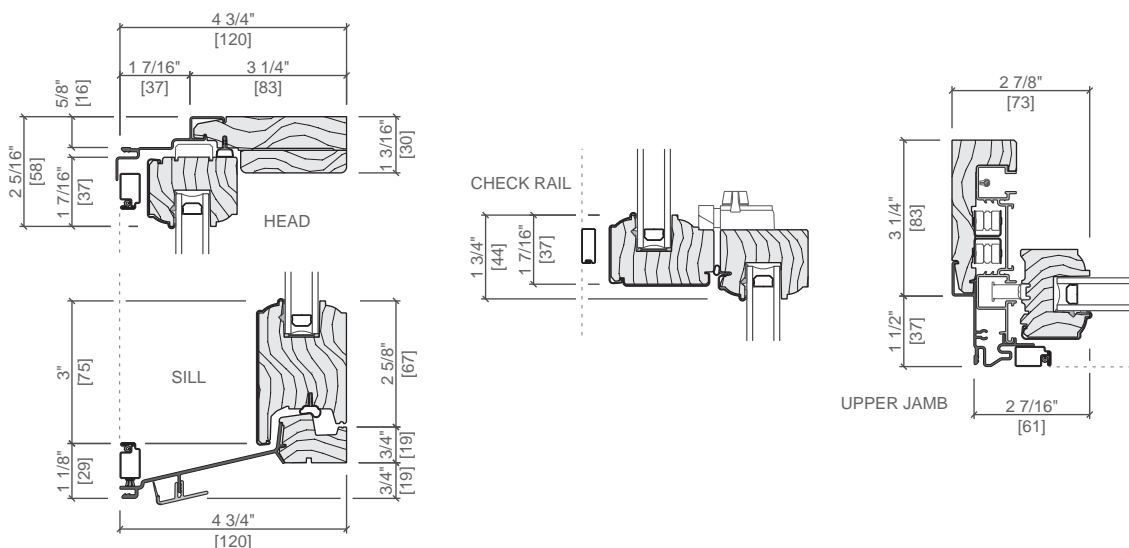
Precision Fit
Double-
Hung



Air, Water, & Structural Performance	Performance Class & Grade Rating	Water Penetration Resistance	Air Infiltration	Design Pressure	Forced Entry		
	H-CW40 - CW50	6.0 - 6.9 psf	0.11	40 - 50 psf	10		
Thermal Performance	Type of Glazing (Argon fill)	U-Factor	SHGC	VLT %	CR	Energy Star [®] Capable	
Vent Units	Advanced Low-E IG	0.29 - 0.34	0.21 - 0.28	0.26 - 0.53	58 - 60	NC, SC, S	
11/16" glass thickness	SunDefense™ Low-E IG	0.29 - 0.33	0.19 - 0.21	0.43 - 0.49	55 - 60	NC, SC, S	
	AdvancedComfort Low-E IG	0.26 - 0.29	0.25 - 0.28	0.46 - 0.52	43 - 48	N, NC	
	NaturalSun Low-E IG	0.30 - 0.35	0.46 - 0.53	0.53 - 0.60	55 - 59	N	
Sound Performance	Frame Size Tested	Type of Glazing		Integral Grilles		Removable or No Grilles	
				STC	OITC	STC	OITC
	Vent; 45" x 65"	11/16" overall thickness	2.5mm / 2.5mm glass 3mm / 3mm glass	27 30	25 26	26 28	22 24

Code Approvals: Hallmark Certified; **FPAS#:** Vent=FL14343; Fixed=FL 14129 **TDI#:** Vent=WIN-1089; Fixed= WIN-1392

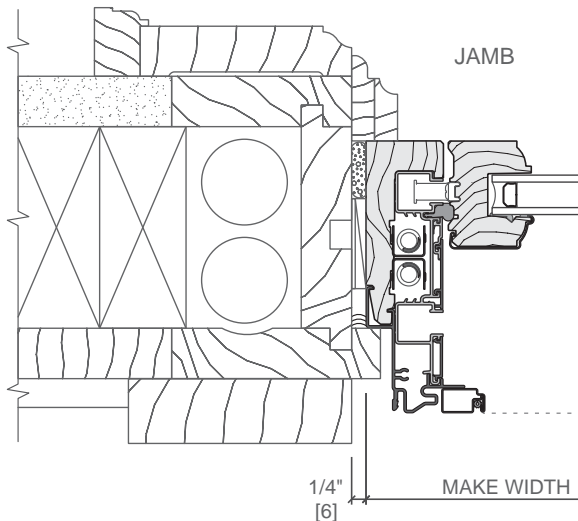
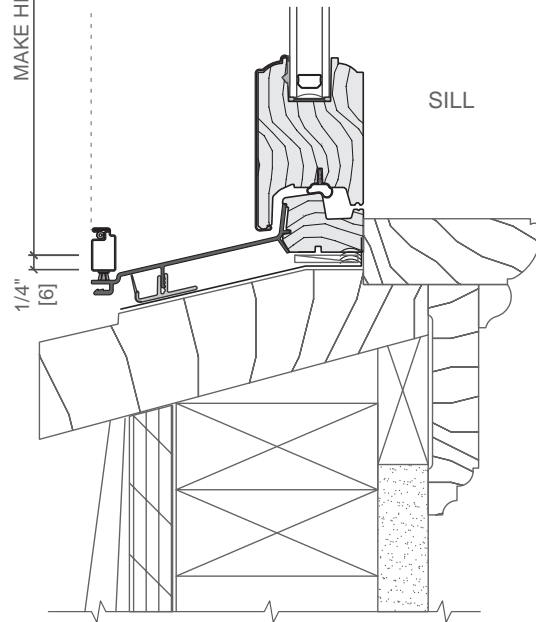
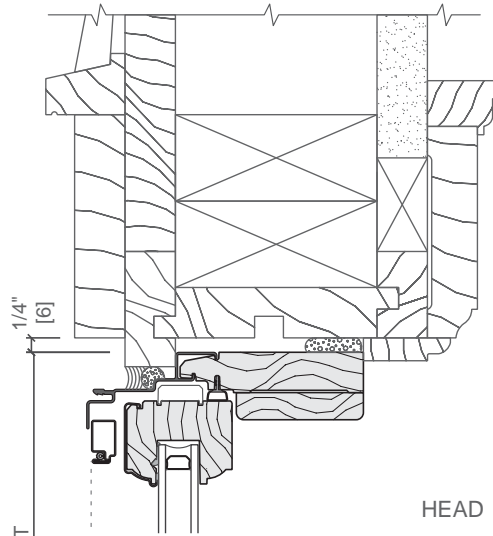
Maximum performance when glazed with the appropriate glass. See the Performance section earlier in this manual to learn more about performance standards and ratings.
Performance varies based on actual product attributes.



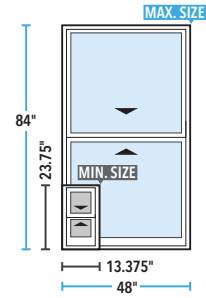
Other frame types are available. Not to scale. All dimensions are approximate.

Make Sizes

Sizes are available in 1/4" increments.



Vent-Equal



Cottage and custom sash split also available.

Companion fixed windows available. See Precision Fit Casement window offering for matching glass sightlines, or see the Fixed Frame Direct Set offering.

Consult with your local Pella sales representative or see the online ADM for egress information.

Check all applicable local codes for emergency egress requirements.

Make Width = Opening width - 1/2"
(rounded to the nearest 1/4")

Make Height = Opening height - 1/2"
(rounded to the nearest 1/4")

NOTE:

Wall construction and old Double-Hung frame shown are existing; old Double-Hung sash has been removed.

Refer to the appropriate Pella installation instruction for complete step-by-step instructions.

Shim and plumb units as required.

Seal unit to exterior / blind stop.

Seal unit to existing stool and window sill.

Level units as required.

Insulate all voids at window perimeter (by others).

Seal unit to exterior / blind stop.



**It's Possible™
to fall in love
with your
home again.**

Proposed siding for addition. (See markings on page 9 and page 19)

South Plains Product Catalog



Hardie® Panel & Hardie® Trim Batten
Weathered Cliffs
James Hardie | Magnolia Home Collection

Statement Collection® Products

It's your turn to let your home stand out with our Statement Collection® products. Curated by our design experts, this collection of Hardie® siding and trim products with ColorPlus® Technology finishes are unique to your home's region. This gorgeous selection is locally stocked in your area, making it easier than ever to find the exterior style of your dreams.

COLORPLUS® TECHNOLOGY

ColorPlus® Technology finishes combine distinct beauty and high performance in a way that no other finish does. They're the easiest way to choose a gorgeous pre-finished color for your house, and feel confident in its staying power.



Scan code to request a sample.

Hardie® Plank, Hardie® Panel, Hardie® Shingle and Hardie® Trim Batten Color Offering

Arctic White

Cobble Stone

Navajo Beige

Khaki Brown

Monterey Taupe

Timber Bark

Mountain Sage

Gray Slate

Boothbay Blue

Light Mist

Pearl Gray

Aged Pewter

Night Gray

Evening Blue

Iron Gray

Hardie® Trim Color Offering

Arctic White

Cobble Stone

Timber Bark

Hardie® Soffit Color Offering

Arctic White

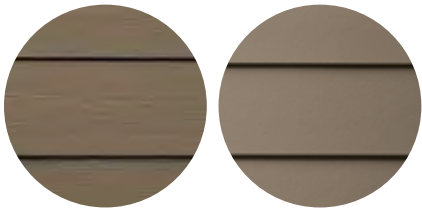
Hardie® Plank

Thickness 5/16 in
Length 12 ft planks

Select Cedarmill® & Smooth

Width 8.25 in

Exposure 7 in

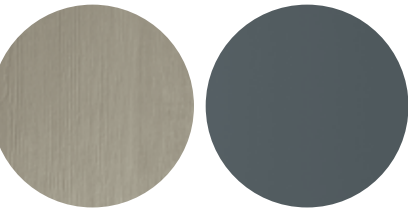


Hardie® Panel

Thickness 5/16 in

Select Cedarmill® & Smooth

Size 4 ft x 10 ft



Hardie® Shingle

Thickness 1/4 in
Length 48 in

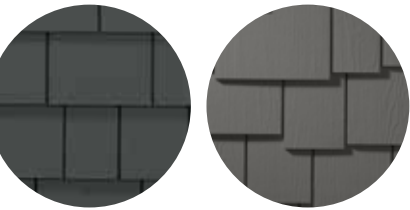
Straight Edge Panel Staggered Edge Panel

Height 15.25 in

Height 15.25 in

Exposure 7 in

Exposure 6 in



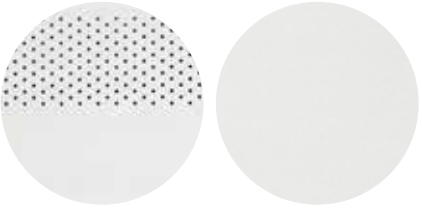
Hardie® Soffit

Thickness 1/4 in

Vented & Non-Vented Smooth

Width 12 in 16 in

Length 12 ft 12 ft



Hardie® Trim

Length 12 ft

4/4 Smooth

Thickness .75 in

Width 3.5 in 5.5 in 7.25 in

5/4 Smooth

Thickness 1 in

Width 3.5 in 5.5 in 7.25 in 9.25 in* 11.25 in

*This size is only available in Arctic White



Hardie® Trim

Length 12 ft

4/4 Rustic Grain

Thickness .75 in

Width 3.5 in 5.5 in 7.25 in

5/4 Rustic Grain

Thickness 1 in

Width 3.5 in 5.5 in 7.25 in 9.25 in* 11.25 in

*This size is only available in Arctic White



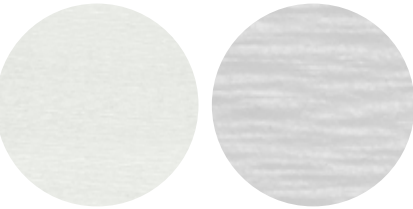
Batten Boards

Smooth & Rustic Grain

Thickness .75 in

Length 12 ft. boards

Width 2.5 in

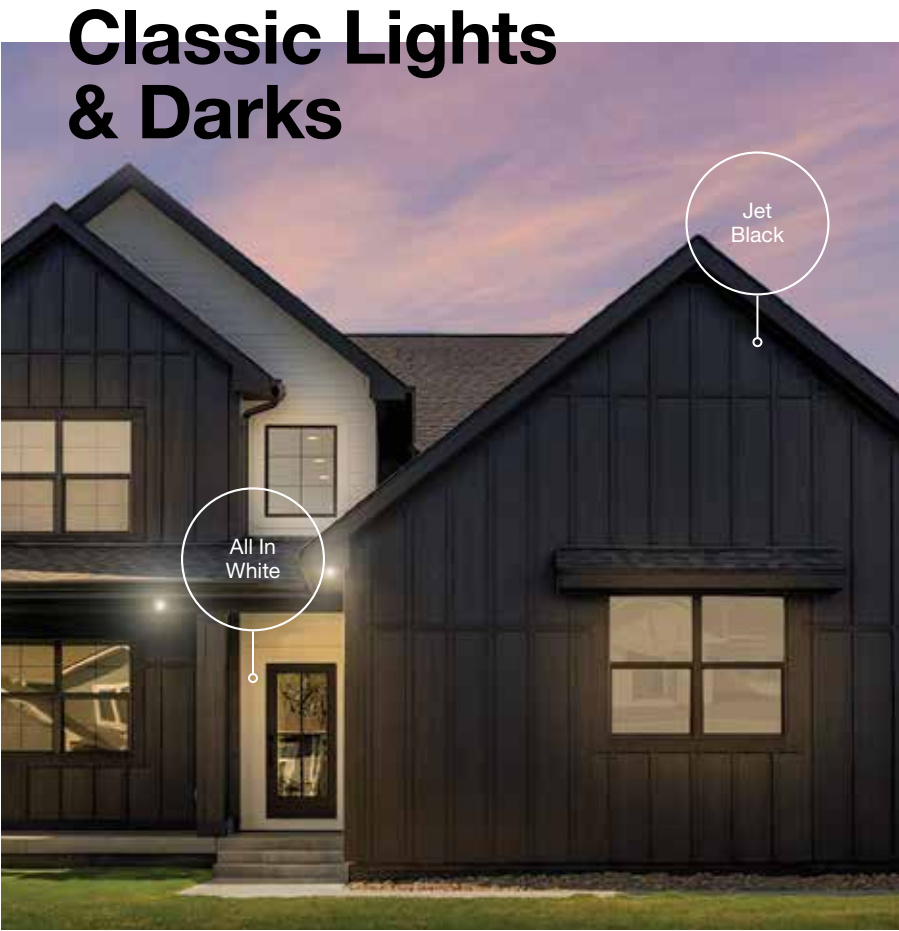


Dream Collection® Products

Looking to further express your sense of style? Look to our Dream Collection® products.

- Featuring a color palette of nearly **700 ColorPlus® Technology** finishes
- Made to order in a wide array of Hardie® siding and trim styles
- Matches elevated design flexibility with the uncompromising performance of our fiber cement products

To see the full 700-color range of the Dream Collection® products, visit jameshardie.com/dream



Scan code to view colors and request a product sample.



A classic look that stands the test of time.

Hardie® Plank

From Victorians to Colonials, Hardie® Plank is the perfect siding for your style, and has the durability and long-lasting beauty that can transform your home exterior. With endless gorgeous color and plank pairings available, you'll discover a Hardie® Plank style that transforms your home's aesthetic.



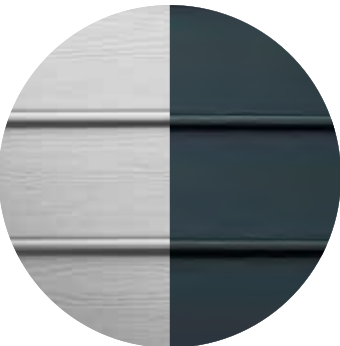
Hardie® Plank



Select Cedarmill®



Smooth



Custom Beaded Cedarmill® & Custom Smooth



Custom Colonial Roughsawn & Custom Smooth

		Thickness 5/16 in		Length 12 ft planks		
Width	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in	12 in
Exposure	4 in	5 in	6 in	7 in	8 in	10.75 in
Prime Pcs/Pallet	360	308	252	230	190	152
ColorPlus® Pcs/Pallet	324	280	252	210	—	—
Pcs/Sq.	25.0	20.0	16.7	14.3	12.5	9.3

Select Cedarmill®

Width	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in	12 in
Statement Collection®				•		
Dream Collection®	•	•	•	•		
Prime	•	•	•	•	•	•

Smooth

Width	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in	12 in
Statement Collection®				•		
Dream Collection®	•	•	•	•		
Prime	•	•	•	•	•	•

Custom Beaded Select Cedarmill® & Custom Beaded Smooth

Width	8.25 in
Exposure	7 in
ColorPlus® Pcs/Pallet	210
Pcs/Sq.	14.3
Statement Collection®	
Dream Collection®	•
Prime	

Custom Colonial Roughsawn & Custom Smooth

Width	8 in
Exposure	6.75 in
Primed Pcs/Pallet	240
Pcs/Sq.	14.9
Statement Collection®	
Dream Collection®	
Prime	•

Classic cedar style in cutting-edge material.

Hardie® Shingle

Restore the look of your grand Cape Cod home or add distinction to your handsome bungalow. Hardie® Shingle embodies the enchanting look of cedar shingles with lower maintenance. You can create your perfect exterior style using Hardie® Shingle around your entire home, or place it in accent areas for an added boost of charm you’ll love.

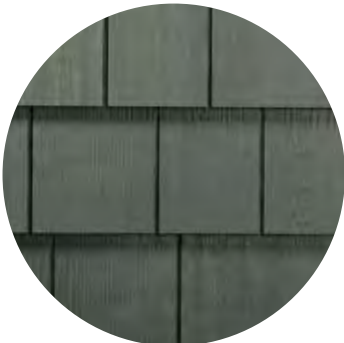
Better than the real thing, Hardie® Shingle resists rotting, curling, warping and splitting.



Hardie® Shingle



Staggered Edge Panel



Straight Edge Panel

Staggered Edge Panel	
Length	48 in
Height	15.25 in
Exposure	6 in
Prime Pcs/Pallet	100
ColorPlus® Pcs/Pallet	100
Sq/Pallet	2
Pcs/Sq.	50.0
Statement Collection®	•
Dream Collection®	•

Prime •

Straight Edge Panel	
Length	48 in
Height	15.25 in
Exposure	7 in
Prime Pcs/Pallet	86
ColorPlus® Pcs/Pallet	86
Sq/Pallet	2
Pcs/Sq.	43.0
Statement Collection®	•
Dream Collection®	•

Prime •

Designed for versatility and beautiful performance.

Hardie® Panel

Hardie® Panel delivers style and substance. When combined with Hardie® Trim Batten, it achieves the rustic board-and-batten look that defines your charming cottage or modern farmhouse. Its crisp, clean lines and ability to pair beautifully with other siding products make Hardie® Panel a smart choice for the home of your dreams.



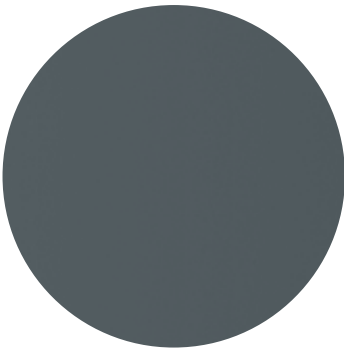
Hardie® Panel
Select Cedarmill®
Evening Blue

Hardie® Trim
Batten
Rustic Grain
Evening Blue

Hardie® Panel



Select Cedarmill®



Smooth



Stucco



Sierra 8

	Thickness 5/16 in			
Size	4 ft x 8 ft	4 ft x 9 ft	4 ft x 10 ft	16 in x 12 ft
Prime Pcs/Pallet	50	50	50	108
ColorPlus® Pcs/Pallet	50	—	50	—
Pcs/Sq.	3.2	2.8	2.5	1

Select Cedarmill®

Size	4 ft x 8 ft	4 ft x 9 ft	4 ft x 10 ft	16 in x 12 ft
Statement Collection®			•	
Dream Collection®	•		•	
Prime	•	•	•	•

Smooth

Size	4 ft x 8 ft	4 ft x 9 ft	4 ft x 10 ft	16 in x 12 ft
Statement Collection®			•	
Dream Collection®	•		•	
Prime	•	•	•	•

Stucco

Size	4 ft x 8 ft	4 ft x 9 ft	4 ft x 10 ft
Statement Collection®			
Dream Collection®	•		•
Prime	•	•	•

Sierra 8

Size	4 ft x 8 ft	4 ft x 9 ft	4 ft x 10 ft
Statement Collection®			
Dream Collection®			
Prime	•	•	•

A finished look starts with beautiful trim.

Hardie® Trim

Form meets function at every intersection with Hardie® Trim boards. With an authentic look, Hardie® Trim boards provide design flexibility for columns, friezes, doors, windows and other accent areas.

With higher performance to withstand damage from the elements compared to wood trim, Hardie® Trim is the perfect option for a long-lasting home. Hardie® Trim is a low-maintenance and durable accent for your exterior — adding an extra component of beauty to your home.



Hardie® Trim



4/4 Roughsawn		Thickness .75 in		Length 12 ft boards	
Width		3.5 in	5.5 in	7.25 in	9.25 in 11.25 in
Prime Pcs/Pallet		322	184	138	115 92
ColorPlus® Pcs/Pallet		322	184	138	115 92
Statement Collection®		•	•	•	
Dream Collection®		•	•	•	•
Prime		•	•	•	•

4/4 Smooth		Thickness .75 in		Length 12 ft boards	
Width		3.5 in	5.5 in	7.25 in	9.25 in 11.25 in
Prime Pcs/Pallet		322	184	138	115 92
ColorPlus® Pcs/Pallet		322	184	138	115 92
Statement Collection®		•	•	•	
Dream Collection®		•	•	•	•
Prime		•	•	•	•

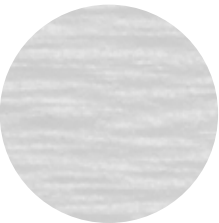
5/4 Roughsawn		Thickness 1 in		Length 12 ft boards	
Width		3.5 in	5.5 in	7.25 in	9.25 in 11.25 in
Prime Pcs/Pallet		238	136	102	85 68
ColorPlus® Pcs/Pallet		238	160	120	100 80
Statement Collection®		•	•	•	*AW •
Dream Collection®		•	•	•	•
Prime		•	•	•	•

5/4 Smooth		Thickness 1 in		Length 12 ft boards	
Width		3.5 in	4.5 in	5.5 in	7.25 in 9.25 in 11.25 in
Prime Pcs/Pallet		238	200	136	102 85 68
ColorPlus® Pcs/Pallet		238	200	160	120 100 80
Statement Collection®		•	•	•	• *AW •
Dream Collection®		•	•	•	•
Prime		•	•	•	•

*AW = Available in Arctic White only

Batten Boards

Thickness	.75 in
Length	12 ft
Width	2.5 in
Prime Pcs/Pallet	437
ColorPlus® Pcs/Pallet	190



Rustic Grain	
Statement Collection®	•
Dream Collection®	•
Prime	•



Smooth	
Statement Collection®	•
Dream Collection®	•
Prime	•

Protection in every detail, complete confidence in every area.

Hardie® Soffit

Every part of your home’s exterior matters. With Hardie® Soffit panels, you can live confidently, knowing that gaps between eaves and exterior walls are covered to provide trusted protection.

DID YOU KNOW?

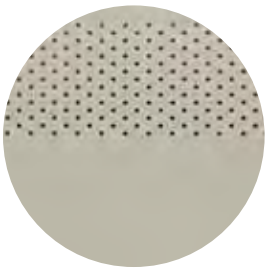
Using vented soffit improves ventilation and reduces the chance of water-vapor condensation that can promote mold, mildew and stains and which can damage your home’s framing over time.

In warm climates, vented soffit allows hot, humid air to escape, which not only helps prevent condensation in the attic, but also helps reduce air-conditioning costs.

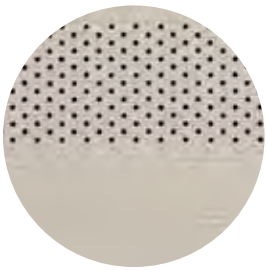
In cool climates, vented soffit helps prevent condensation from forming on the interior side of the roof sheathing and reduces the chances of roof-damaging ice dams.



Hardie® Soffit



Vented
Smooth



Vented
Select Cedarmill®



Non-Vented
Smooth



Non-Vented
Select Cedarmill®

Thickness 1/4 in				
Length	12 ft	12 ft	8 ft	8 ft
Width	12 in	16 in	24 in	48 in
Prime Pcs/Pallet	200	150	100	50
ColorPlus® Pcs/Pallet	216	156	108	—

Vented Smooth

Size	12 ft x 12 in	12 ft x 16 in	8 ft x 24 in
Statement Collection®	•	•	
Dream Collection®	•	•	•
Prime	•	•	•

Vented Select Cedarmill®

Size	12 ft x 12 in	12 ft x 16 in	8 ft x 24 in
Statement Collection®			
Dream Collection®	•	•	•
Prime	•	•	•

Non-Vented Smooth

Size	12 ft x 12 in	12 ft x 16 in	8 ft x 24 in	8 ft x 48 in
Statement Collection®	•	•		
Dream Collection®	•	•	•	
Prime	•	•	•	•

Non-Vented Select Cedarmill®

Size	12 ft x 12 in	12 ft x 16 in	8 ft x 24 in	8 ft x 48 in
Statement Collection®				
Dream Collection®	•	•	•	
Prime	•	•	•	•

Distinctive design, engineered to last.

Hardie® Artisan Siding

NOW PART OF THE HARDIE™ ARCHITECTURAL COLLECTION.

Offering gorgeous, deep shadow lines and extra thick boards, Hardie® Artisan siding will set your home apart. The 5/8-inch thickness and unique features of Hardie® Artisan siding provide precise fit and finish as well as the freedom to miter corners for attractive, streamlined styling.

TONQUE & GROOVE SYSTEM

Hardie® Artisan siding flat wall profiles have a tongue & groove system that helps enable faster, cleaner installation. Orient vertically, horizontally or use as soffit.

MITERED CORNERS

Add sophistication to your design with mitered corners that can be crafted on-site with any Hardie® Artisan profile.



Tongue &
Groove System



Mitered
Corners



Hardie®
Artisan Siding
V-Groove

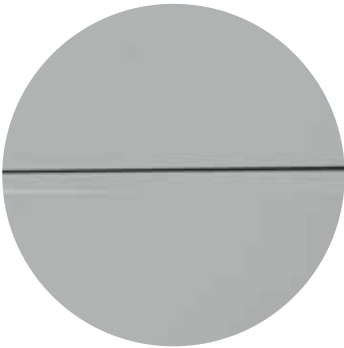
Hardie® Artisan Siding



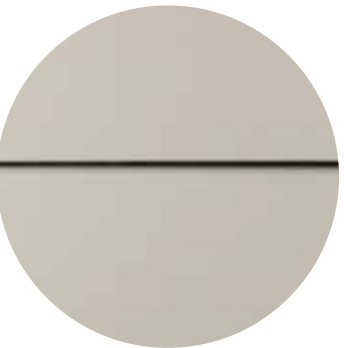
Shiplap



V-Groove



Square Channel



Lap Siding

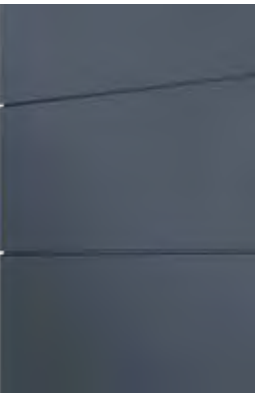
Shiplap	Thickness 5/8 in	
Width	10.25 in	(9 in exposure)
Length	12 ft	
Pcs/Pallet	105	
Prime	●	

V-Groove	Thickness 5/8 in	
Width	8.25 in	(7 in exposure)
Length	12 ft	
Pcs/Pallet	126	
Prime	●	

Square Channel	Thickness 5/8 in	
Width	10.25 in	(9 in exposure)
Length	12 ft	
Pcs/Pallet	105	
Prime	●	

Lap Siding*	Thickness 5/8 in	
Width	7.25 in (6 in exposure)	8.25 in (7 in exposure)
Length	12 ft	12 ft
Pcs/Pallet	144	125
Prime	●	●

*Lap siding does not offer the tongue & groove system.



Tougher than the elements.



Fire

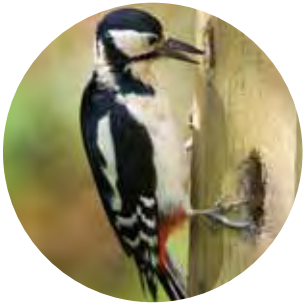
A home’s exterior is its first line of defense against extreme weather and fire. Prepare your home for the unpredictable with siding that is non-combustible, won’t burn and is recognized by fire departments nationwide.*

- Listed for use in wildfire-prone Wilderness Urban Interface (WUI) zones in the western US.

Cal-Fire Compliant



*Hardie® siding complies with ASTM E136 as a noncombustible cladding and is recognized by fire departments across the U.S. including Marietta, GA, Flagstaff, AZ and Orange County, CA. Fiber cement fire resistance does not extend to applied paints or coatings, which may be damaged or char when exposed to flames.



Pests

Mother Nature’s creatures can wreak havoc on wood-based siding. It can be pecked by birds or damaged by termites or other pests. Hardie® fiber cement holds no appeal for these critters, saving you the maintenance hassle.



Mother Nature

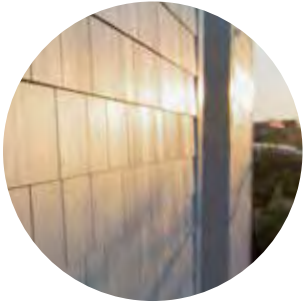
Your siding is exposed to Mother Nature all day, every day. You deserve to feel confident that it can hold its own throughout it all — from the changing seasons to extreme weather.

- FEMA Class 5 flood damage resistance (highest rating)
- Rated for use in High Velocity Hurricane zones by Miami-Dade County, Florida



Water Resistant

From rain to ice to snow, Mother Nature’s precipitation patterns leave wood exteriors at risk to cracking, swelling and warping. Take shelter from the storm knowing that your siding is built to resist water damage.



Time

ColorPlus® Technology finishes provide a durable finish that helps resist fading and discoloration that other paint applications may see more quickly over time, so your exterior can keep its good looks longer.

The highest-quality materials for your highest satisfaction.

Unique Formulation HZ10® Substrate

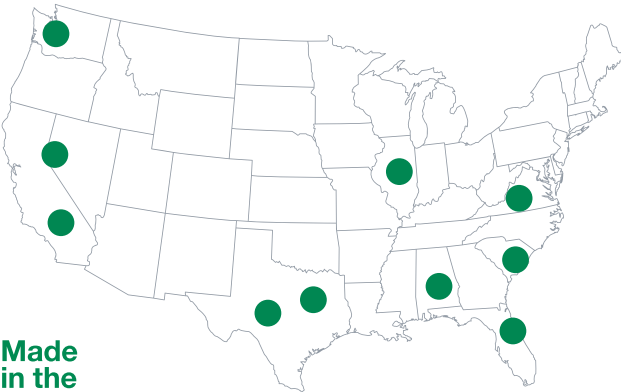
Not all fiber cement is the same. The Hardie® HZ10® product formulation contains the highest-quality raw materials. Our unique formulation, combined with innovative product design and manufacturing processes, creates a substrate that is specifically engineered to resist moisture, cracking, shrinking and swelling, for increased durability and workability.

Proprietary enhancements create durable Hardie® siding

Perfect balance of strength and workability
Our balance of high-quality Portland cement, sand and cellulose fiber delivers the best combination of strength and workability.

Enhanced moisture resistance for unmatched durability
Patented and proprietary additives are chemically bonded within the substrate matrix to provide durable moisture resistance.

Increased dimensional stability
Our siding is engineered at the microscopic level to create a fiber cement composite with superior dimensional stability that helps protect against shrinking and splitting.



Made
in the
USA

● James Hardie Manufacturing Plant

10 manufacturing facilities in the United States which source 80% of their raw materials locally



Unmatched investment in manufacturing scale and production innovation

- Largest manufacturer of fiber cement in North America
- Over 7x the North American manufacturing capacity of our nearest fiber cement competitors
- More than 100 process and product quality checks
- Over 95 scientists and engineers in R&D providing dedicated resources for continuous innovation in manufacturing and product development
- More U.S. fiber cement patents than any competitor

Building sustainable communities.

Sustainability is built into our DNA.

At James Hardie, our business is about building better communities that have a lower impact on our environment and are built to last. We operate with a global mindset and at the same time take great care in how our business affects households, our James Hardie community, the local communities in which we live and operate, and across the largest shared community of all, our global ecosystem. Building sustainable communities is at the forefront of our strategy and integral to our success.



- ↑ Global Impact
- ↑ Community Impact
- ↑ James Hardie
- ↑ Homeowner



Scan code to find out more about our sustainability efforts.



Adding value to our communities

We recognize our ability to impact the communities in which we live and work. While maintaining a global mindset, we put great care into how our business affects local communities. We contribute by sourcing, employing, delivering and giving locally.

Creating an impact

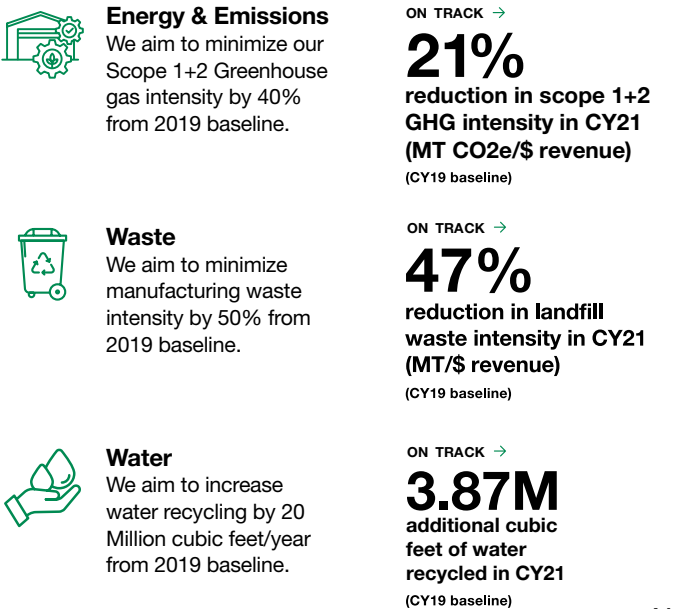
We invest in the local community and aim to locate the plants close to suppliers, customers and potential new employees, as well as sustainable transportation opportunities.



The right kind of impact

Having a sustainable impact means minimizing our impact on the environment while supporting resilient local communities. We are committed to minimizing our environmental impact, prioritizing the management of waste, water, energy and emissions.

2030 goals



*Above statistics are the James Hardie impact from fiscal year 2022.









24725_HP Submission_241028_e

Final Audit Report

2024-10-30

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By:	Westin Dinnes (westind@dinnesstudio.com)
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