



The City of
OKLAHOMA CITY

APPLICATION FOR CERTIFICATE OF APPROVAL

☐ BC ☒ DBD, DTD-1, ☐ SRODD ☐ SYC, ☐ UD
DTD-2 SYT

District: DBD

Fee: \$200 Administrative Review or Extension

\$750 Commission/Committee Review

Case Number: DICA-25-00020

☒ New Project

☐ Revision to Case # _____

☐ Extension to Case # _____

Project Address 330 NE 1st st , OKC, OK

Property Owner Name Bricktown Hospitality, LLC

Address 4300 S. Coltrane Road

City, State, Zip Edmond, OK 73013

☐ Violation Notice Issued

☐ City Project (If yes, please select type)

☐ CIP ☐ Federal Exempt ☐ Maps

☐ COTPA ☐ General Fund ☐ Special Purpose

☐ Federal ☐ GO Bond ☐ TIF

Organization _____

Phone 405-209-8762

Email atul@astonmc.com

I prefer my documents to be: ☐ Mailed or ☒ Emailed.

Property Owner: I authorize the applicant to speak for me in matters regarding this application. Any agreement made by the applicant regarding this proposal will be binding upon me. I authorize the City of Oklahoma City Planning Staff to enter the property for the purpose of observing and taking photographs of the project area for presentation and for inspections to insure consistency between approved proposal and completed project. Owner agrees that work will be performed exactly as approved or they will apply for revisions prior to work commencing.

Property Owner's Name Bricktown Hospitality Signature Atul Patel Date 02/25/25

Applicant Name Maria Flores Organization Type-Six

Address 920 S. Main St., Suite 150 Phone 817-9957068

City, State, Zip Grapevine, TX 76051 Email maria@type-six.com

I prefer my documents to be: ☐ Mailed or ☒ Emailed.

Applicant's Name Maria Flores Signature Mj Date 03/04/25

BUILDING CONSTRUCTION Square feet of entire structure _____

☒ New Construction ☐ Renovation ☐ Addition ☐ Demolition

OTHER WORK

☐ **Parking Lot** Square feet of new parking lot or expansion to parking lot _____

☐ **Sign** Square feet each sign [_____] [_____] [_____] Total Signage [_____] Type: _____

☐ **Streetscape** Length [_____] Width [_____] **Note: Revocable Permits Required**

☐ **Fence** Height [_____] Length [_____] Material _____

☐ **Work not specified above** _____

Received by Laura Griggs

Date received _____

Fees effective 07/16/2020

RECEIVED
MAR - 4 2025
PLANNING DEPARTMENT



HOTEL: TEMPO BY HILTON

PROJECT ADDRESS

Oklahoma City Tempo Hotel
Oklahoma City, Oklahoma

CLIENT:

ATUL PATEL
BRICKTOWN HOSPITALITY

ISSUE DATE: 31 MARCH 2025

Project: T6-24038

ARCHITECT OF RECORD:

Hayes Hinkle

PROJECT CONTACTS:

JAMES LUSTY
MARIA FLORES

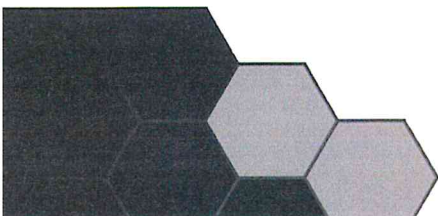
SCOPE OF WORK

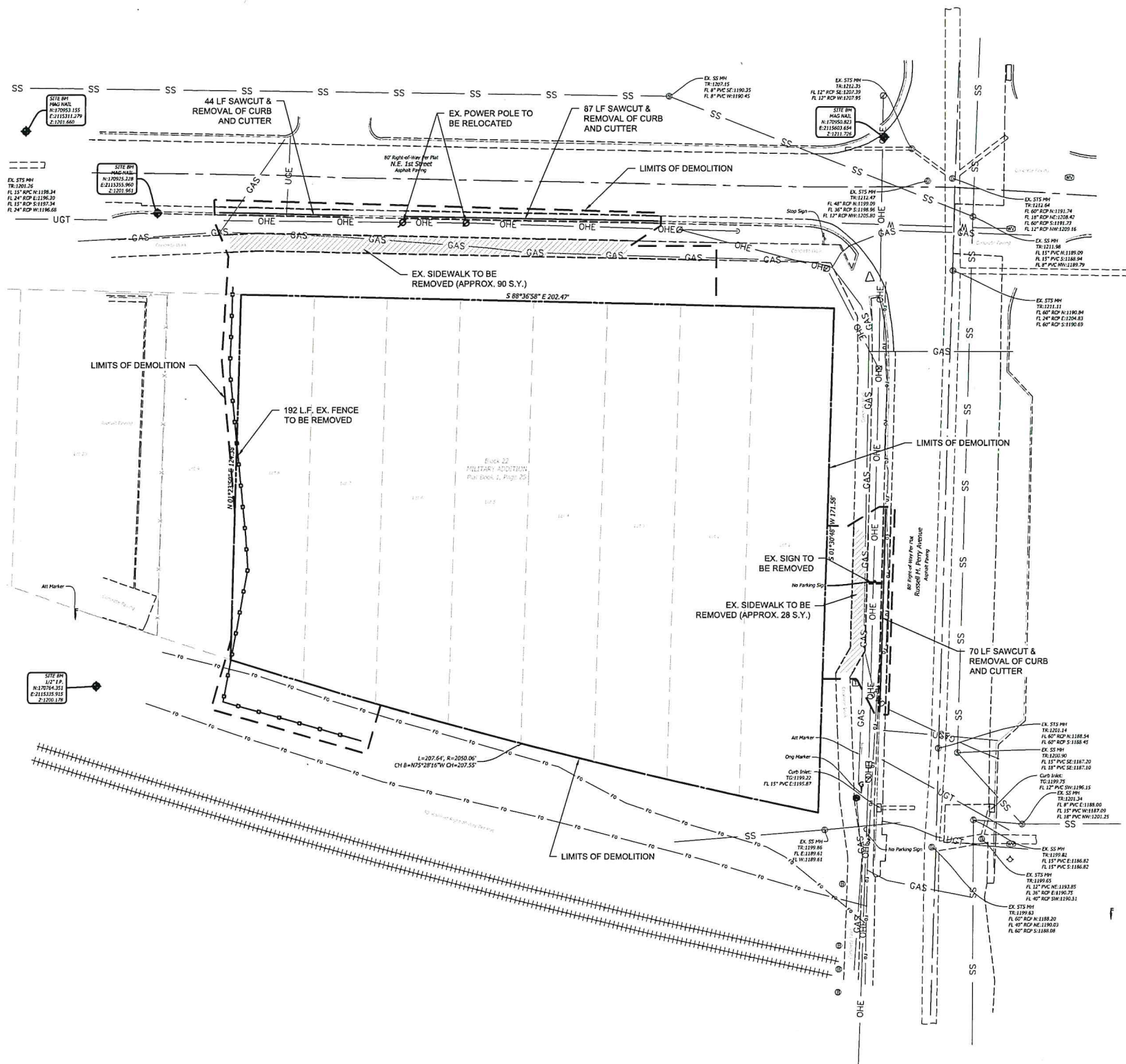
THE PROJECT INVOLVES THE CONSTRUCTION OF A SIX-STORY, 148-GUESTROOM TEMPO BY HILTON HOTEL, FEATURING A RANGE OF AMENITIES DESIGNED TO ENHANCE THE GUEST EXPERIENCE. THE GROUND FLOOR FEATURES A FULL-SERVICE RESTAURANT AND CAFÉ WITH OUTDOOR SEATING, DESIGNED TO ENHANCE THE STREETScape AND CREATE A WELCOMING ATMOSPHERE FOR BOTH HOTEL GUESTS AND THE PUBLIC. ADDITIONALLY, THE HOTEL INCLUDES DEDICATED MEETING SPACE, CATERING TO BUSINESS TRAVELERS AND SMALL EVENTS. A SIXTH-FLOOR ROOFTOP BAR OFFERS PANORAMIC VIEWS AND A VIBRANT SOCIAL SETTING.

THE HOTEL'S EXTERIOR DESIGN INCORPORATES A MIX OF HIGH-QUALITY MATERIALS, INCLUDING BRICK, BOX RIB METAL PANEL, METAL PANEL, AND STUCCO, TO CREATE A CONTEMPORARY AND DURABLE FAÇADE. THE STOREFRONT WINDOW SYSTEM ENHANCES TRANSPARENCY AND STREET-LEVEL ENGAGEMENT, WHILE C-CHANNEL CANOPIES AT ALL MAIN ENTRIES PROVIDE BOTH AESTHETIC APPEAL AND FUNCTIONAL WEATHER PROTECTION.

AS PART OF THE PROJECT, THE SIGNAGE SHOWN ON THE PLANTER WALL IN THE RENDERING IS LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY. DUE TO THIS PLACEMENT, THE SIGN WILL REQUIRE A VARIANCE FROM THE BOARD OF ADJUSTMENT AND WILL BE SUBJECT TO A SEPARATE PERMIT APPLICATION AND APPROVAL PROCESS.

ADDITIONALLY, THIS PROJECT WILL REQUIRE APPROVAL FROM THE TRAFFIC AND TRANSPORTATION COMMISSION FOR THE PROPOSED SET-IN ON-STREET PARKING SPACES AS WELL AS THE PROPOSED DROP-OFF AND VALET AREA.





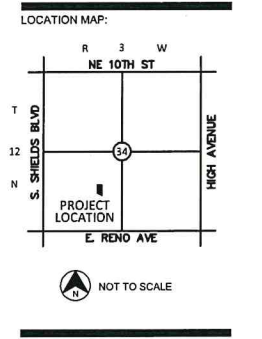
LEGEND

---	EXISTING 1' CONTOUR
---	EXISTING 5' CONTOUR
---	PROPOSED 1' CONTOUR
---	PROPOSED 5' CONTOUR
---	BOUNDARY LINE
---	RIGHT OF WAY LINE
---	EASEMENT LINE
---	EXISTING CURB AND GUTTER
---	PROPOSED CURB AND GUTTER
---	PROPOSED FIRE LANE STRIPING
---	OVERHEAD ELECTRIC LINE
---	UNDERGROUND ELECTRIC LINE
---	GAS LINE
---	UNDERGROUND TELEPHONE LINE
---	UNDERGROUND FIBER OPTIC LINE
---	SANITARY SEWER LINE
---	WATERLINE
---	RETAINING WALL
---	SCREEN WALL
---	WIRE FENCE
---	CHAIN LINK FENCE
---	BENCHMARK

+	PROP. FIRE HYDRANT
+	PROP. WATER VALVE
+	PROP. WATER METER
+	PROP. ELECT. METER
+	PROP. LIGHT POLE
+	PROP. BOLLARD
+	PROP. TRANSFORMER
+	PROP. PARKING COUNT
+	PROP. INLETS (SEE GRADING PLAN FOR TYPE)
+	PROP. WHEEL STOP
+	PROP. FES
+	PROP. HC RAMP
+	PROP. POWER POLE
+	PROP. SS MANHOLE
+	PROP. GAS METER
+	PROP. SIGN
+	PROP. FIRE ROUTE SIGN

NOTE: REFER TO SURVEYING LEGEND FOR EXISTING STRUCTURES IDENTIFICATION

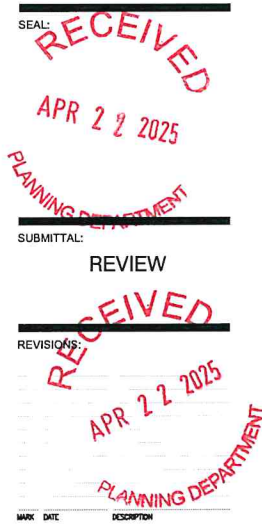
- ### DEMOLITION NOTES
1. THE CONTRACTOR SHALL ABIDE BY ALL FEDERAL, STATE AND LOCAL CODES FOR THE DEMOLITION AND DISPOSAL OF ALL MATERIALS.
 2. CEDAR CREEK CONSULTING, INC. SHALL NOT BE LIABLE FOR ANY DEMOLITION PROCEDURES, SCHEDULING, AND DISPOSING OF ANY MATERIALS.
 3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE SURE THAT THE PROPERTY IS NOT DAMAGED AND IS ACCESSIBLE AT ALL TIMES, AND THAT CONSTRUCTION DOES NOT CREATE ANY HARDSHIP TO LAND OWNERS.
 4. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
 5. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE DISCONNECTION, REMOVAL AND RELOCATION OF ALL UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR SERVICES. THE CONTRACT IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
 6. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING EXISTING IRRIGATION SYSTEM IN THE AREAS OF PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL CAP THE EXISTING IRRIGATION SYSTEM TO REMAIN SUCH THAT THE REMAINING SYSTEM SHALL CONTINUE TO FUNCTION PROPERLY.
 7. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES.
 8. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDINGS.
 9. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.
 10. THE CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC.
 11. ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED PRIOR TO DEMOLITION.
 12. THE CONTRACTOR MAY LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC., THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
 13. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY INCLUDING FENCING AND CONSTRUCTION TRAILER AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM THE SITE.
 14. THE CONTRACTOR SHALL COORDINATE WATERMAIN WORK WITH THE FIRE DEPARTMENT. THE CITY UTILITY DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATERMAIN SHUT-OFFS WITH THE CITY/COUNTY DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATERMAIN SHUT-OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
 15. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE. REPAIRS SHALL RESTORE DAMAGED ITEMS TO EQUAL OR BETTER THAN EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING ALL EXISTING DAMAGE AND NOTIFYING THE CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION START.
 16. ALL TRENCHES AND/OR EXCAVATED AREAS SHALL BE FILLED /TESTED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERING REPORT.
 17. IF SEPTIC TANKS ARE FOUND PRESENT WITHIN THE LIMITS OF DISTURBANCE, THEY SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL LAWS.
 18. IF THE CONTRACTOR FINDS ANY UNDERGROUND TANKS ON SITE, THEY SHALL CONTACT THE ENGINEER IMMEDIATELY.
 19. ALL WELLS SHALL BE CAPPED AND CLOSED IN ACCORDANCE WITH APPLICABLE STATE AND FEDERAL LAWS.
 20. ALL ITEMS WITHIN LIMITS OF DEMOLITION SHALL BE REMOVED UNLESS OTHERWISE NOTED.
 21. CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS. CONTRACTOR SHALL BE AWARE THAT INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS.
 22. CONTRACTOR IS TO VERIFY LOCATION OF EXISTING IRRIGATION SYSTEM, VALVE BOXES, CONTROL BOXES, BACKFLOW PREVENTION DEVICES AND LIGHTING CONDUIT. IF DAMAGED THEY MUST BE REPAIRED AT CONTRACTOR'S EXPENSE.



PROJECT: **TEMPO BY HILTON**

RUSSELL PERRY & NE 1ST
OKLAHOMA CITY, OK

PROJECT NUMBER: 25027
DRAWING DATE: 03/28/25
ISSUE DATE: 03/28/25



THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF CEDAR CREEK CONSULTING INC. THIS SHEET IS NOT TO BE USED FOR CONSTRUCTION UNLESS THE ISSUE DATE IN THE TITLE BLOCK COINCIDES WITH OR POST DATES THE DRAWING DATE. ANY CHANGES MADE FROM THESE PLANS WITHOUT CONSENT OF CEDAR CREEK CONSULTING INC. ARE UNAUTHORIZED AND SHALL RELIEVE CEDAR CREEK CONSULTING OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.

DRAWING TITLE: **DEMOLITION PLAN**

SHEET: **C1.00**



TYPE-SIX
DEVELOPMENT SERVICES, LLC
910 SOUTH MAIN STREET #150
GRAPEVINE, TEXAS 76054
972.677.9075

OKLAHOMA CITY TEMPO HOTEL
N.E. 1st Street & Russell M. Perry Avenue

PROJECT #24038

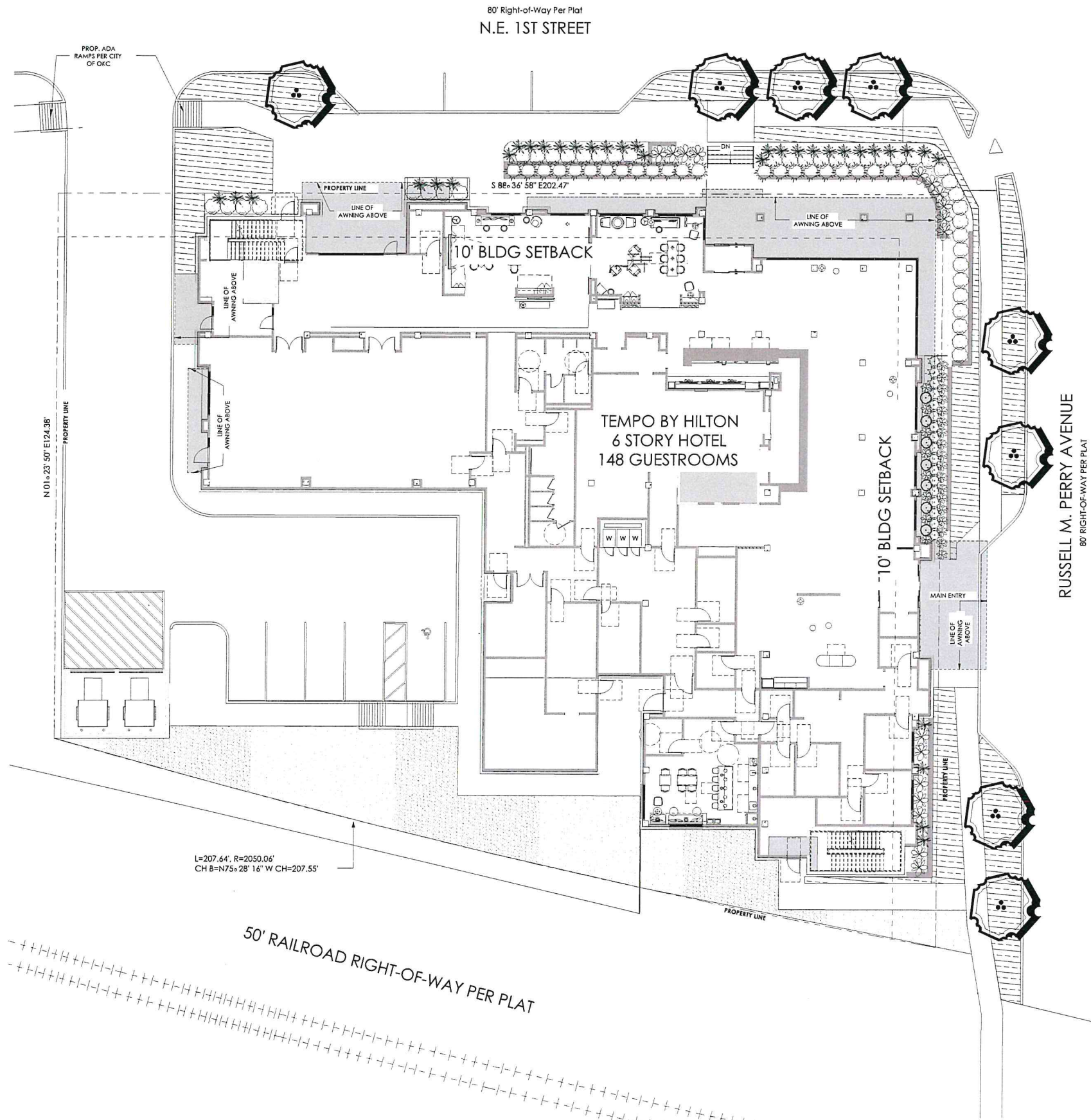
ISSUE DATE
31 MAR 2025

ISSUED FOR

#	Revision	Date

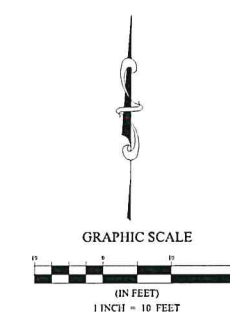
SHEET NAME
LANDSCAPE PLAN

SHEET NUMBER
L1.00



KEY				
TREES				
1	WC	Chinese Elm	Chinese Elm	1" Cal. Min. Cont. Green 8-10' Height 5' Spread
SHRUBS				
25	EUD	Eucalyptus	Blandy Wintercreeper	Specimen 8' Cal. Min. Spread 30' O.C.
17	LAV	Lavender	Parrotia	Specimen 8' Cal. Min. Spread 24' O.C.
34	SP	Spirea	Shrubland Spirea	Specimen 8' Cal. Min. Spread 24' O.C.
41	TAX	Taxus	Chinese Spreading Yew	Specimen 8' Cal. Min. Spread 30' O.C.
7	SP	Spirea	Heavenly Blue Spirea	Specimen 8' Cal. Min. Spread 24' O.C.
17	LAV	Lavender	Crabapple	2" Cal. Min. Spread 24' O.C.
25	EUD	Eucalyptus	Shrubland Spirea	Specimen 8' Cal. Min. Spread 30' O.C.
GROUND COVER: SOD, GRAVEL, MISC				
2.710 SF	VS	White Mulch	Common Periwinkle	24" O.C. Specimen 4' High
2.730 SF	SOD	Common Bermuda Grass	Solid Sod	

IRRIGATION NOTE
ALL LANDSCAPED AREAS MUST BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM EQUIPPED WITH OPERATING RAIN AND FREEZE SENSORS



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APR 22 2025
PLANNING DEPARTMENT



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PROJECT #24038

ISSUE DATE
03 MAR 2025
ISSUED FOR

#	Revision	Date

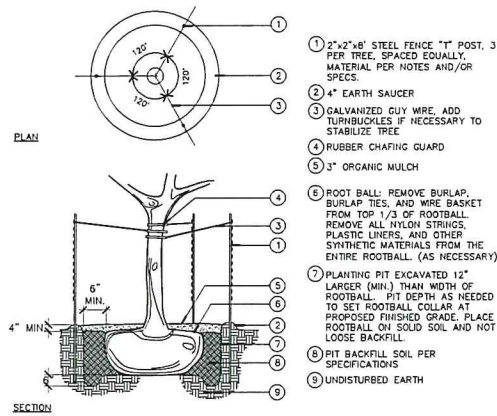
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LANDSCAPE DETAILS

SHEET NUMBER
L1.01

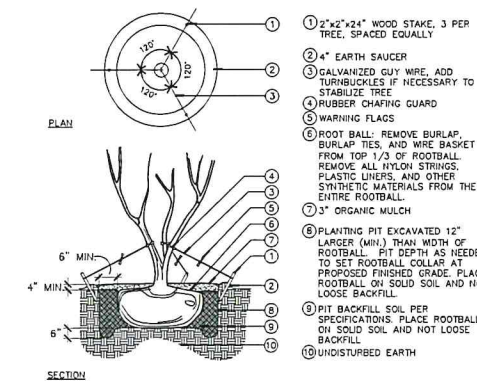


LANDSCAPE NOTES

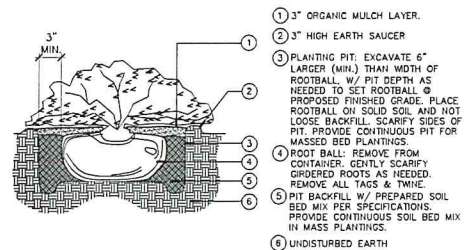
- Plant material shall comply with all sizing and grading standards of the latest edition of 'American Standard for Nursery Stock'.
- Contractor shall stake out tree locations and bed configuration for approval by owner prior to installation.
- It is the responsibility of the contractor to advise the owner's representative of any condition found on site which prohibits installation as shown on these plans.
- In the event of a discrepancy between drawings and plant schedule, the drawings shall prevail.
- Locate all utilities prior to digging. Contractor shall be responsible for all damage incurred by his/her work.
- No substitutions shall be made without written authorization from the project Landscape Architect or the Owner.
- Commercial Soil Mix: All planting beds shall be excavated to six (6") inches below finished grade by Landscape Contractor, and all debris, stones, rubbish, weeds, and topsoil shall be removed from the site. The subgrade shall then be filled to a depth of six (6") inches and the planting bed shall be backfilled with soil compost mix as available from Living Earth Resources, Inc., Dallas, Texas, or approved equal. Upon replacement of topsoil with mix and after watering in, the bed should be at the specified level.
- Existing soil shall be reasonably free of stones, lumps of clay, roots and other foreign matter. Acidity to be between 5.0 and 7.0 pH.
- If rocks are encountered, remove to a depth of 4" and add 4" of friable fertile topsoil to all sodded areas. Grade according to Engineer's grading plan.
- Lawn areas shall have 4" minimum friable topsoil and be treated with fertilizer applied at a rate of 20 pounds per 1,000 square feet.
- All plant beds shall be top dressed with a minimum 3" of shredded hardwood mulch.
- Provide beveled edge between all plant beds and lawn areas unless indicated differently on plans.
- Tree planting pits shall be backfilled with top soil, and cleared of all rocks, lumps of clay and other foreign material. Place 1" of compost and 3" of mulch on top of root ball.
- Methods of tree staking indicated on the drawings are for suggestion only. The landscape contractor shall use whatever method he/she deems fit, however, he/she will be held liable for any damage caused to trees due to improper staking methods (including absence of staking), and will be responsible for adjusting and/or replanting trees which are not held upright during the warranty period.
- Trees shall be planted at least 3 feet from any utility line, curb, walk or fire hydrant, and outside all utility easements.
- Trees overhanging walks and parking areas shall have a clear trunk height of 7 feet from finish surface grade.
- Trees overhanging public street pavement, drive aisles and fire lanes shall have a minimum clear trunk height of 14 feet from finish surface of street pavement.
- Trees planted on slopes shall be placed in planting pits of adequate depth such that the soil stain at the base of the trunk matches that of the average grade or slope.
- A visibility triangle must be provided at all intersections. Shrubs are not to exceed two feet six inches in height (2'-6") in height above street grade. Trees will have a minimum clear trunk branching height of nine (9) feet.
- No shrubs shall be permitted within areas less than three (3) feet in width. All such areas shall be grass or other permanent fixed material such as paving.
- During the warranty period The owner, tenant, and/or their agent (if any) shall be jointly responsible for the maintenance of all landscaping. All required landscaping shall be maintained in a neat and orderly manner at all times. The work shall include - but not be limited to - mowing, edging, pruning, fertilizing, watering, weeding and other such activities common to the maintenance of landscaping. All plant materials shall be maintained in a healthy and growing condition as is appropriate for the season of the year. Plant material that is damaged, destroyed, removed, or showing more than 40% defoliation, shall be replaced with plant material of similar size and variety within thirty (30) days.
- Contractor shall warrantly plant material to remain alive and healthy for a period of one year after the final acceptance. Warranty shall not include damage for loss of plant material due to natural causes, acts of vandalism or negligence on the part of the owner.
- Landscape areas shall be kept free of trash, litter and weeds.
- All signage and fencing shall be contingent upon building inspection department approval.
- An automatic irrigation system shall be provided to maintain all landscape areas. Overspray on streets and walks is prohibited. A permit from the building inspection department is required for each irrigation system.



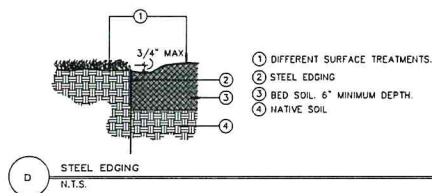
A TREE PLANTING
N.T.S.



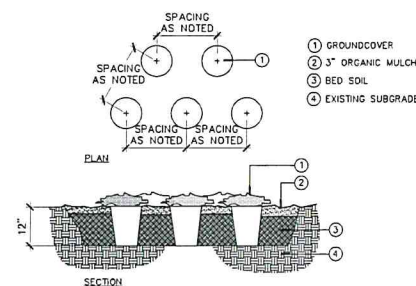
B MULTI-TRUNK TREE PLANTING
N.T.S.



C SHRUB PLANTING
N.T.S.



D STEEL EDGING
N.T.S.



E GROUNDCOVER PLANTING
N.T.S.

NOTE: ALL DETAILS ARE FOR PRIVATE PROPERTY
USE ONLY- THESE DETAILS SHALL NOT BE USED
IN THE R.O.W. OR EASEMENT AREAS.



TYPE-SIX

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ARCHITECT
D. HAYES HINKLE
ISSUE DATE
24 FEB 2025
ISSUED FOR
30% REVIEW

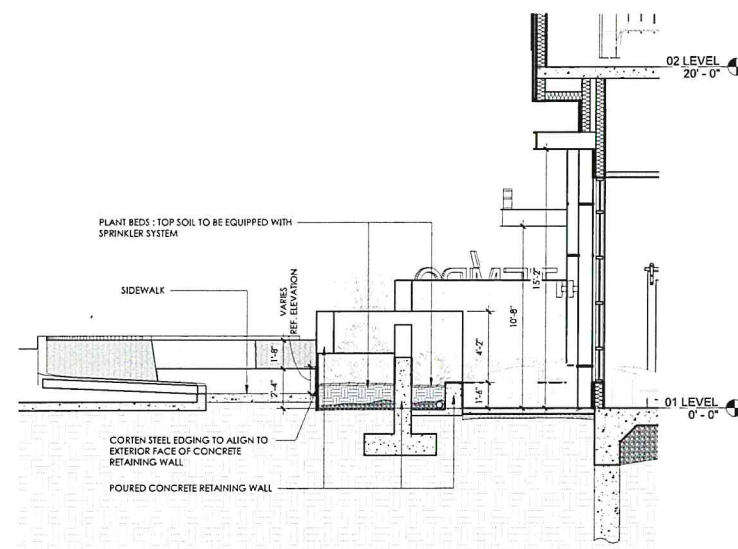
#	Revision	Date
1		

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SITE ELEMENTS
SHEET NUMBER
A0.03

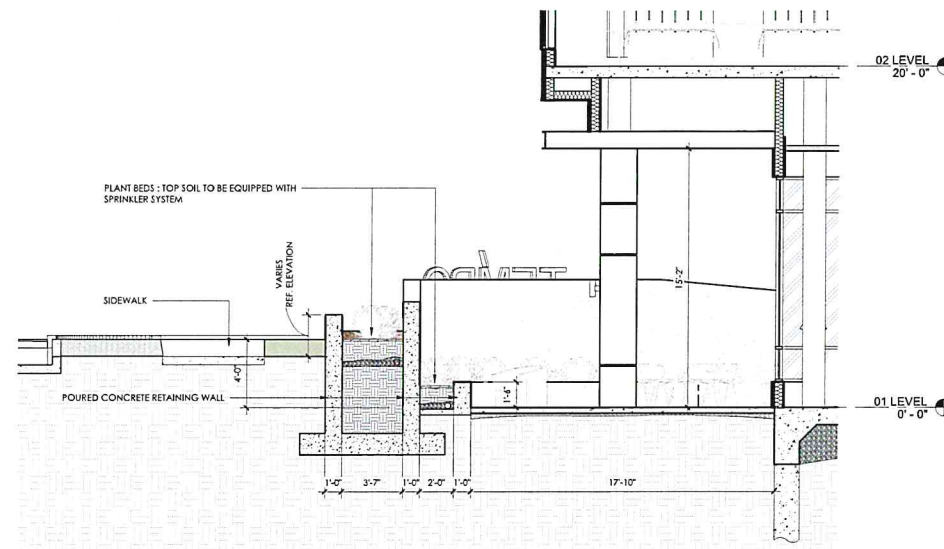
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PERMIT, OR
CONSTRUCTION.

D. HAYES HINKLE - 26067

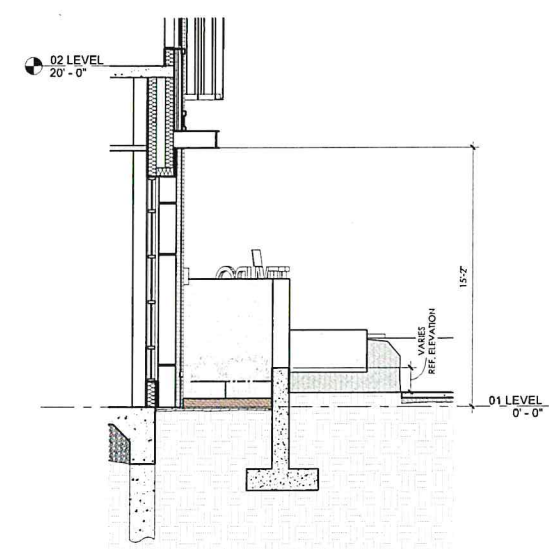
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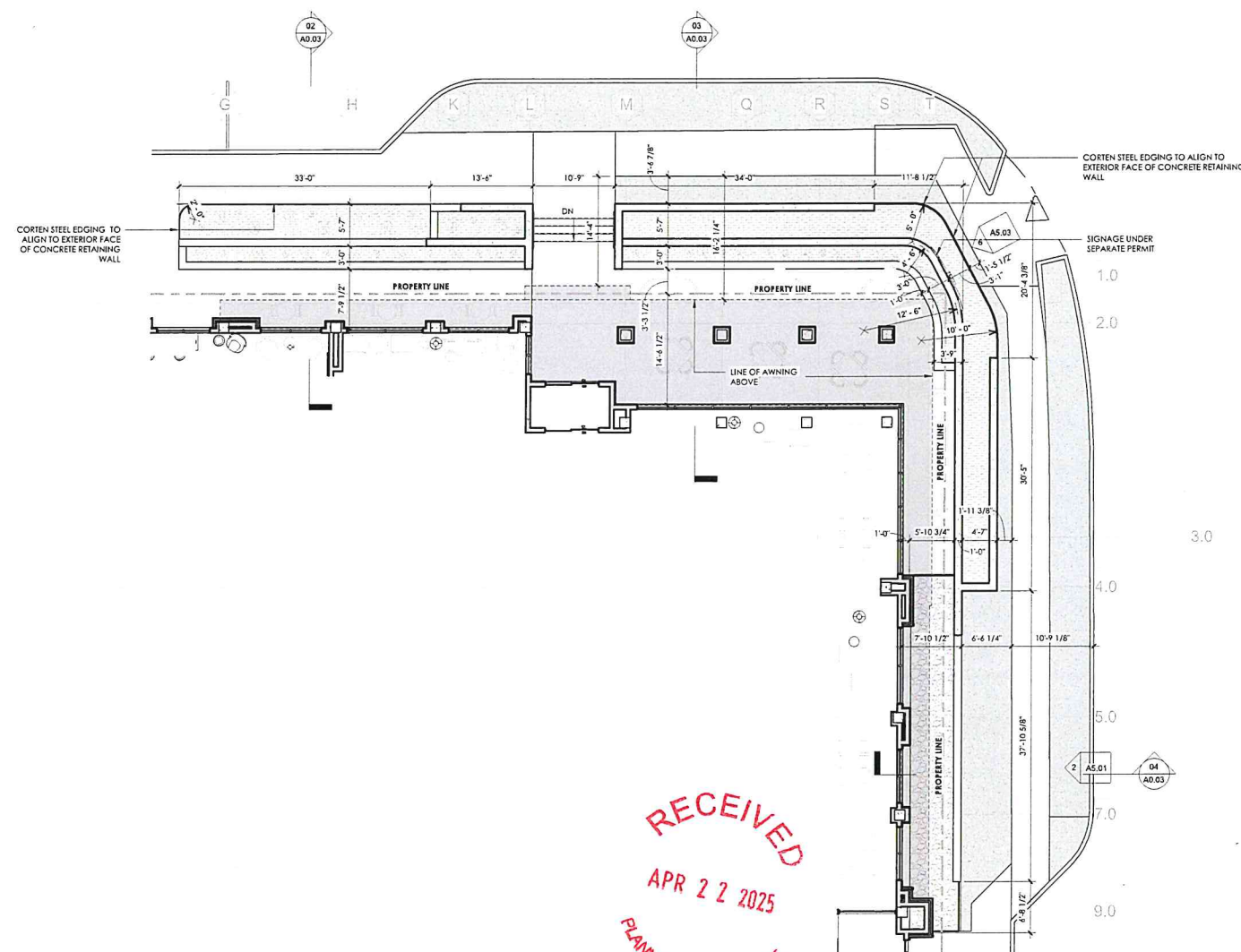
SECTION 01 @ CORNER PLANTER
1/4" = 1'-0"



SECTION 02 @ CORNER PLANTER
1/4" = 1'-0"



SECTION 03 @ CORNER PLANTER
1/4" = 1'-0"



ENLARGED PLAN - OUTDOOR SEATING / PLANTERS
1/8" = 1'-0"

RECEIVED
APR 22 2025
PLANNING DEPARTMENT

NOTE: DETAILS ARE FOR DESIGN INTENT ONLY,
NOT FINAL DETAILS.



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ARCHITECT
D. HAYES HINKLE

ISSUE DATE
24 FEB 2025

ISSUED FOR
30% REVIEW

#	Revision	Date

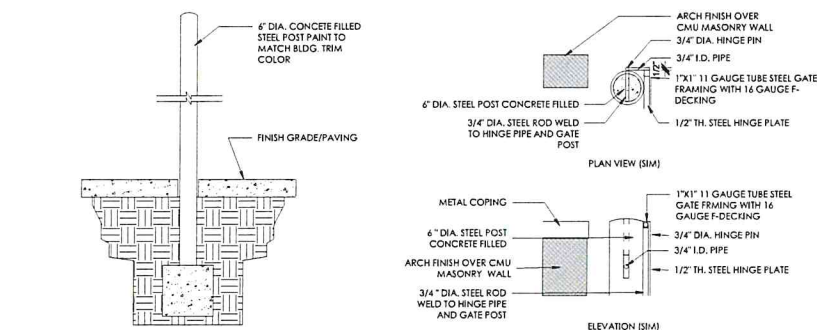
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SITE ELEMENTS

SHEET NUMBER
A0.04

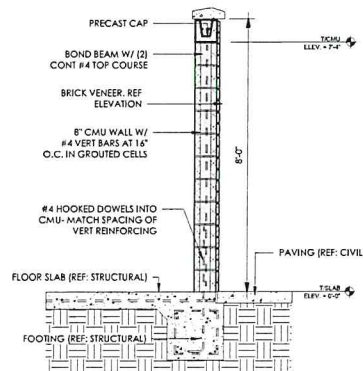
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D. HAYES HINKLE - 26067

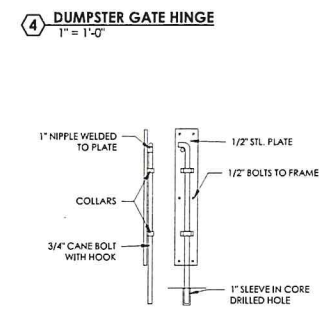
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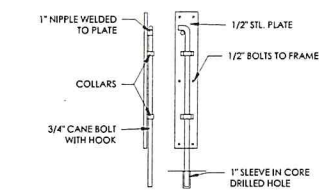
1 BOLLARD DETAIL
1/2" = 1'-0"



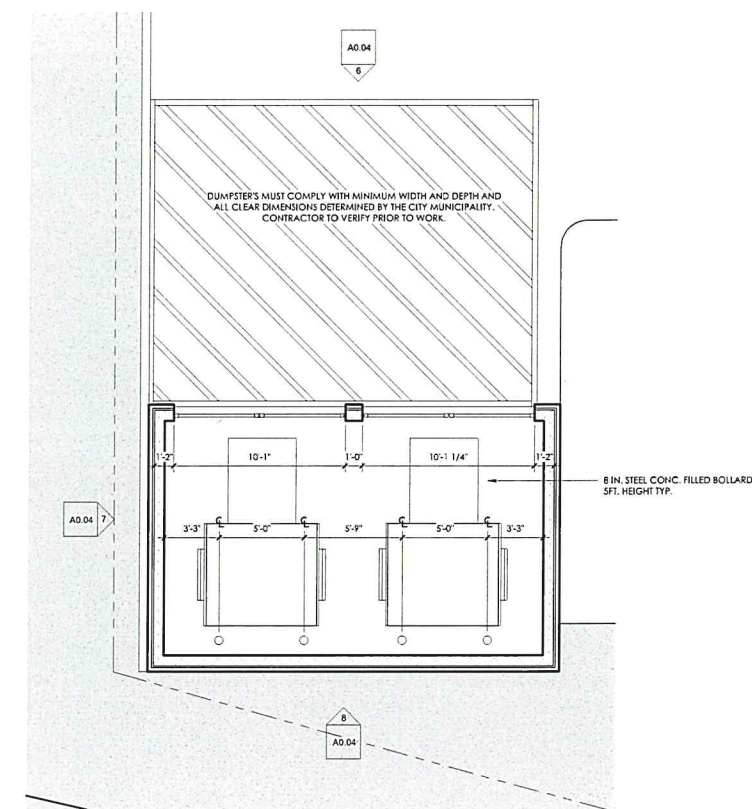
3 DUMPSTER ENCLOSURE SECTION
1/2" = 1'-0"



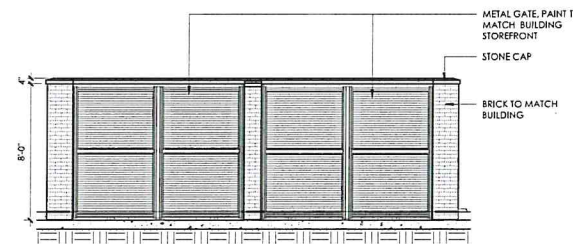
4 DUMPSTER GATE HINGE
1" = 1'-0"



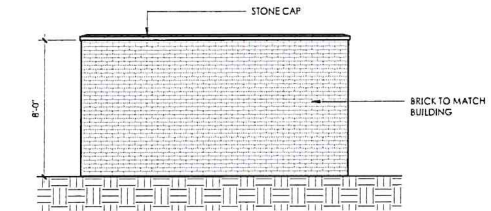
2 CANE BOLT
1" = 1'-0"



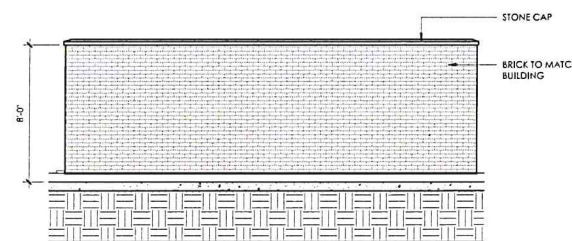
5 ENLARGED SITE PLAN @ DUMPSTERS
1/4" = 1'-0"



DUMPSTER ELEVATION-01
1/4" = 1'-0"

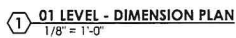


7 DUMPSTER ELEVATION-02
1/4" = 1'-0"



8 DUMPSTER ELEVATION-03
1/4" = 1'-0"

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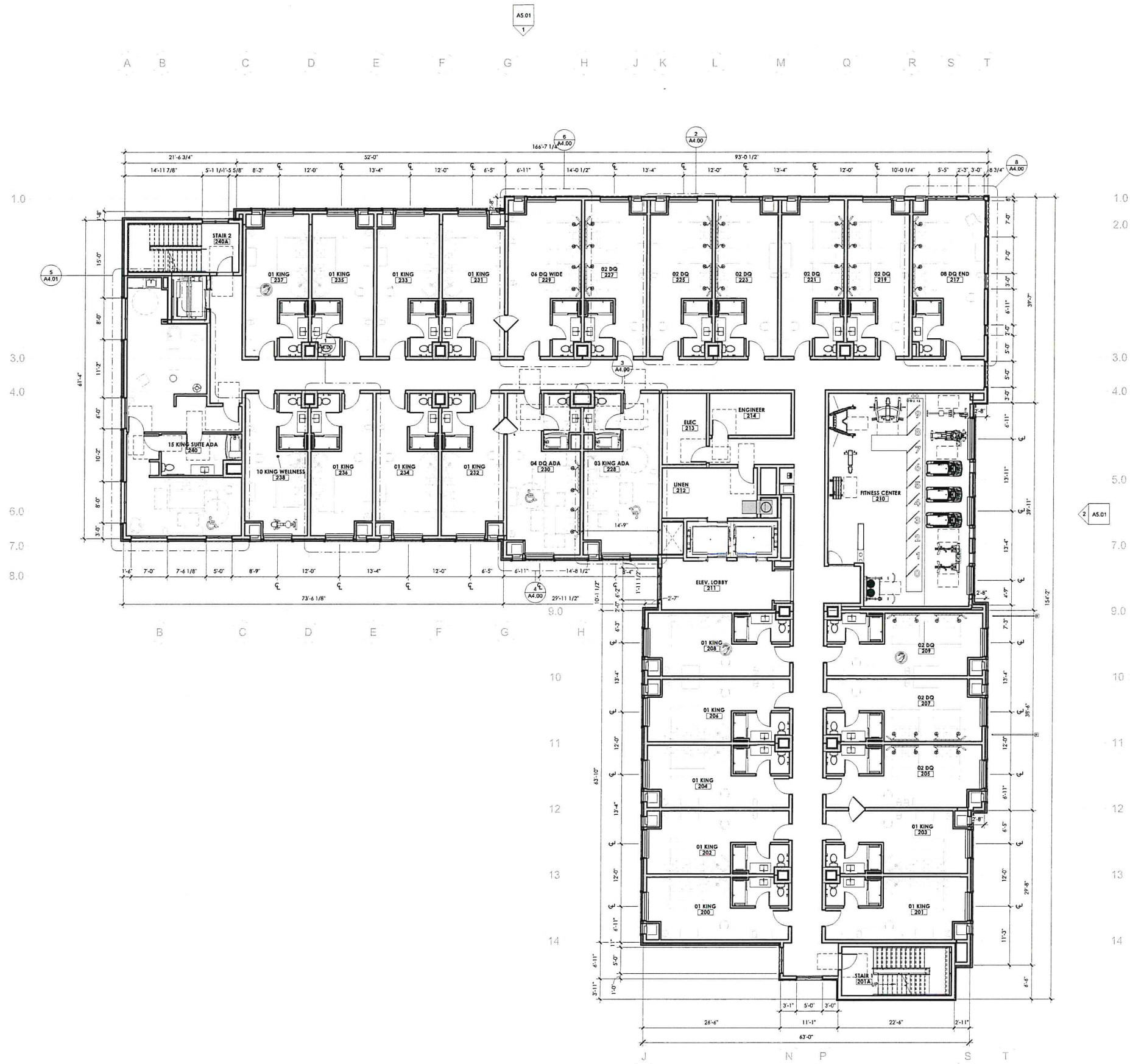


#	COMPONENT	DESCRIPTION
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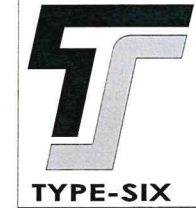


GENERAL FLOOR PLAN NOTES

1. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS, THESE NOTES AND FIELD CONDITIONS BEFORE COMMENCING ANY WORK AND REQUEST CLARIFICATION.
2. REFER TO SHEET A15.00 FOR PARTITION TYPES
3. REFER TO SHEET A15.00 FOR DOOR SCHEDULES, DOOR FRAMES AND DOOR TYPES
4. REFER TO G SERIES SHEETS FOR CODE REFERENCES, CODE COMPLIANCE PLANS, PENETRATION DETAILS AND ACCESSIBILITY INFORMATION.
5. PROVIDE ACCESSIBLE GUEST ROOMS PER THE AMERICANS WITH DISABILITIES ACT STANDARDS. REFER TO G SERIES SHEETS FOR ADDITIONAL INFORMATION.
6. ALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE, MASONRY OR TO THE GRID LINE, UNLESS NOTED OTHERWISE. REFER TO STRUCTURAL FOR SLAB DIMENSIONS.
7. ALL GRID LOCATIONS AND GRID DIMENSIONS ARE TO BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.
8. ALL MISCELLANEOUS SUPPORT STEEL EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED AND COATED WITH A HIGH-PERFORMANCE COATING, UNLESS NOTED OTHERWISE.
9. PROVIDE AUTOMATIC FIRE SUPPRESSION SYSTEM FOR ENTIRE BUILDING PER NFPA 13. SYSTEM SHALL BE UNDER SEPARATE PERMIT. COORDINATE WITH CERTIFIED FIRE SPRINKLER CONTRACTOR.
10. ALL STRUCTURAL STEEL COLUMNS AND BEAMS REQUIRED TO BE PROTECTED TO MEET A FIRE RATING SHALL BE INDIVIDUALLY PROTECTED PRIOR TO INSTALLATION OF ADJACENT PARTITIONS, WALLS, CEILING OR ROOF FRAMING.
11. FURNITURE, FIXTURES AND EQUIPMENT (FFE) ARE TO BE COORDINATED WITH OWNER. CONTRACTOR TO PROVIDE RESPONSIBILITY MATRIX TO ENSURE ALL ELEMENTS ARE ACCOUNTED FOR.
12. PROVIDE NECESSARY BLOCKING FOR SURFACE MOUNTED FIXTURES, ACCESSORIES, AND EQUIPMENT.
13. FINISHES SHALL MEET PROPER FLAME SPREAD AND SMOKE SPREAD, 2015 IFC, SECTION 602.
14. CAULK CONTINUOUSLY AT PERIMETER OF DOOR AND WINDOW FRAMES. CAULK AFTER WALL COVERING IS INSTALLED.
15. REFER TO MOUNTING HEIGHT SCHEDULE FOR TOILET AND BATH ACCESSORIES IN ALL BATHROOMS.
16. SIGNAGE IS OWNER PROVIDED. SIGNAGE SHALL MEET BUILDING CODE REQUIREMENTS AND ANSI A117.1 REQUIREMENTS FOR ACCESSIBILITY.
17. PROVIDE TACTILE EXIT SIGNS AT EXIT DOOR LOCATIONS. SIGNAGE SHALL COMPLY WITH ICC/ANSI A117.1. AT STOREFRONT LOCATION, PROVIDE TACTILE SIGN THAT FITS WITHIN THE STOREFRONT MULLION FRAME WIDTH. MOUNT BOTTOM OF CHARACTERS AT 48" MIN. AND 60" MAX. ABOVE FINISH FLOOR.
18. PROVIDE TACTILE SIGNAGE OUTSIDE THE TOILET ROOM PER 1110.1 AND ICC/ANSI A117.1. MOUNT BOTTOM OF CHARACTERS AT 48" MIN. AND 60" MAX. ABOVE FLOOR.
19. PROVIDE STAINLESS STEEL CORNER GUARDS AT ALL OUTSIDE CORNERS IN KITCHEN, LAUNDRY ROOMS, STORAGE, MAINTENANCE AND BACK-OF-HOUSE CORRIDORS. PROVIDE PLASTIC CORNER GUARDS AT ALL OUTSIDE CORNERS IN BACK-OF-HOUSE WORK ROOMS AND OFFICES. REFERENCE SPECIFICATION SECTION 106000 FOR TYPES AND HEIGHTS OF CORNER GUARD. ALL OUTSIDE CORNERS AT BACK-OF-HOUSE AREAS ARE TO HAVE CORNER GUARDS. REFER TO INTERIOR DESIGN DRAWING FOR CORNER GUARDS AT PUBLIC AREAS TO BE PROVIDED BY GC.
20. ALL WALL OUTLETS ON ELEVATIONS ARE DIMENSIONED TO CENTER UNLESS NOTED OTHERWISE.
21. ALL DEVICES ADJACENT TO WET AREAS SHALL BE GFCI PER NEC REQUIREMENTS.
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24. TYPICAL AT EXPOSED SIDES OF CONCRETE COLUMNS UNLESS OTHERWISE NOTED - PROVIDE 5/8" GYPSUM BOARD OVER 1 1/2" METAL STUDS AT 16" O.C. AND EXTEND ABOVE CEILING.
25. ALL GYPSUM BD. FINISH FACES OF DIFFERING SUBSTRATES (E.G. 1 1/2" MIL FURRING ADJACENT TO 3 5/8" METAL STUDS) SHALL ALIGN.
26. REFER TO A9 SHEETS FOR ENLARGED GUESTROOM INFORMATION.
27. FINAL ROOM NAMES AND SIGNAGE SHALL BE CONFIRMED BY OWNER PRIOR TO PURCHASE AND INSTALLATION.

GENERAL FLOOR PLAN SYMBOLS

(G)	KEYNOTE TAG - REFERENCE KEYNOTE SCHEDULE
(101)	DOOR TAG - REFERENCE DOOR SCHEDULE A15.00
(SF-00)	STOREFRONT TAG - REFERENCE WINDOW SCHEDULE A16.00
(A)	WINDOW TAG - REFERENCE WINDOW SCHEDULE A16.00
(P)	PARTITION TAG - REFERENCE PARTITION SCHEDULE A8.00
(R)	ROOM ADA SYMBOL
(H)	ROOM HEARING IMPAIRED SYMBOL
(CR)	CARD READER
(FE)	FIRE EXTINGUISHER



TYPE-SIX
DEVELOPMENT SERVICES, LLC
910 SOUTH MAIN STREET #150
GRAPEVINE, TEXAS 76054
972.677.9075

OKLAHOMA CITY TEMPO HOTEL
N.E. 1st Street & Russell M. Perry Avenue

PROJECT #24038

ARCHITECT		
D. HAYES HINKLE		
ISSUE DATE		
24 FEB 2025		
ISSUED FOR		
30% REVIEW		
#	Revision	Date
1		
SHEET NAME		
02 DIMENSION PLAN		
SHEET NUMBER		
A1.02		

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OKLAHOMA CITY TEMPO HOTEL
N.E. 1st Street & Russell M. Perry Avenue

PROJECT #24038



1 04 LEVEL - DIMENSION PLAN
1/8" = 1'-0"

GENERAL FLOOR PLAN NOTES

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- FINISHES SHALL MEET PROPER FLAME SPREAD AND SMOKE SPREAD, 2015 IFC, SECTION 803.
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GENERAL FLOOR PLAN SYMBOLS

(E)	KEYNOTE TAG - REFERENCE KEYNOTE SCHEDULE
(101)	DOOR TAG - REFERENCE DOOR SCHEDULE A15.00
(SF-00)	STOREFRONT TAG - REFERENCE WINDOW SCHEDULE A16.00
(A)	WINDOW TAG - REFERENCE WINDOW SCHEDULE A16.00
(P)	PARTITION TAG - REFERENCE PARTITION SCHEDULE A8.00
(H)	ROOM ADA SYMBOL
(I)	ROOM HEARING IMPAIRED SYMBOL
(CR)	CARD READER
(FE)	FIRE EXTINGUISHER

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TYPE-SIX
DEVELOPMENT SERVICES, LLC
910 SOUTH MAIN STREET #150
GRAPEVINE, TEXAS 76054
972.677.9075

OKLAHOMA CITY TEMPO HOTEL
N.E. 1st Street & Russell M. Perry Avenue

PROJECT #24038

ARCHITECT
D. HAYES HINKLE

ISSUE DATE
24 FEB 2025

ISSUED FOR
30% REVIEW

#	Revision	Date
1		

SHEET NAME
04 DIMENSION PLAN

SHEET NUMBER
A1.04

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1 05 LEVEL - DIMENSION PLAN
1/8" = 1'-0"

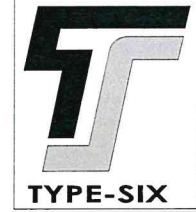
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GENERAL FLOOR PLAN SYMBOLS

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(A)	WINDOW TAG - REFERENCE WINDOW SCHEDULE A16.00
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(ADA)	ROOM ADA SYMBOL
(H)	ROOM HEARING IMPAIRED SYMBOL
(CR)	CARD READER
(FE)	FIRE EXTINGUISHER

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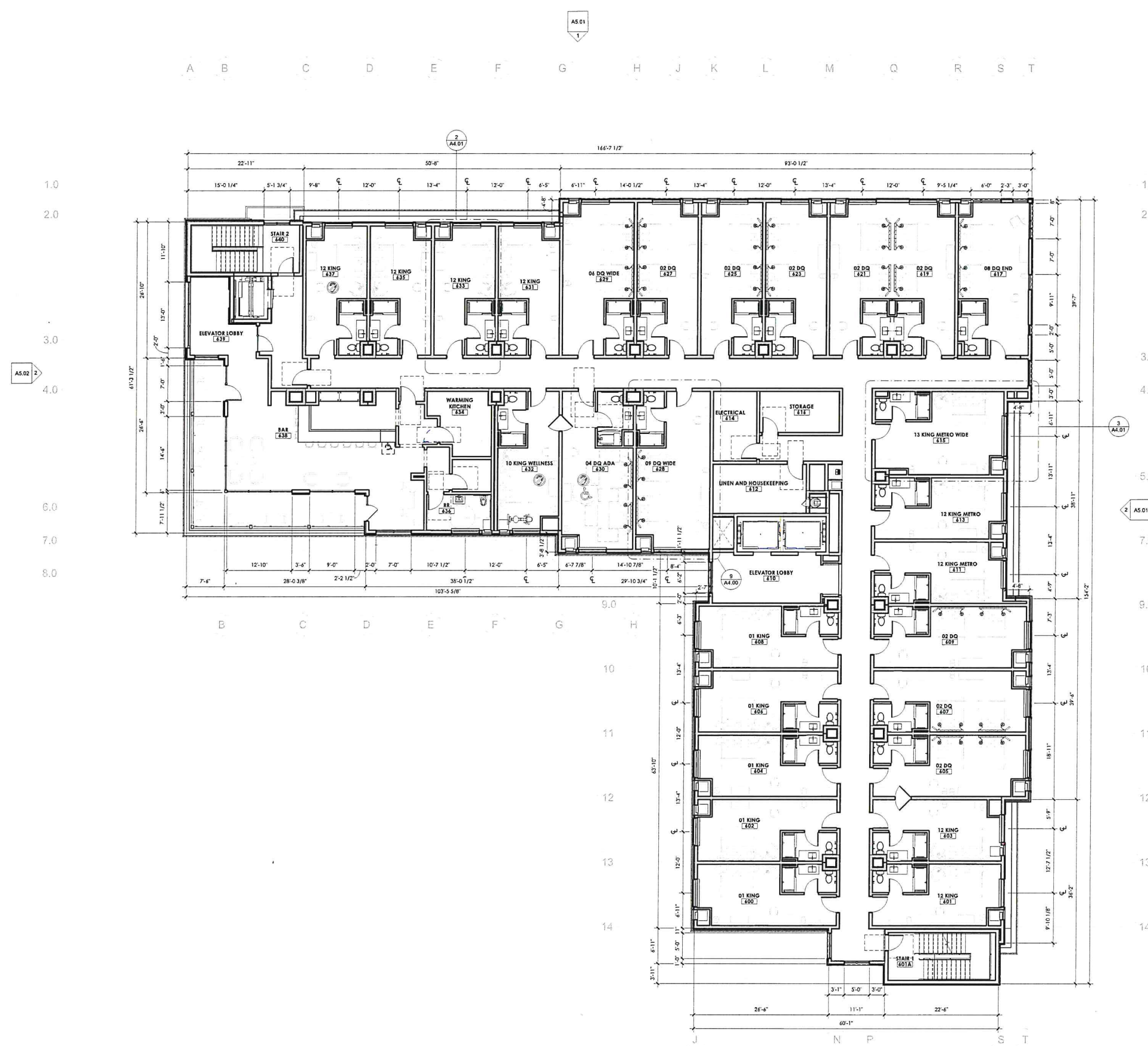
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GRAPEVINE, TEXAS 76054
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OKLAHOMA CITY TEMPO HOTEL
N.E. 1st Street & Russell M. Perry Avenue

PROJECT #24038

ARCHITECT		
D. HAYES HINKLE		
ISSUE DATE		
24 FEB 2025		
ISSUED FOR		
30% REVIEW		
#	Revision	Date
1		
SHEET NAME		
05 DIMENSION PLAN		
SHEET NUMBER		
A1.05		

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4/22/2025 1:00:41 PM



06 LEVEL - DIMENSION PLAN
1/8" = 1'-0"

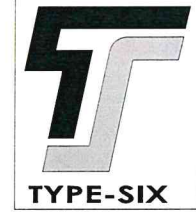
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(K)	KEYNOTE TAG - REFERENCE KEYNOTE SCHEDULE
(101)	DOOR TAG - REFERENCE DOOR SCHEDULE A15.00
(SF-00)	STOREFRONT TAG - REFERENCE WINDOW SCHEDULE A16.00
(A)	WINDOW TAG - REFERENCE WINDOW SCHEDULE A16.00
(P)	PARTITION TAG - REFERENCE PARTITION SCHEDULE A8.00
(R)	ROOM ADA SYMBOL
(H)	ROOM HEARING IMPAIRED SYMBOL
(CR)	CARD READER
(FE)	FIRE EXTINGUISHER

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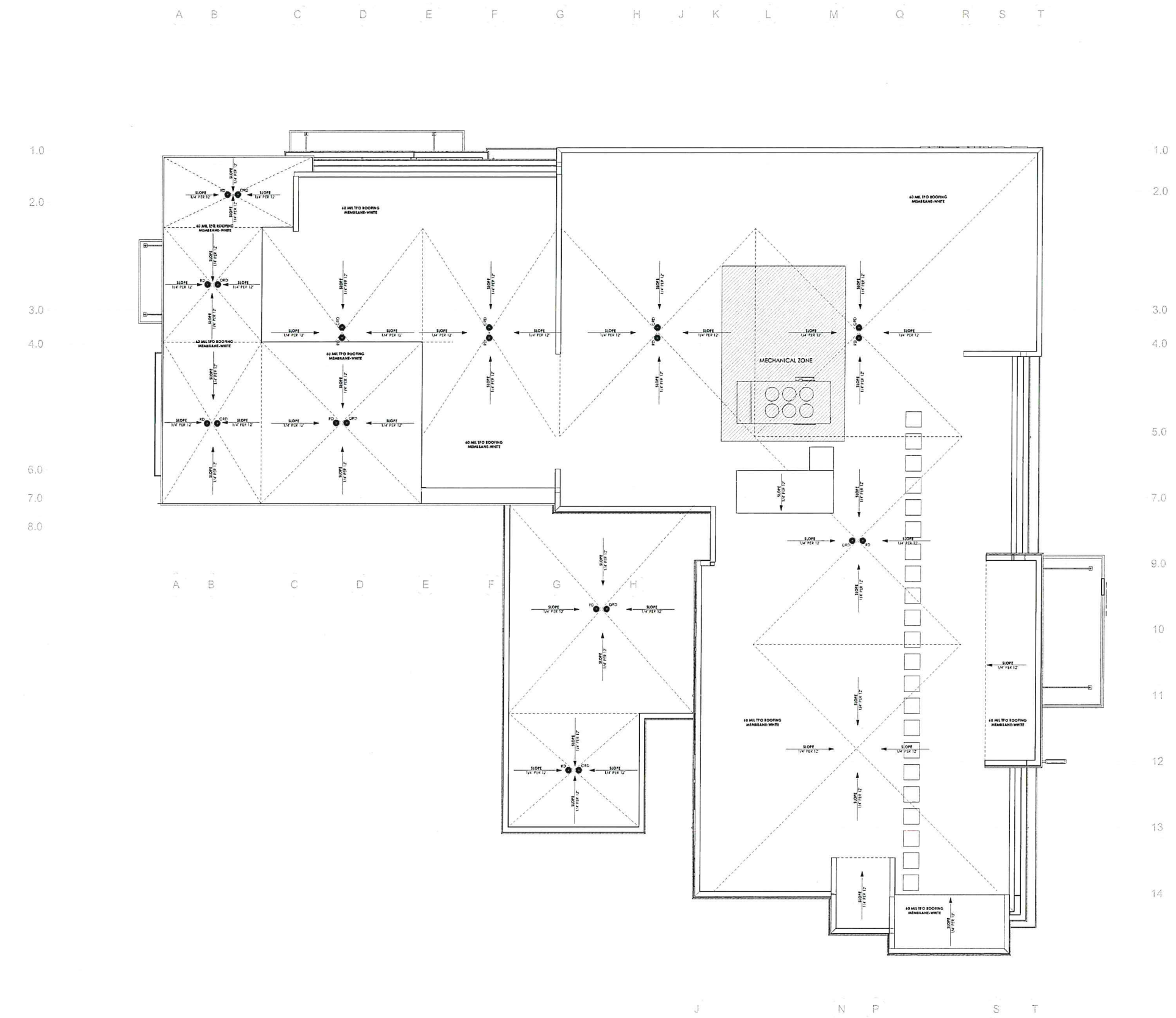


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910 SOUTH MAIN STREET #150
GRAPEVINE, TEXAS 76054
972.877.9075

OKLAHOMA CITY TEMPO HOTEL
N.E. 1st Street & Russell M. Perry Avenue
PROJECT #24038

ARCHITECT		
D. HAYES HINKLE		
ISSUE DATE		
24 FEB 2025		
ISSUED FOR		
30% REVIEW		
#	Revision	Date
1		
SHEET NAME		
06 DIMENSION PLAN		
SHEET NUMBER		
A1.06		

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1 ROOF LEVEL
1/8" = 1'-0"

ROOF PLAN GENERAL NOTES

1. REFER TO TPO MEMBRANE MANUFACTURER SPECIFICATIONS FOR INSTALLATION REQUIREMENTS AND PROCEDURES.

2. REFER TO MEP DRAWINGS FOR THE LOCATIONS OF ROOF TOP EQUIPMENT, PLUMBING, VENTS, EXHAUST FANS, FLUES, ETC. ITEMS SHALL BE CONCEALED FROM VIEW BEHIND PARAPET WALLS IN ORDER TO REDUCE SIGHT LINES.

3. ROOF CRICKETS ARE REPRESENTED FOR INFORMATIONAL PURPOSES. ROOFING CONTRACTOR SHALL ENSURE PROPER POSITIVE DRAINAGE ON ENTIRE ROOF AND AROUND ALL ROOF TOP EQUIPMENT LOCATIONS AND PENETRATIONS.

4. GENERAL CONTRACTOR TO COORDINATE FINAL LOCATIONS OF ALL ROOF TOP EQUIPMENT AND ASSOCIATED PENETRATIONS WITH TRUSS MANUFACTURER PRIOR TO FABRICATION AND INSTALLATION. REFER TO MEP FOR ADDITIONAL INFORMATION.

5. MAINTAIN MINIMUM 1/4" PER 1' SLOPE TOWARD DRAIN AT ALL LOCATIONS. VERIFY REQUIREMENTS WITH TPO AND RIGID INSULATION MANUFACTURERS PRIOR TO INSTALLATION.

6. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS, THESE NOTES AND FIELD CONDITIONS BEFORE COMMENCING ANY WORK AND REQUEST CLARIFICATION IN WRITING.

7. WHEN APPLICABLE, PROVIDE CONDUIT FROM COMPUTER ROOM TO ROOF FOR SATELLITE DISH ON SEPARATE CIRCUIT. REFER TO MEP FOR ADDITIONAL INFORMATION.

8. SEE STRUCTURAL FOR ALL TOP OF DECK ELEVATIONS, JOIST SIZES, ETC.

9. COORDINATE ALL ROOF TOP UNIT LOCATIONS WITH MECHANICAL.

10. SEE MECHANICAL/PLUMBING FOR ADDITIONAL INFORMATION.

11. PAINT ALL ROOF PENETRATIONS, ROOF TOP EQUIPMENT LADDERS, ETC. UNLESS EQUIPMENT IS PREFINISHED (COLOR TO BE SELECTED BY THE GENERAL CONTRACTOR).

12. PROVIDE TAPERED INSULATION CRICKETS AT ALL ROOF SLOPE OBSTRUCTIONS.

13. PAINT ALL EXPOSED SHROUDS. INSTALL PADS AFTER HVAC EQUIPMENT HAS BEEN INSTALLED.

14. COORDINATE ALL ROOF OPENINGS AND PENETRATIONS WITH PLUMBING, MECHANICAL AND ELECTRICAL.

15. ALL VENT PIPES, ETC. ENDING ABOVE THE ROOF SURFACE MUST BE PAINTED A COLOR THAT BLENDS WITH THE ROOF COLOR.

ROOF PLAN LEGEND

3' WIDE ROOF WALKWAY PAD

EXHAUST FAN

ROOF DRAIN
SECONDARY ROOF DRAIN, TOP OF DRAIN SHALL BE 2" HIGHER THAN PRIMARY ROOF DRAIN

DOWN SPOUT

AC UNITS, REF. MECH DRAWINGS

LINEN CHUTE VENT CAP

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ROOF PLAN

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1 NORTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"

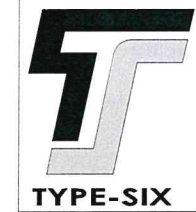
MATERIAL CALLOUTS	
BR-1	ACME BRICK - BURGUNDY KING HERITAGE
SU-1	STUCCO - 'SW7636 ORIGAMI WHITE'
MP-1	PAC-CLAD - MIDNIGHT BRONZE BOX RIB 2
MP-2	ALUCOBOND - TRI-CORN BLACK
LF-1	LOUVER FINISH - DARK BRONZE TO MATCH STOREFRONT
SF	STOREFRONT - KAWNEER - 'DARK BRONZE #40'

	
BR-1	MP-1
	
SU-1	MP-2

ADDITIONAL NOTES:

- ALL SIGNAGE SUBJECT TO BUILDING INSPECTION DEPARTMENT APPROVAL.
- MECHANICAL UNITS SHALL BE SCREENED IN ACCORDANCE WITH LOCAL CITY AND ZONING ORDINANCES.
- UTILITY BOXES AND CONDUIT SHALL BE PAINTED TO MATCH BUILDING COLOR.
- ROMAN-SEE FACE BRICK, WITH 3/8" CONCAVE GROUT JOINT. MORTAR TO BE MATCHED TO GROUT.
- CONTRACTOR TO ENSURE METAL PANELS ARE INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATION. SIGN DESIGNED AND FABRICATED BY APPROVED VENDOR TO MEET BRAND STANDARDS. FOR LOCATION ONLY.
- ALL UTILITY BOXES AND METERS SHALL BE PAINTED TO MATCH SURROUNDING BUILDING FACADE.
- FINAL SIGN DESIGN TO BE DRAFTER BY THIRD PARTY CONTRACTOR TO ENSURE FINAL SIGN PACKAGE IS SUBMITTED APPROVED BY THE BRAND.

ELEVATION KEYNOTES



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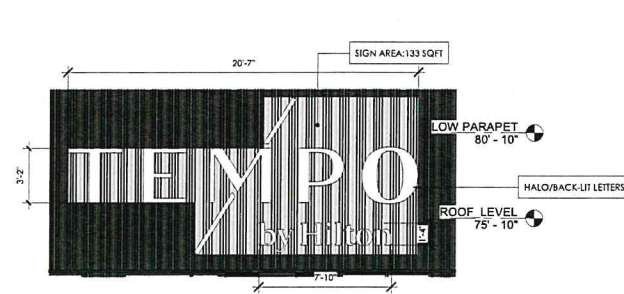
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PROJECT #24038

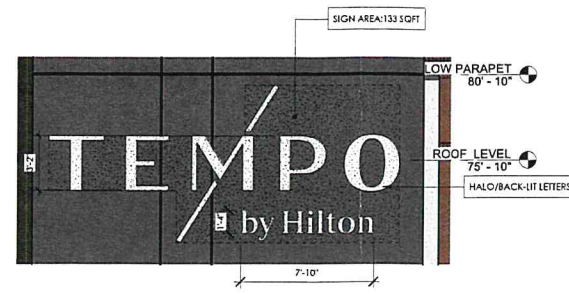
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BUILDING ELEVATIONS
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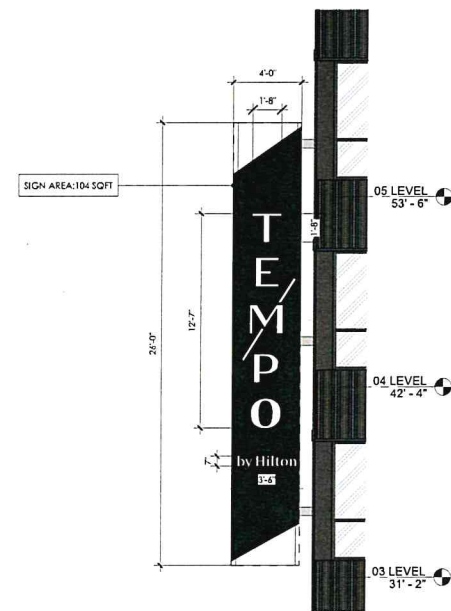
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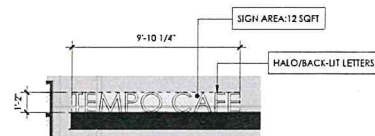
1 ENLARGED ELEVATION 01
1/4" = 1'-0"



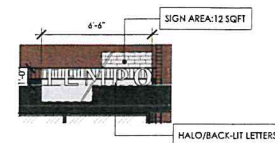
4 ENLARGED ELEVATION 02
1/4" = 1'-0"



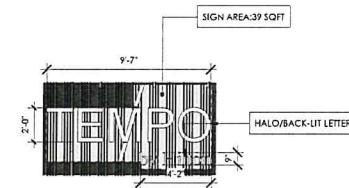
2 ENLARGED ELEVATION 03- BLADE SIGN
1/4" = 1'-0"



3 ENLARGED ELEVATION 04- CANOPY SIGN
1/4" = 1'-0"



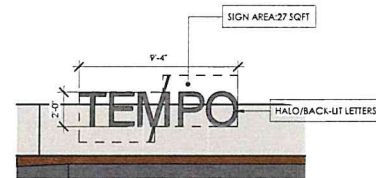
7 ENLARGED ELEVATION 07- CANOPY SIGN
1/4" = 1'-0"



5 ENLARGED ELEVATION 05- MAIN ENTRANCE
1/4" = 1'-0"



8 ENLARGED ELEVATION 08- CANOPY SIGN
1/4" = 1'-0"



6 ENLARGED ELEVATION 06- PLANTER SIGN
1/4" = 1'-0"



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SHEET NAME
ENLARGED BUILDING
ELEVATIONS

SHEET NUMBER
A5.03

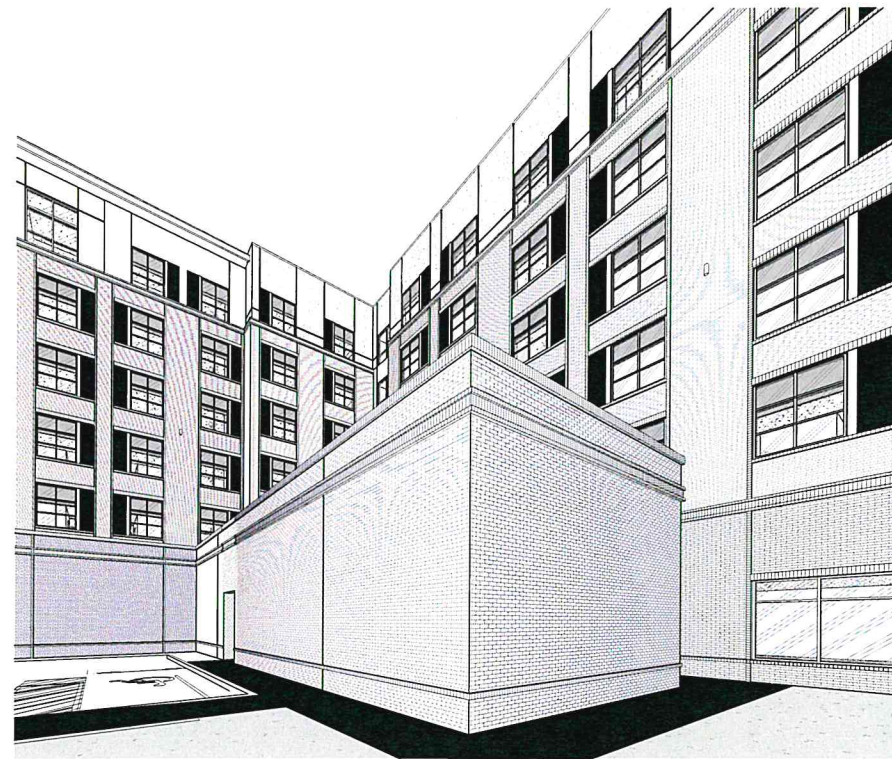
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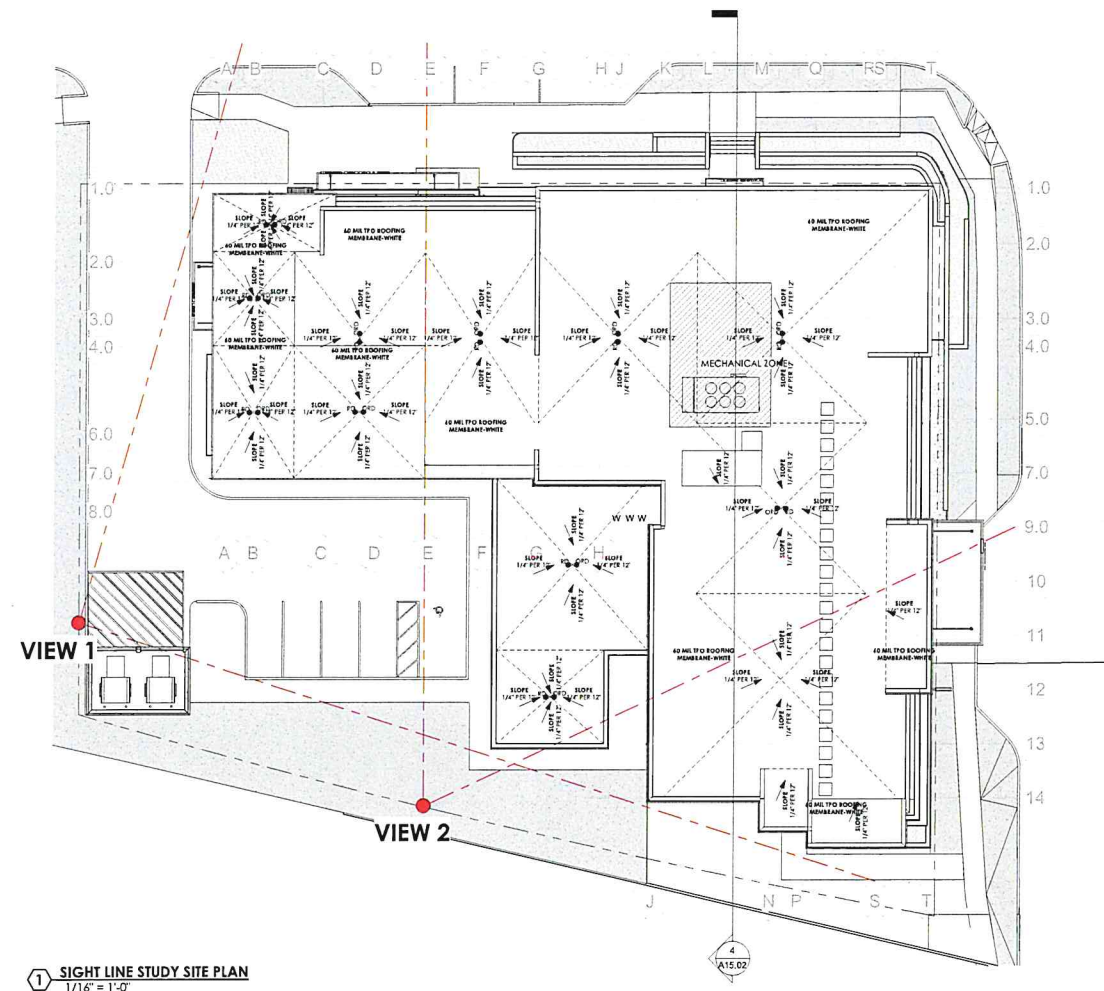
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2 VIEW 1



3 VIEW 2



1 SIGHT LINE STUDY SITE PLAN
1/16" = 1'-0"



4 SIGHT LINE STUDY BUILDING SECTION
1/16" = 1'-0"



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SHEET NAME

LINE OF SIGHT STUDY

SHEET NUMBER

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TEMPO CAFE


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ACME BRICK - BURGUNDY
KING HERITAGE

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BOX RIB 2

PRECISION SERIES WALL PANELS

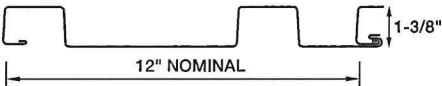
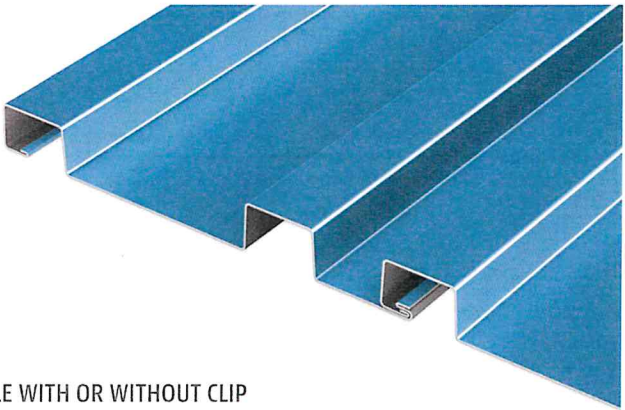
MATERIALS

.032 aluminum 24 gauge steel
.040 aluminum 22 gauge steel
.050 aluminum

SPECS

12" Wide 1-3/8" High

Note: Minimum panel length is 4'



AVAILABLE WITH OR WITHOUT CLIP



PRODUCT FEATURES

- ▶ No-clip panel, or clip installation for expansion/contraction
- ▶ Panel depth 1-3/8" nominal
- ▶ Panel width of 12" nominal
- ▶ Cost-effective installation
- ▶ Horizontal or vertical orientation
- ▶ Panel length: 30' maximum for steel

- ▶ Panel length: 22' maximum for aluminum on the thru-fastened leg (no clip), longer lengths available on clip panels

MATERIALS

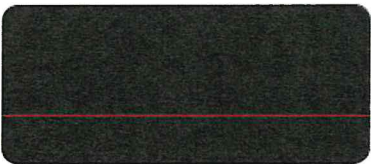
- ▶ 48 stocked colors (24 gauge steel)
- ▶ 17 stocked colors (22 gauge steel)
- ▶ 34 stocked colors (.032 aluminum)

- ▶ 22 stocked colors (.040 aluminum)
- ▶ 29 stocked colors (.050 aluminum)
- ▶ Galvalume Plus available

TESTS

- ▶ ASTM E 283
- ▶ ASTM E 331
- ▶ ASTM E 330
- ▶ ASTM E 1592

Note: Line drawings may not be to scale.



BOX RIB PANEL COLOR
MIDNIGHT BRONZE



LOCATION		DATE
PREPARED BY		QUANTITY
COMMENTS		FIXTURE TYPE
CATALOG NUMBER		

Beverly LED Outdoor Sconce
BVYW Series

Features

This outdoor LED light is ideal for security and general lighting. Available in 1-light and 2-light. Provides lighting in residential, commercial, and hospitality applications. Fixture mounts to standard junction box (not included).

Construction

Die-cast aluminum construction. Standard mounting holes and hardware are included. Power supply connections must be made inside a junction box (not included).

Finish

Black powder coated or Satin Nickel finish.

Diffuser

Clear glass diffuser(s).

Electrical

Input 120-277 VAC 60 HZ.
0-10V dimming (120-277V), TRIAC (120V).
Minimum starting temp -4° F / -20°C

LED

Fixture includes a LED modules capable of producing:
10W = 600 delivered lumens
20W = 1200 delivered lumens
Selectable 3000K, 3500K, 4000K (CCT).
Rated for 50,000 Hrs., 90 CRI.

Certification

All fixtures are cETLus listed for wet locations.
Title 24/JA8 Compliant

Warranty

Limited warranty: This fixture is free from defects in materials and workmanship for a period of 5 years from date of purchase.

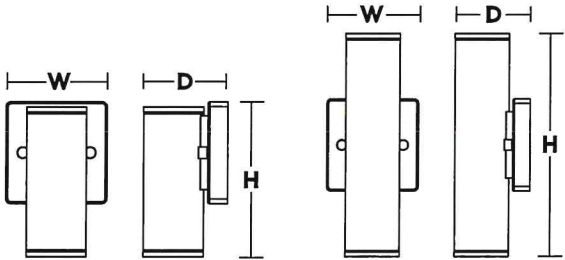
Specifications and dimensions
subject to change without notice.



1-Light



2-Light



Ordering Information:

Black	Satin Nickel	LED	Delivered Lumens	Adjustable CCT	H	W	D
BVYW0406LAJUBK (1-Light)	BVYW0406LAJUDSN (1-Light)	10W	600	3000K/3500K/4000K	6-1/4"	4-1/8"	3-1/2"
BVYW0410LAJUBK (2-Light)	BVYW0410LAJUDSN (2-Light)	20W	1200	3000K/3500K/4000K	10"	4-1/8"	3-1/2"

EXTERIOR WALL
SCONCE

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Dome Tunable

BL Neonview

Diffused, Flexible, Linear LED Lighting,
24VDC, Constant Voltage
Dome Profile, Silicone, Tunable White



Dome Tunable has a standard fully flexible Silicone encapsulated diffuser and is rated for a range of operating temperatures from -40° F to 131° F (-40° C to 55° C) for sustained ability to weather the elements, even in the most extreme environmental conditions. Set the mood with Dome Tunable, delivering adjustable luminous white light with control options to easily change LED intensity, dim to warm, and tune in to any CCT.

Dot-free

Seamless connections

Wide 270 ° viewing angle

-40°F to 131°F (-40°C to 55°C)

Tunable White

CLIENT	
PROJECT NAME	
LOCATION	
DATE	

Product Detail



IP68

LOW

DMX

Bluetooth

5 YEAR WARRANTY

CE

RoHS

UL LISTED

SOLVENTS RESISTANT

UV SHIELD

FLAME RESISTANT

SALT WATER RESISTANT

KID PROTECTION

3G VIBRATION RATING

Red List Free Declare

Lighting	Lamp	LED, SMD 3014
	LED's Per Foot	44 LEDs/ft (144 LEDs/m)
	Beam Angle	160°
	Average Life	50,000 Hours
Electrical	Controls	DMX, Bluetooth
	Input Voltage	24VDC
	Max Input Current	4.12A (White)
	Connections	18AWG, Copper Conductors
	Power Cable Length	Standard 10ft (3m). Also available in 16ft (5m) and 32ft (10m)
Mechanical	Circuit	Class 2
	Housing Construction	Injection Moulded White Silicone
	Minimum Bend Radius	2.25" (60mm)
Environmental	Operating Temperature	-40°F to 131°F (-40°C to 55°C)
	Ingress Protection	IP68
	Impact Protection	IK10
	Vibration Rating	3G
	Resistance	UV, Flame, Solvents and Saltwater Resistant
Certifications		cULus, CE, RoHS Compliant

Performance

CCT/Color		2200K	5700K	2200K + 5700K
Power	W/FT (W/m)	-	-	3.66 (12)
Lumens	lm/FT (lm/m)	52 (170)	64 (210)	116 (380)
Efficacy	lm/W	-	-	32
CRI	CRI	80+		
Increment	inch (mm)	3.28 (83.3)		
Max. Length	ft (m)	24ft 6in (7.5m)		

Ordering

Product Code	Series	CCT	Input Voltage	IP Rating
DTN	N	2200K-5700K	24	IP68

Note:
Lengths, Lead Orientations & Mounting Accessories for Neonview must be confirmed at time of order.

BL LIGHTING
ILLUMINATE EVERYTHING

111 - 8838 Heather St. Vancouver, BC, Canada. V6P 3S8
P: 1-604-674-4405 E: info@blighting.com
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Solid State Lighting is sensitive to power fluctuations. Surge protection is highly recommended for all LED lighting products and should be on a dedicated circuit to protect against premature failure. Lack of surge protection may void your warranty.

Designed & Assembled in North America.

Specifications subject to change without notice. Please refer to our website at blighting.com for current technical data.

For more information, please download the BL LIGHTING catalog

blighting.com



Main entry feature wall
light strip

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Dome Tunable

BL Neonview

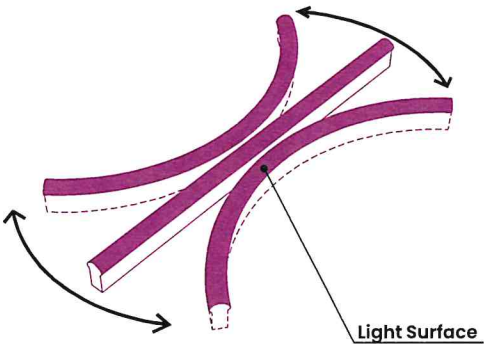
Diffused, Flexible, Linear LED Lighting,
24VDC, Constant Voltage
Dome Profile, Silicone, Tunable White



Minimum Bend Radius and Bend Orientation

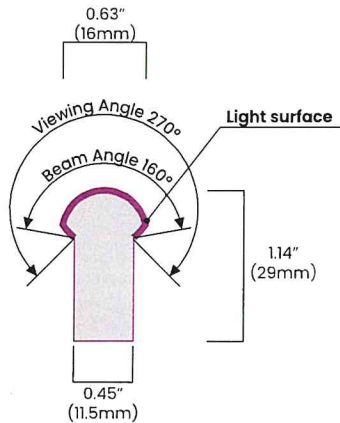
Minimum Bend Radius
2.25" (60mm)

Cutting Increments
3.28" (83.3mm)



BL Neonview DOME bends horizontally
Vertical bend option available on BL Neonview SIDE

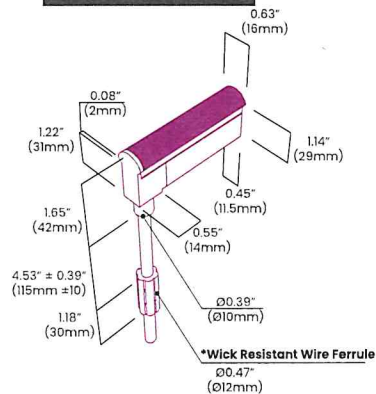
Beam Angle & Viewing Angle



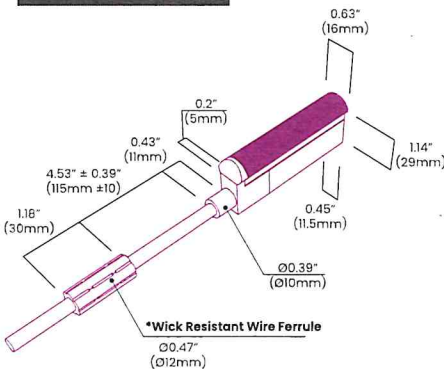
Average Beam Angle (50%): 141.9°

Dimensions & Lead Orientations

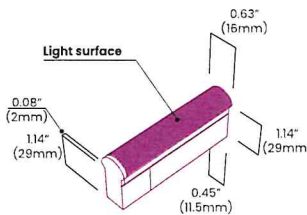
Back Lead
NVS DM BC 68



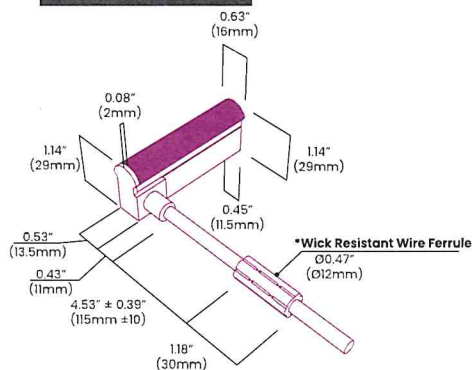
End Lead
NVS DM EC 68



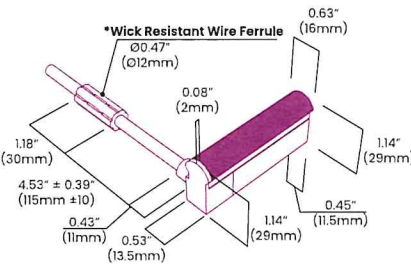
End Cap



Right Side Lead
NVS DM RC 68



Left Side Lead
NVS DM LC 68



* The Wick Resistant Wire Ferrule is built into the lead wire, 4.5" (115mm) from the BL Neonview Termination Connection, for additional moisture ingress protection. Removal of the Wick Resistant Wire Ferrule may void your warranty.

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Solid State Lighting is sensitive to power fluctuations. Surge protection is highly recommended for all LED lighting products and should be on a dedicated circuit to protect against premature failure. Lack of surge protection may void your warranty.

Designed & Assembled in North America.
Specifications subject to change without notice. Please refer to our website at blighting.com for current technical data.

For more information,
please download the
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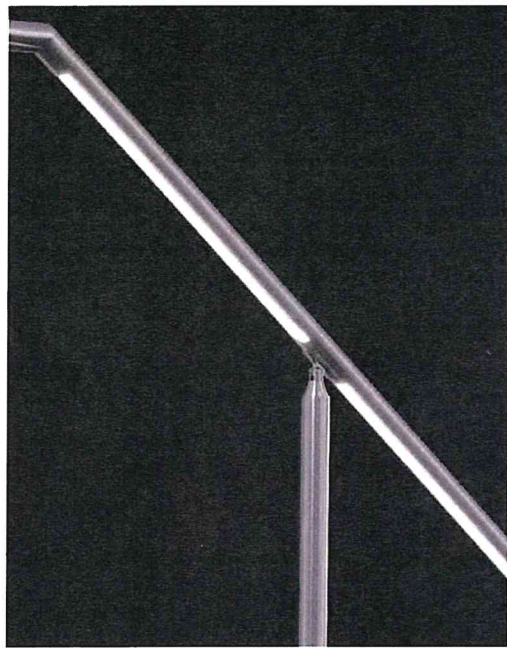
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iRAIL™ LED SYSTEM

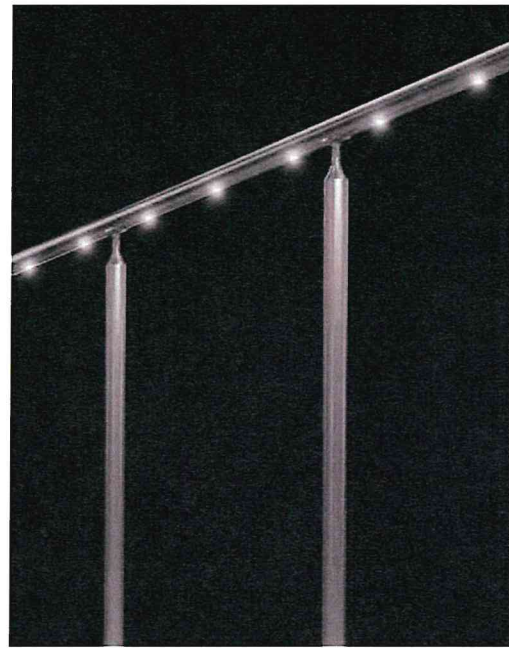
Our iRAIL System is a LED illuminated version of our 1.5" diameter rails. iRAIL uses an ADA compliant roll-formed (monolithic) slotted rail, that houses a high-performance LED assembly.

VIVA iRAIL uses a specially designed LED that can provide full-length coverage of illumination for whatever your rail run may be, compared to the traditional LED railing assemblies that were only available in preset section lengths.

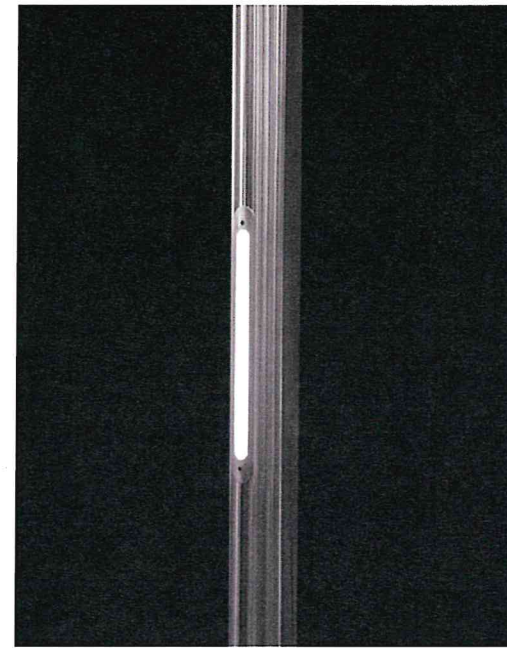
LINEAR



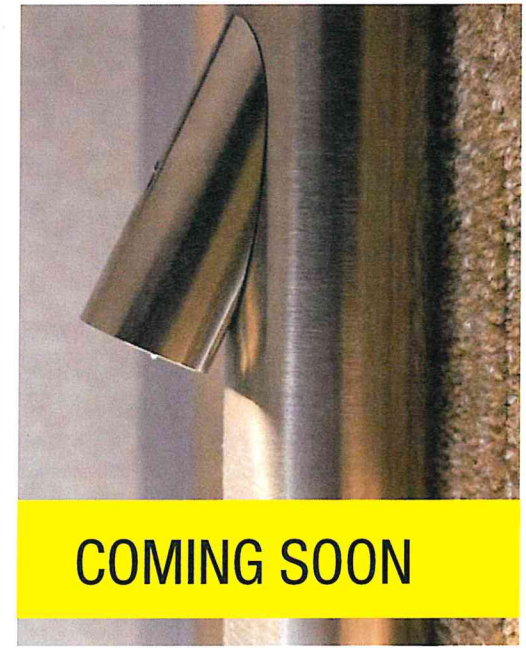
PODS



CAPSULE



SCONCE



Outdoor Seating Area –
Steps with Lighted
Handrail Specification

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iRAIL™ LED SYSTEM - TECHNICAL DATA



iRAIL LINEAR (CONTINUOUS iRAIL)

TOP RAIL / HAND RAIL	FINISH	SPEC
Ø1-1/2" Stainless Steel (304 or 316)	#6 Satin	Color: 3000K Warm White or 4000K Cool White ² Output: Medium: 3 Watt/ft – 185 lumens/ft. High: 5 Watt/ft – 250 lumens/ft.
Ø1-1/2" Stainless Steel 201	Powder Coat	Beam Angle: 120° Orientation: Symmetrical or Asymmetrical at 30° Power: Input 120 - 277 V AC, Output 12 V DC
Ø2" Wood (Red Oak, White Oak, Cherry or Maple) ²	Unstained	Lens: Clear or Frosted CRI: >90 Rating: IP67

iRAIL PODS

Ø1-1/2" Stainless Steel (304 or 316)	#6 Satin	<p>Color: 3000K Warm White or 4000K Cool White ²</p> <p>Output: 1.5 Watt - 130 lumens for sym., 106 lumens for Asym. per point</p> <p>Beam Angle: 60°</p> <p>Orientation: Symmetrical or Asymmetrical at 22°</p> <p>Power: Input 100 - 305 V AC, Output 12 V DC</p> <p>CRI: >80</p> <p>Rating: IP67</p>
Ø1-1/2" Stainless steel (201)	Powder Coat	
Ø2" Stainless Steel (304 or 316)	#6 Satin	
Ø2" Stainless Steel (201)	Powder Coat	

iRAIL CAPSULE

POST	FINISH	SPEC
Ø2" Post Stainless steel (304 or 316) 2"x2"Post Stainless steel(304 or 316)	#6 Satin	Color: 3000K Warm White or 4000K Cool White Output: 1.5W-117 Lumens Sym, 2.5W-190 Lumens Sym, 3.5W-248 Lm Sym.
Ø2" Post Stainless steel (201) 2"x2"Post Stainless steel (201)	Powder Coat	Beam Angle: 120° Orientation: Symmetrical 0° Power: Input 120-277 VAC, Output 24 V DC CRI: >80 Rating: IP67

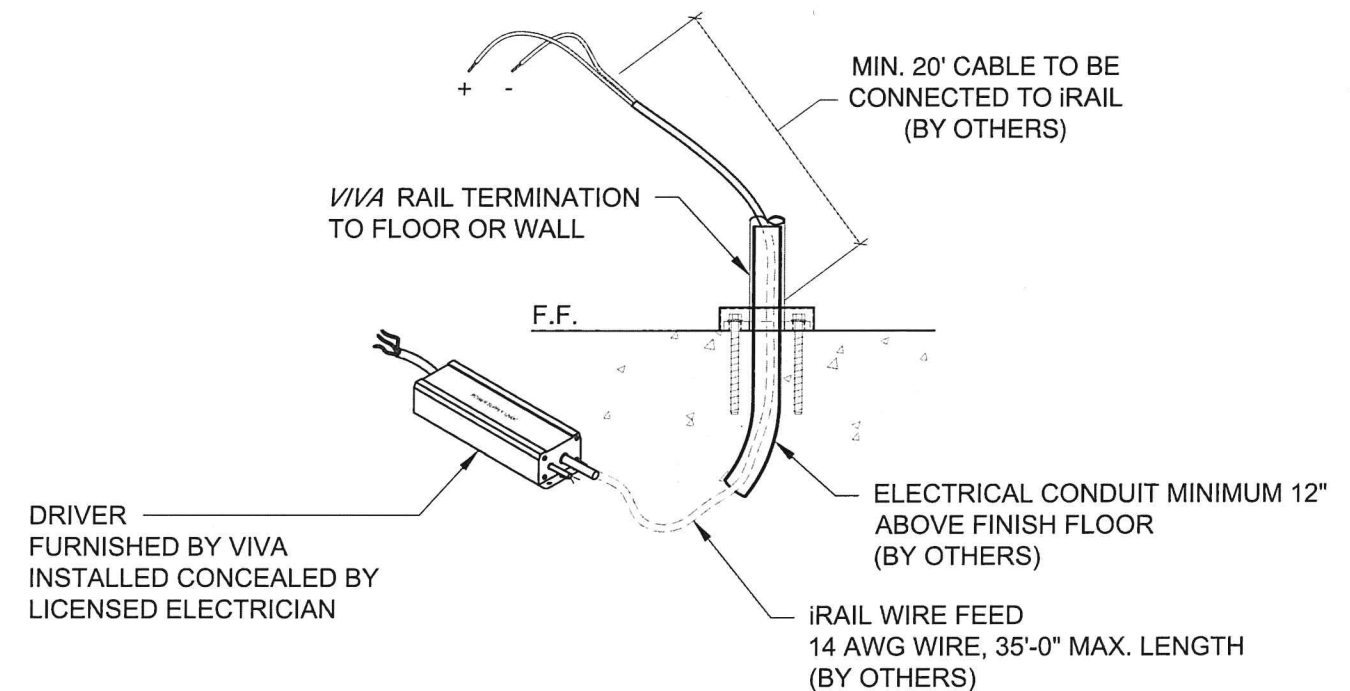
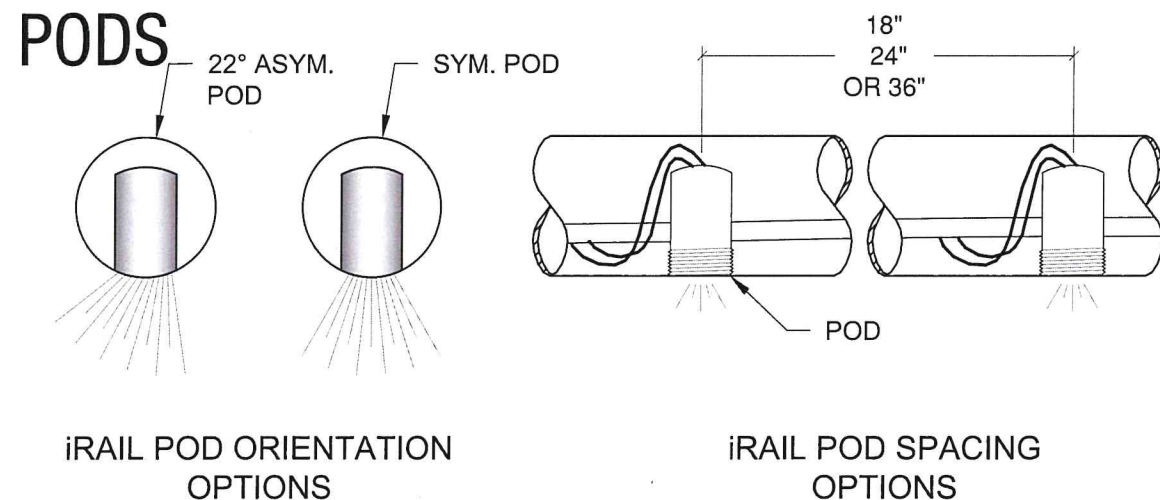
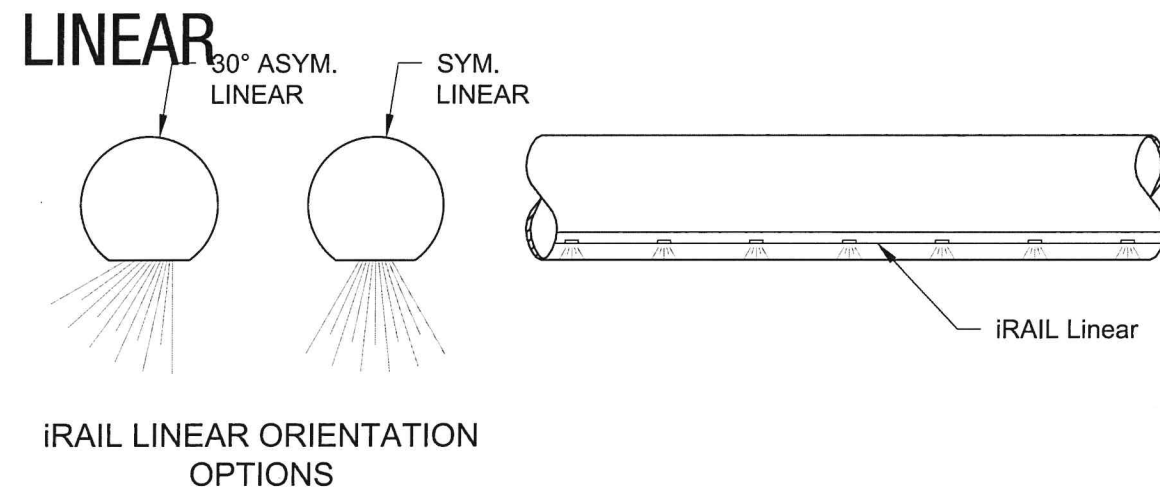


All LED LINEAR products are ETL certified;
ETL mark is proof of product compliance to
North American safety standard.

2. Other species available upon request



LIGHTED TOPRAIL / HANDRAIL



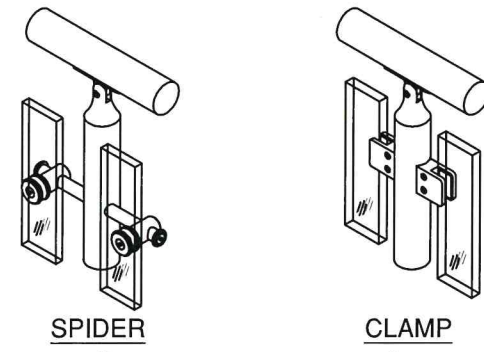
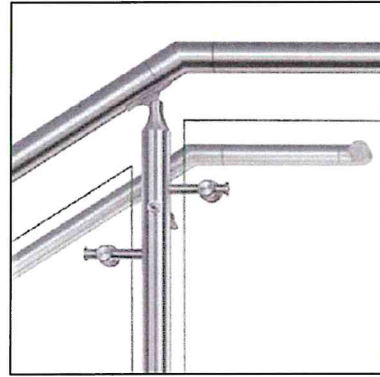
PROVIDE ONE PAIR OF WIRES 14 GA (BLACK-RED) FOR EVERY iRAIL RUN. EVERY iRAIL RUN COVERS:

- 32ft MAX FOR iRAIL LINEAR MEDIUM INTENSITY (3 W/ft)
- OR 16ft MAX FOR iRAIL LINEAR HIGH INTENSITY (5 W/ft)
- OR 32ft MAX FOR iRAIL POD

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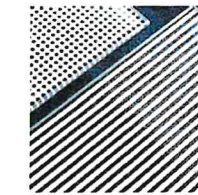
CIRCA RAILING SYSTEM GLASS INFILL



AVAILABLE GLASS TYPES



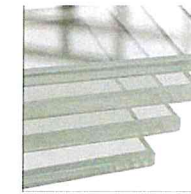
Clear Laminated
(PVB or SGP)



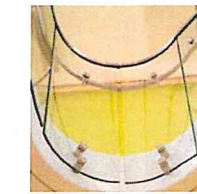
Ceramic Frit



Colored Laminate
(PVB only)



Clear Monolithic



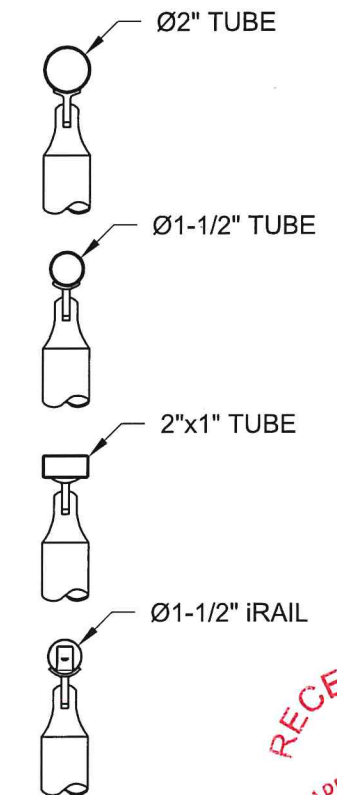
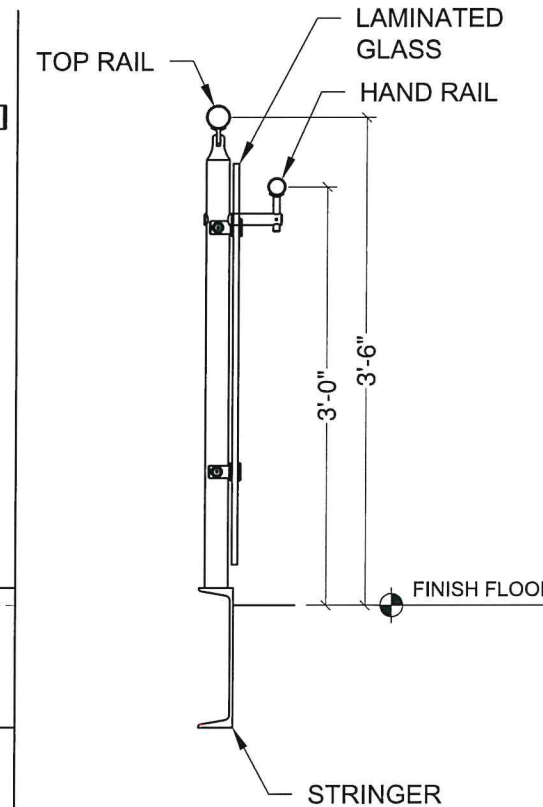
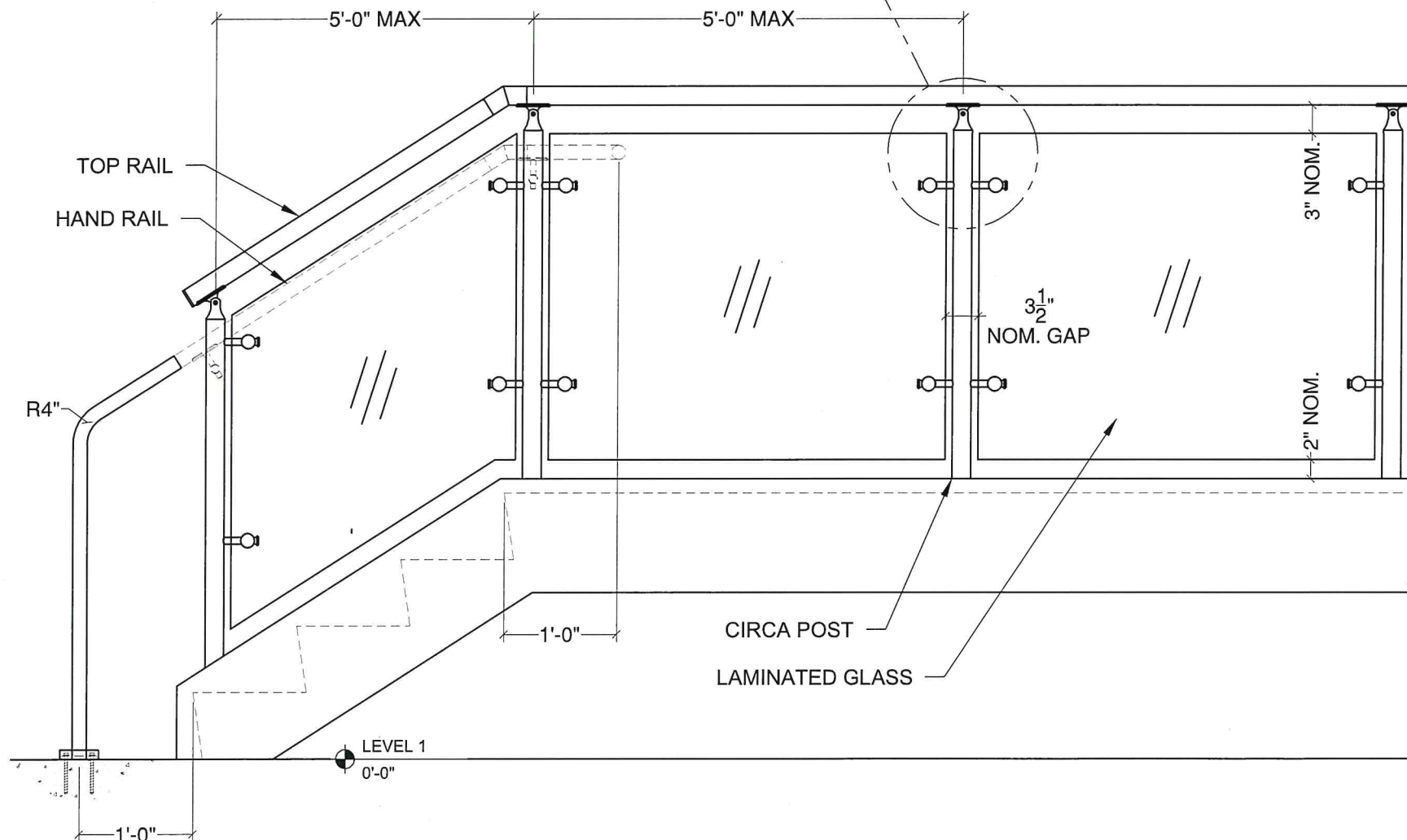
Bent



Tinted



Satin Etched



TOP RAIL OPTIONS

ROOF TOP GUARD RAIL
SPEC SHEET

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