



The City of Oklahoma City
Planning Department, Subdivision and Zoning
420 West Main Street, Suite 910, Oklahoma City, Oklahoma, 73102
Phone: (405) 297-2623 – Web: <http://www.okc.gov/planning>

APPLICATION FOR SPUD ReZONING

Simplified Planned Unit Development District

Project Name

Auto Sales

Address / Location of Property (Provide County name & parcel no. if unknown)

432 SE 44th Street, Oklahoma City, Ok 73129

Summary Purpose Statement / Proposed Development

Staff Use Only	1721
Case No.: SPUD	2-26-25
File Date:	W4
Ward No.:	Shields/Davis NA/SE OKC Community
Nbhd. Assoc.:	Watch
School District:	OKC
Extg Zoning:	R-1
Overlay:	

ReZoning Area (Acres or Square Feet)

REQUIREMENTS FOR SUBMITTAL:

- ☐ 1.) One (1) Typed Legal Description of Proposed Rezoning area in MS Word file (.doc or .docx) format.
- ☐ 2.) One (1) copy of Recorded Deed(s), with Exhibit(s), listing current Property Owner in .pdf format.
- ☐ 3.) One (1) copy of Letter of Authorization from Property Owner listing Designated Representative if Applicant is not the Property Owner of record.
- ☐ 4.) One (1) copy of Property Owners Report listing all property owners who own property within a 300-foot buffer area of the property to be rezoned. The list **MUST** include the mailing address and the legal description of their property and **MUST** be current to within 30 days of the date of submittal of the application. A minimum of 10 separate individual property owners is required. If there are less than 10 individual owners within the 300-foot buffer, the radius must be extended by increments of 100 feet until the list contains no less than 10 owners. Provide One (1) PDF (.pdf) file version, AND one (1) MS Excel (.xls or .xlsx) file version.
- ☐ 5.) One (1) Signed and Notarized copy of "Affirmation" that the Property Owners Report listings are true and correct unless the list is prepared by a Certified Abstractor or County official.
- ☐ 6.) One (1) Typed Prepared copy of Proposed Master Design Statement in an MS Word file (.doc or .docx) file format.
- ☐ 7.) One (1) Proposed Master Development Plan Map in a PDF (.pdf) file format. Reference Submittal checklist for specific details.
- ☐ 8.) Maps, Site Plan, Survey Exhibits, Photographs, or other supporting illustrations must be 600dpi minimum resolution, and in a .pdf file format. Photographic file formats (.jpeg, .png, .tiff, etc..) of drawings, maps, or other documents will not be accepted.
- ☐ 9.) A filing fee of \$1800.00 must be remitted within One (1) business day of submittal confirmation. (Online payment available / preferred.) (Make check payable to "City Treasurer")

Property Owner Information (if other than Applicant):

Martin Perez

Name

616 SW 29th St.

Mailing Address

Oklahoma City, Ok 73109

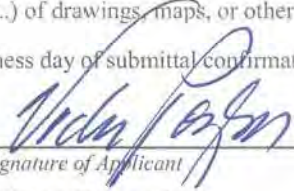
City, State, Zip Code

405-590-9003

Phone

martinperez051087@GMAIL.COM

Email


Signature of Applicant

Victor H Pozadas

Applicant's Name (please print)

3200 NW 38th Street

Applicant's Mailing Address

Oklahoma City, OK 73112

City, State, Zip Code

405-684-8920

Phone

vpozadas@rocaengineering.com

Email

Submit your Application by Email to Subdivisionandzoning@OKC.gov
Compressed files (.zip, etc..) or links to FileShare services (Dropbox, etc..) can not be accepted for security purposes.



WARRANTY DEED

Statutory Form Individual

Know All Men by These Presents:

THAT, Henry Leroy Melers, a single person party of the first part, in consideration of the sum of TEN and No/100 (\$10.00) and other valuable considerations in hand paid, the receipt of which is hereby acknowledged, does hereby Grant, Bargain, Sell and convey unto Martin Perez party of the second part, the following described real property and premises situate in Oklahoma County, State of Oklahoma, to wit:

Lots Five (5), Six (6), Seven (7), Eight (8), Nine (9) and Ten (10), in Block Two (2), of CARNEY HEIGHTS ADDITION to Oklahoma City, Oklahoma County, Oklahoma, according to the recorded plat thereof.

TAX ID No.: 086230420

Grantee's Mailing Address: 1124 S. N. Grand Blvd. OKC, OK 73109

together with all the improvements thereon and the appurtenances thereunto belonging, and warrant the title to the same.

TO HAVE AND TO HOLD said described premises unto the said party of the second part, his heirs and assigns forever, free, clear and discharged of and from all former grants, charges, taxes, judgments, mortgages and other liens and encumbrances of whatsoever nature, SUBJECT to existing zoning, easements, right-of-ways and restrictive covenants of record.

Signed and Delivered this 19th day of July, 2024

Henry Leroy Melers
Henry Leroy Melers

2401755
Doc Stamps \$ 97.50
INDIVIDUAL ACKNOWLEDGMENT

State of CALIFORNIA
County of _____

Before me, the undersigned, a Notary Public in and for said County and State on this _____ day of July, 2024, personally appeared, Henry Leroy Melers, a single person to me known to be the identical person(s) who executed the within and foregoing instrument and acknowledged to me that same was executed as the free and voluntary act and deed of said person(s) for the uses and purposes therein set forth.

Given under my hand and seal the day and year last above written.

See attached California Acknowledgment

Commission Expires: _____

RETURN TO:
Oklahoma City Abstract & Title Co.
1001 N.W. 63rd #110
Oklahoma City, OK 73116

Legal Description

Property

432 SE 44th Street

Oklahoma City, Ok 73129

LEGAL DESCRIPTION: Lots Five (5), Six (6), Seven (7), Eight (8), Nine (9), and Ten (10), in Block Two (2), of
CARNEY HEIGHTS ADDITION to Oklahoma City, Oklahoma County, Oklahoma,

Martin Perez
616 SW 29th ST.
Oklahoma City, OK 73109

February 25, 2025

The City of Oklahoma City/ Planning Department, Subdivision and Zoning
420 West Main Street, Suite 920
Oklahoma City, Ok 73102

Subject: Letter of Authorization for SPUD Rezoning Application

To Whom It May Concern,

I, Martin Perez, the undersigned property owner of the parcel located at 432 SE 44th Street, Oklahoma City, Ok 73109, hereby authorize Victor H Pozadas of Roca Engineering, Inc. to act on my behalf in matters pertaining to the application for SPUD rezoning for the property.


This authorization includes, but is not limited to, the submission of necessary documents, representation at public hearings, and communication with relevant authorities regarding the rezoning application.

I confirm that Victor H Pozadas has my full consent to represent my interests in this matter. I trust that they will act in accordance with my wishes and in compliance with applicable regulations.

Should you require any further information or documentation, please do not hesitate to contact me at 405-517-5564 or titanconcretepump@gmail.com.

Thank you for your attention to this matter.

Sincerely,

A handwritten signature in black ink, appearing to read "Martin P. Perez", written in a cursive style.

Martin Perez

Larry Stein Oklahoma County Assessor's Office



Ownership Radius Report

This Official Report is for Account Number **R086230420** and is a **300-foot** radius from the outside of the polygon.

DIGITAL COPIES ARE NOT PROVIDED BY THIS OFFICE.

If the minimum number of different owners was not reached from the initial search the radius for this report was extended by 100-foot increments until the required number of different owners is included, or the maximum distance has been met. This report does not constitute a legal survey or document. Definitive descriptions of real property and ownership can be obtained from the official recorded documents in the Oklahoma County Clerk's Office.


The Official Certified Radius Report will expire 30 days from the date of creation stamp and seal.

If you need a digital reproduction of this report, please call the mapping department of the Assessor's office for instructions on how to use the website.

STATE OF OKLAHOMA }
COUNTY OF OKLA. }

I, the duly elected, qualified and acting
County Assessor, in and for the County
and State aforesaid, do hereby certify that
the within and foregoing is a full, true and
complete copy of 300-ft radius report
filed in the office of the County Assessor
on the 30th day of Jan, 2025.
Given under my hand and official seal this
30th day of Jan, 2025.

County Assessor

Kstrayer 

Oklahoma County Assessor's
300ft Radius Report
1/30/2025

accountno	name1	name2	name3	mailingaddress1	city	state	zipcode	subname	block	lot	legal	location
R073589010	VB BTS III LLC	No Data	No Data	750 PARK OF COMMERCE DR, Unit 200	BOCA RATON	FL	33487-3650	FRUITLAND ADDITION	0	0	FRUITLAND ADDITION 000 000 PT BLK 23 BEG AT SW/C BLK 23 TH N137FT E105FT S137FT W105FT TO BEG SUBJ TO EASEMENTS OF RECORD	0 UNKNOWN OKLAHOMA CITY
R073588905	PHAM TAM THI	No Data	No Data	11848 SW 1ST ST	YUKON	OK	73099	FRUITLAND ADDITION	0	0	FRUITLAND ADDITION 000 000 BEG 145FT E & 17FT N OF SW/C BLK 23 TH N120FT E150FT S120FT W150FT TO BEG	403 SE 44TH ST OKLAHOMA CITY
R073589000	PHAM QUANG XUAN	PHAM TAM THI	No Data	11848 SW 1ST ST	YUKON	OK	73099	FRUITLAND ADDITION	0	0	FRUITLAND ADDITION 000 000 S150FT OF BLK 23 EX A 40FT STRIP & EX A 52FT STRIP & SUBJ TO EASEMENTS OF RECORD & EX A TR 120FT N&S BY 150FT E&W BEG 145FT E & 17FT N OF SW/C BLK 23 & LESS BEG SW/C BLK 23 TH N137FT E105FT S137FT W105FT TO BEG SUBJ TO EASEMENTS OF RECORD	435 SE 44TH ST OKLAHOMA CITY
R073589000	PHAM QUANG XUAN	PHAM TAM THI	No Data	11848 SW 1ST ST	YUKON	OK	73099	FRUITLAND ADDITION	0	0	FRUITLAND ADDITION 000 000 S150FT OF BLK 23 EX A 40FT STRIP & EX A 52FT STRIP & SUBJ TO EASEMENTS OF RECORD & EX A TR 120FT N&S BY 150FT E&W BEG 145FT E & 17FT N OF SW/C BLK 23 & LESS BEG SW/C BLK 23 TH N137FT E105FT S137FT W105FT TO BEG SUBJ TO EASEMENTS OF RECORD	435 SE 44TH ST OKLAHOMA CITY
R086230600	HOWARD JOHN W & NANCY J	No Data	No Data	415 SE 45TH ST	OKLAHOMA CITY	OK	73129-5311	CARNEY HEIGHTS ADDITION	2	0	CARNEY HEIGHTS ADDITION 002 000 LOTS 25 THRU 28	401 SE 45TH ST OKLAHOMA CITY
R086230640	HOWARD JOHN W & NANCY J	No Data	No Data	415 SE 45TH ST	OKLAHOMA CITY	OK	73129-5311	CARNEY HEIGHTS ADDITION	2	0	CARNEY HEIGHTS ADDITION 002 000 LOTS 29 THRU 32	415 SE 45TH ST OKLAHOMA CITY
R086230660	WHITE OPERATING CO	No Data	No Data	1627 SW 96TH ST	OKLAHOMA CITY	OK	73159-7136	CARNEY HEIGHTS ADDITION	2	0	CARNEY HEIGHTS ADDITION 002 000 LOTS 33 & 34	0 UNKNOWN OKLAHOMA CITY
R086230690	DENU ELSIE ETHEL	C/O CAROL REHM	No Data	7013 S CHESTNUT AVE	BROKEN ARROW	OK	74011-1889	CARNEY HEIGHTS ADDITION	2	0	CARNEY HEIGHTS ADDITION 002 000 LOTS 35 THRU 37 PLUS W4FT OF LOT 38	0 UNKNOWN OKLAHOMA CITY
R086230700	KINTER LINDA S	No Data	No Data	3928 NW 50TH ST, Unit 1	OKLAHOMA CITY	OK	73112-2297	CARNEY HEIGHTS ADDITION	2	0	CARNEY HEIGHTS ADDITION 002 000 LOTS 38 THRU 40 EX W4FT OF LOT 38	427 SE 45TH ST OKLAHOMA CITY
R086230720	DOMINGUEZ ESTHER CORDERO ETAL	VALDEZ JOSE LUIS	No Data	433 SE 45TH ST	OKLAHOMA CITY	OK	73129-5311	CARNEY HEIGHTS ADDITION	2	0	CARNEY HEIGHTS ADDITION 002 000 LOTS 41 & 42	433 SE 45TH ST OKLAHOMA CITY

Oklahoma County Assessor's
300ft Radius Report
1/30/2025

R086230750	CARL JAMES L JR & CARLA A	No Data	No Data	437 SE 45TH ST	OKLAHOMA CITY	OK	73129-5311	CARNEY HEIGHTS ADDITION	2	0	CARNEY HEIGHTS ADDITION 002 000 LOTS 43 & 44	437 SE 45TH ST OKLAHOMA CITY
R086230780	HERNANDEZ VICTORIANO JARAMILLO	SALAZAR GREGORIA	No Data	1228 SW 32ND ST	OKLAHOMA CITY	OK	73109	CARNEY HEIGHTS ADDITION	2	0	CARNEY HEIGHTS ADDITION 002 000 LOTS 45 & 46	441 SE 45TH ST OKLAHOMA CITY
R086230810	BARKER NANCY J REV TRUST	No Data	No Data	1920 JOSEPH DR	EDMOND	OK	73003	CARNEY HEIGHTS ADDITION	2	0	CARNEY HEIGHTS ADDITION 002 000 LOTS 47 & 48	445 SE 45TH ST OKLAHOMA CITY
R086230240	GOMEZ OSIEL G	No Data	No Data	226 W HIMES ST	NORMAN	OK	73069	CARNEY HEIGHTS ADDITION	1	0	CARNEY HEIGHTS ADDITION 001 000 LOTS 16 THRU 19	505 SE 45TH ST OKLAHOMA CITY
R086230275	FRAZIER RANDY	No Data	No Data	515 SE 45TH ST	OKLAHOMA CITY	OK	73129	CARNEY HEIGHTS ADDITION	1	0	CARNEY HEIGHTS ADDITION 001 000 LOTS 20 THRU 23	515 SE 45TH ST OKLAHOMA CITY
R086230570	EDEN TOWER LLC	No Data	No Data	400 SE 44TH ST	OKLAHOMA CITY	OK	73129-5406	CARNEY HEIGHTS ADDITION	2	0	CARNEY HEIGHTS ADDITION 002 000 W15FT OF S126.9FT LOT 19 & S126.9FT LOTS 20 THRU 24	400 SE 44TH ST OKLAHOMA CITY
R086230550	LE CUONG T	PHAM TAM T	No Data	412 SE 44TH ST	OKLAHOMA CITY	OK	73129-5406	CARNEY HEIGHTS ADDITION	2	0	CARNEY HEIGHTS ADDITION 002 000 LOTS 17 & 18 & E10FT OF LOT 19 EX N17FT	412 SE 44TH ST OKLAHOMA CITY
R086230540	LE CUONG T	PHAM TAM T	No Data	412 SE 44TH ST	OKLAHOMA CITY	OK	73129-5406	CARNEY HEIGHTS ADDITION	2	0	CARNEY HEIGHTS ADDITION 002 000 LOTS 13 THRU 16	418 SE 44TH ST OKLAHOMA CITY
R086230535	CITY OF OKLA CITY	No Data	No Data	200 N WALKER AVE 2ND FLR	OKLAHOMA CITY	OK	73102	CARNEY HEIGHTS ADDITION	2	0	CARNEY HEIGHTS ADDITION 002 000 N17FT LOTS 17 THRU 24 EXEMPT	0 UNKNOWN OKLAHOMA CITY
R086230480	LE CUONG TU	PHAM TAM THI	No Data	412 SE 44TH ST	OKLAHOMA CITY	OK	73129-5406	CARNEY HEIGHTS ADDITION	2	0	CARNEY HEIGHTS ADDITION 002 000 LOTS 11 & 12	422 SE 44TH ST OKLAHOMA CITY
R086230360	NIKO INVESTMENTS LLC	No Data	No Data	16757 LITTLE LEAF CT	EDMOND	OK	73012	CARNEY HEIGHTS ADDITION	2	0	CARNEY HEIGHTS ADDITION 002 000 LOTS 1 THRU 4	448 SE 44TH ST OKLAHOMA CITY
R086230210	RAMOS BALTAZAR CABRALES	No Data	No Data	109 SW 54TH ST	OKLAHOMA CITY	OK	73109	CARNEY HEIGHTS ADDITION	1	0	CARNEY HEIGHTS ADDITION 001 000 LOTS 14 & 15	500 SE 44TH ST OKLAHOMA CITY
R086230180	BERRYMAN MICHAEL LEE	No Data	No Data	504 SE 44TH ST	OKLAHOMA CITY	OK	73129-5402	CARNEY HEIGHTS ADDITION	1	0	CARNEY HEIGHTS ADDITION 001 000 LOTS 12 & 13	504 SE 44TH ST OKLAHOMA CITY
R086230150	PANDO JESUS A	PANDO ROSA M	No Data	305 SW 103RD ST	OKLAHOMA CITY	OK	73139-9016	CARNEY HEIGHTS ADDITION	1	0	CARNEY HEIGHTS ADDITION 001 000 LOTS 10 & 11	508 SE 44TH ST OKLAHOMA CITY
R073589025	CITY OF OKLA CITY	No Data	No Data	200 N WALKER AVE 2ND FLR	OKLAHOMA CITY	OK	73102	FRUITLAND ADDITION	0	0	FRUITLAND ADDITION 000 000 S17FT OF BLK 23 EXEMPT	0 UNKNOWN OKLAHOMA CITY
R086231080	GARAY DAVID	No Data	No Data	408 SE 45TH ST	OKLAHOMA CITY	OK	73129	CARNEY HEIGHTS ADDITION	3	0	CARNEY HEIGHTS ADDITION 003 000 LOTS 19 & 20	408 SE 45TH ST OKLAHOMA CITY
R086231050	SNYDER CARRIE J	No Data	No Data	412 SE 45TH ST	OKLAHOMA CITY	OK	73129-5312	CARNEY HEIGHTS ADDITION	3	0	CARNEY HEIGHTS ADDITION 003 000 LOTS 17 & 18	412 SE 45TH ST OKLAHOMA CITY

Oklahoma County Assessor's
300ft Radius Report
1/30/2025

R086231020	SHEEHAN CONNIE S	No Data	No Data	416 SE 45TH ST	OKLAHOMA CITY	OK	73129-5312	CARNEY HEIGHTS ADDITION	3	0	CARNEY HEIGHTS ADDITION 003 000 LOTS 15 & 15	416 SE 45TH ST OKLAHOMA CITY
R086230990	DOMINGUEZ JUAN	MERLO JAMES	No Data	420 SE 45TH ST	OKLAHOMA CITY	OK	73129-5312	CARNEY HEIGHTS ADDITION	3	0	CARNEY HEIGHTS ADDITION 003 000 LOTS 13 & 14	420 SE 45TH ST OKLAHOMA CITY
R086230960	ROSATI ROGER LAWRENCE	No Data	No Data	1104 NW 6TH PL	MOORE	OK	73170-1202	CARNEY HEIGHTS ADDITION	3	0	CARNEY HEIGHTS ADDITION 003 000 LOTS 11 & 12	0 UNKNOWN OKLAHOMA CITY
R086230930	PENATE JORGE A	No Data	No Data	1630 E BOYD ST	NORMAN	OK	73071-2616	CARNEY HEIGHTS ADDITION	3	0	CARNEY HEIGHTS ADDITION 003 000 LOTS 9 & 10	428 SE 45TH ST OKLAHOMA CITY
R086230900	ZARING KYMBERLY	No Data	No Data	330 SE 59TH ST	OKLAHOMA CITY	OK	73129-3828	CARNEY HEIGHTS ADDITION	3	0	CARNEY HEIGHTS ADDITION 003 000 LOTS 7 & 8	432 SE 45TH ST OKLAHOMA CITY
R086230870	SNYDER ELIOUTT EDWARD III	No Data	No Data	436 SE 45TH ST	OKLAHOMA CITY	OK	73129-5312	CARNEY HEIGHTS ADDITION	3	0	CARNEY HEIGHTS ADDITION 003 000 LOTS 5 & 6	436 SE 45TH ST OKLAHOMA CITY
R086230850	DEAN LONIE A & PATRICIA M	No Data	No Data	440 SE 45TH ST	OKLAHOMA CITY	OK	73129-5312	CARNEY HEIGHTS ADDITION	3	0	CARNEY HEIGHTS ADDITION 003 000 LOTS 3 & 4	440 SE 45TH ST OKLAHOMA CITY
R086230840	DEAN STEVEN ROY	No Data	No Data	444 SE 45TH ST	OKLAHOMA CITY	OK	73129-5312	CARNEY HEIGHTS ADDITION	3	0	CARNEY HEIGHTS ADDITION 003 000 LOTS 1 & 2	444 SE 45TH ST OKLAHOMA CITY
R086231590	WE ARE ONE INC	No Data	No Data	12121 PARAMOUNT BLVD, Unit C	DOWNEY	CA	90242-2372	CARNEY HEIGHTS ADDITION	4	0	CARNEY HEIGHTS ADDITION 004 000 W10FT LOT 19 & ALL LOTS 20 THRU 22	500 SE 45TH ST OKLAHOMA CITY
R073589005	SANTA FE STATION MHP SPE LLC	No Data	No Data	38505 WOODWARD AVE STE 275	BLOOMFIELD HILLS	MI	48304	FRUITLAND ADDITION	23	0	FRUITLAND ADDITION 023 000 BEG 105FT E OF SW/C OF BLK 23 TH N150FT W105FT N1463.43FT E218.32FT S ELY 1625.84FT W241.46FT S150FT W52FT N150FT W495FT S150FT TH W TO BEG SUBJ TO EASEMENTS OF RECORD	501 SE 44TH ST OKLAHOMA CITY
R086230420	PEREZ MARTIN	No Data	No Data	1124N SW GRAND BLVD	OKLAHOMA CITY	OK	73109-2925	CARNEY HEIGHTS ADDITION	2	0	CARNEY HEIGHTS ADDITION BLK 002 LOTS 5 THRU 10	432 SE 44TH ST OKLAHOMA CITY

To maintain consistency, preserve readability, and minimize delays please maintain the formatting of this document to the maximum extent possible.

Sections may be added as necessary.

THE CITY OF OKLAHOMA CITY
SIMPLIFIED PLANNED UNIT DEVELOPMENT

SPUD-(number)

MASTER DESIGN STATEMENT

(Revision Date)
(Revision Date)

PREPARED BY:

Roca Engineering, Inc.
3200 NW 38th Street
Oklahoma City, Ok 73112
(405-684-8920)
(vpozadas@rocaengineering.com)

SPUD-(number) MASTER DESIGN STATEMENT

This document serves as the Master Design Statement and fulfills the ordinance requirements for the Simplified Planned Unit Development (Chapter 59, Section 14150.B of the Oklahoma City Municipal Code, 2020, as amended).

I. Special Development Regulations:

The following Special Development Regulations and/or limitations are placed upon the development of the Simplified Planned Unit Development. Planning and zoning regulations will be those that are in effect at the time of development of this Simplified Planned Unit Development; provided, however, that the density and or intensity of the SPUD shall not be increased. Development is when a permit is issued for any construction or addition to any structure on a development tract. Certain zoning districts are referred to as a part of the Special Development Regulations of this Simplified Planned Unit Development. For purposes of interpretation of these Special Development Regulations, the operative and controlling language and regulations of such zoning districts shall be the language and regulations applicable to the referenced zoning districts as contained in the City of Oklahoma City's Planning and Zoning Code as such exists at the time of development of this Simplified Planned Unit Development. In the event of conflict between provisions of this SPUD and any of the provisions of the Oklahoma City Municipal Code, as amended ("Code"), in effect at the time a permit is applied for with respect to any lot, block, tract and/or parcel of land subject to this SPUD, the provisions of the Code shall prevail and be controlling; provided however, that in the event of a conflict between the Special Use and Development Regulations specifically negotiated as a part of this SPUD and the provisions of the Code in effect at the time a permit is applied for with respect to any lot, block, tract and/or parcel of land subject to this SPUD, such Special Use and Development Regulations of this SPUD shall prevail and be controlling.

1. This site will be developed in accordance with the regulation of the C-3" zoning district (OKC Zoning Ordinance, 2020, as amended), except that the following restrictions will apply:

The following use(s) will be the only use(s) permitted on this site:

Storage and handling Car sales

1.1 Minimum Lot Size: 0.49 Acres

1.2 Minimum Lot Width: Per the base zone.

2. Maximum Building Height: 25 feet

3. Maximum Building Size: 1500 ft²

4. Maximum Number of Buildings:

There shall be a maximum of 1 buildings for dwellings, excluding accessory structures, in this SPUD.

5. Building Setback Lines

Front Yard: 25 Feet

Rear Yard: 10 Feet

East Side Yard: 5 feet

West Side Yard: 5 feet

6. Sight-proof Screening:

Sight proof screening shall be per the base zone.

7. Landscaping:

The subject parcel shall meet all requirements of the City of Oklahoma City's Landscaping ordinance in place at the time of development.

8. Signs:

8.1 Free standing accessory signs

Per Sing regulations Article XVI & 59-16100

8.2 Attached signs

Per Sing regulations Article XVI & 59-16100

8.3 Non-Accessory Signs

Per Sing regulations Article XVI & 59-16100

8.4 Electronic Message Display signs

Per Sing regulations Article XVI & 59-16100

9. Access:

One access from SE 44th Street and South Alley.

10. Sidewalks

Per city ordinance and codes.

II. Other Development Regulations:

1. Architecture:

Exterior building wall finish on all structures shall consist of a minimum 70% brick veneer, masonry, rock, stone, stucco, or wood, or other similar type finish. A maximum of 30%

EIFS (Exterior Insulation Finish System) material shall be permitted. Exposed metal or exposed concrete block buildings shall not be permitted.

2. Open Space:

A minimum of 25% open space, defined as no buildings or paving, shall be provided.

3. Street Improvements:

Street improvements shall not be required.

4. Site Lighting:

The new structure and any modifications thereto shall conform to applicable regulations. In the event of a new structure, the site lighting in this SPUD shall be in accordance with Chapter 59, Article XII, Section 59-12350 of the Oklahoma City Municipal Code, 2020, as amended.

5. Dumpsters:

Not needed, but trash collection facilities in this SPUD shall be in accordance with Chapter 49 of the Oklahoma City Municipal Code, 2020.

6. Parking:

A minimum of one parking space per dwelling shall be provided.

7. Maintenance:

Maintenance of the common areas in development area shall be the responsibility of the property owner and docks, shall be permitted if installed in a manner to meet the requirements specified above.

8. Drainage:

Development of this parcel will comply with Chapter 16 of the Oklahoma City Municipal Code, 2020, as amended.

9. Other:

N/A

III. Supporting Documents

Exhibit A: Legal Description

Exhibit B: Site Plan

T 11 N - R 3 W

Q SF 44th st.

LEGEND

○ Set 1/2" I.P. w/Cap

33'

150.00'

N 89°24'22" E

CARNEY HEIGHTS
ADDITION

25' Building Line

Lot 13 Lot 12 Lot 11 Lot 10 Lot 9 Lot 8 Lot 7 Lot 6 Lot 5 Lot 4 Lot 3

144.59' (M) - 143.07' (R)
N 00°22'35" W

144.22' (M) - 143.10' (R)
S 00°22'35" E

S 89°16'03" W

150.00'

PLAN VIEW

SCALE: 1" = 40'

2

LEGAL DESCRIPTION:

Lots Five (5), Six (6), Seven (7), Eight (8), Nine (9), and Ten (10), in Block Two (2), of CARNEY HEIGHTS ADDITION to Oklahoma City, Oklahoma County, Oklahoma, according to the recorded plat thereof.

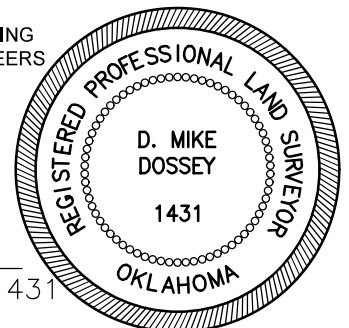
BASIS OF BEARINGS: Established bearing of N 89°24'22" E along the North line of the above described property by GPS observation.


THIS PLAT OF SURVEY MEETS THE MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING AS ADOPTED BY THE OKLAHOMA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.

NOTE:

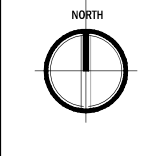
This drawing may not depict all utilities. Before digging or excavating please call: 811

D. Mike Dossey
D. MIKE DOSSEY R.P.L.S. # 1431
Date Signed: 07/24/2024



				<div>PLAT OF SURVEY</div>	SCALE:	1"=40'		
					DATE:	07/24/24		
NO.	REVISION	DATE	BY		JOB NO.:	2414.133		
SURVEYED BY: D.M.D.					DWG. NO.:	2114.85		
DRAWN BY: B.M.J.					AFE. NO:			
APPROVED BY: D.M.D.				<div><div><div>CIMARRON.</div><div>SURVEYING & MAPPING CO.</div><div><small>C.A. No. 1780 Expires June 30, 2022</small></div></div><div>1570 SW 89th STREET, Bldg. C7 Oklahoma City, OK (405) 692-7348 www.cimsurvey.com</div></div>	SHEET	1	OF	1

1530 SW 89th STREET, Bldg. C3
Oklahoma City, OK
(405) 692-7348
WWW.CIMSURVEY.COM

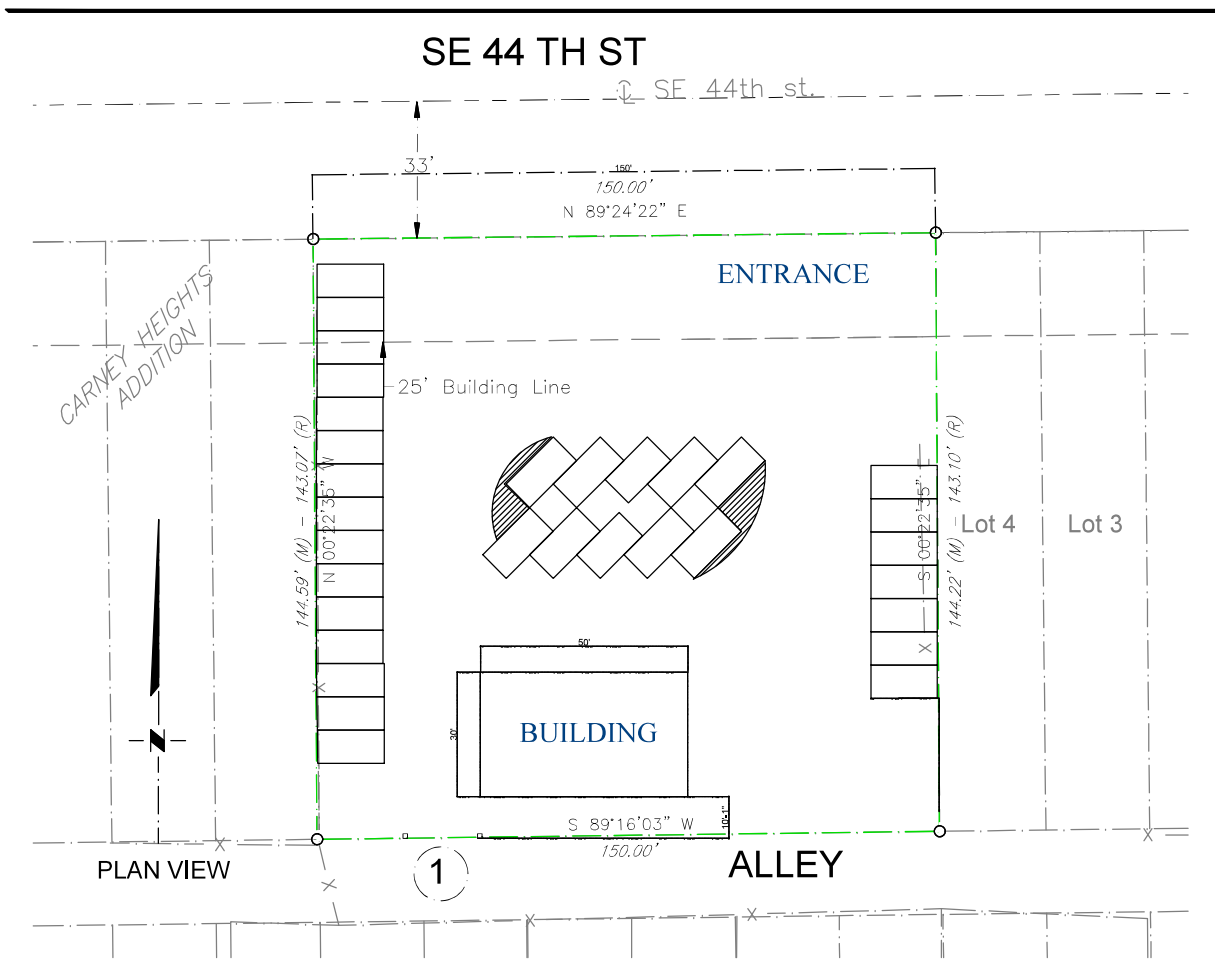


432 SE 44th
 OKLAHOMA CITY, OK 73129

DRAWING ISSUE	
MARK	DESCRIPTION

DRAWING		
LANDSCAPE		
PROJECT:	Checked: 10/	Drawn By: JF
SCALE:	DATE: 02.11.25	
REVISION:	REV-A	

L-101
SHEET # 2



SCALE 3/32" = 1'-0"