

Planning Commission Minutes
April 25, 2024

(The agenda was filed with the City Clerk of The City of Oklahoma City at 4:59 p.m. on April 19, 2024)

12. (PUD-2002) Application by Welcome Home Communities, LLC to rezone 1103 Life Style Drive from PUD-20A Planned Unit Development and PUD-20B Planned Unit Development Districts to PUD-2002 Planned Unit Development District. Ward 1.

The applicant was present. There were no protestors present.

RECOMMENDED APPROVAL.

MOVED BY CLAIR, SECONDED BY MEEK

AYES: CLAIR, POWERS, MEEK, PRIVETT, NEWMAN, GOVIN, PENNINGTON,
NOBLE, LAFORGE



STAFF REPORT
The City of Oklahoma City
Planning Commission
April 25, 2024

Item No. IV. 12.

(PUD-2002) Application by Welcome Home Communities, LLC to rezone 1103 Life Style Drive from PUD-20A Planned Unit Development and PUD-20B Planned Unit Development Districts to PUD-2002 Planned Unit Development District. Ward 1.

I. GENERAL INFORMATION

A. Contacts

1. Applicant/Developer Representative

Company	Williams, Box, Forshee & Bullard PC
Phone	405-232-0080
Email	dmbox@wbfbllaw.com

B. Case History

This is a new application.

C. Reason for Request

The purpose of this application is to allow residential development, specifically manufactured home duplexes.

D. Existing Conditions

1. Comprehensive Plan Land Use Typology Area: Urban – Low Intensity (UL)

UL applies to the least intensively developed areas of the city that still receive urban water, sewer, police, park and fire services. Development in this area should provide horizontal integration of land uses, connectivity within and between individual developments, and design that facilitates pedestrian and bicycle transportation.

2. Size of Site: 74.4 acres

3. Zoning and Land Use

	Subject Site	North	East	South	West
Zoning	PUD-20A/PUD-20B	R-1	PUD-20A	I-2/AA	PUD-20C
Land Use	Mobile Home Park	Lake Overholser	Mobile Home Park	Industrial/Outdoor Storage	Mobile Home Park

II. SUMMARY OF PUD APPLICATION

The use and development regulations of the **R-MH-2 Manufactured (Mobile) Home Park District** shall govern this PUD, except as herein modified.

In addition to all uses permitted under the R-MH-2 District, the following shall also be permitted:

8200.6	Manufactured Home Residential
8200.12	Multiple-Family Residential
8200.14	Single-Family Residential
8200.15	Three- and Four-Family Residential
8200.16	Two-Family Residential [manufactured duplexes shall be permitted]

*Service facilities/laundry facilities shall not be required within this PUD.

9.0.....SPECIAL CONDITIONS

The following special conditions shall be made a part of this PUD:

9.1.....FAÇADE REGULATIONS

Per base zoning and HUD.

9.2 LANDSCAPING REGULATIONS

The existing landscaping shall be permitted to remain and deemed to conform to applicable regulations. In the event of a new structure, the subject parcel shall meet all requirements of the City of Oklahoma City's Landscaping Ordinance in place at the time of development.

9.3 LIGHTING REGULATIONS

The site lighting in this PUD shall be in accordance with Chapter 59, Article XII, Section 59-12350 of the Oklahoma City Municipal Code, 2020, as amended.

9.4 SCREENING REGULATIONS

The existing screening shall be permitted to remain and deemed to conform to applicable regulations. Any new development within this PUD shall be in accordance with Oklahoma City Landscaping and Screening Regulations.

9.5 PLATTING REGULATIONS

The PUD site is platted.

9.6 DRAINAGE REGULATIONS

Development of this parcel will comply with Chapter 16 of the Oklahoma City Municipal Code, 2020, as amended.

9.7 DUMPSTER REGULATIONS

Dumpsters shall be located within an area screened by a fence or masonry wall of sufficient height that screens the dumpster from public streets and residences and shall be placed no closer than 50 feet from all property lines adjacent to residential zoning district or use.

Trash collection facilities in this PUD shall be in accordance with Chapter 49 of the Oklahoma City Municipal Code, 2020, as amended.

9.8 ACCESS REGULATIONS

There shall be at least two (2) access points from NW 10th St.

9.9 PARKING REGULATIONS

The existing parking shall be permitted to remain and deemed to conform to applicable regulations. In the event of a new structure, the design and number of all parking facilities in this PUD shall be in accordance with Chapter 59, Article X of the Oklahoma City Municipal Code, 2020, as amended.

9.10 SIGNAGE REGULATIONS

9.10.1 FREESTANDING ACCESSORY SIGNS

Freestanding accessory signs will be in accordance with the base zoning district regulations.

9.10.2 ATTACHED SIGNS

Attached signs will be in accordance with the base zoning district regulations.

9.10.3 NON-ACCESSORY SIGNS

Non-Accessory signs will not be permitted.

9.10.4 ELECTRONIC MESSAGE DISPLAY SIGNS (EMD'S)

Electronic Message Display signs will not be permitted.

9.11 ROOFING REGULATIONS

Per HUD.

9.12 SIDEWALK REGULATIONS

The existing sidewalks shall be permitted to remain and deemed to conform to applicable regulations.

9.13 HEIGHT REGULATIONS

The existing structures shall be permitted to remain and deemed to conform to applicable regulations. In the event of a new structure, the base zoning district regulations shall regulate heights of structures in this PUD.

9.14 SETBACK REGULATIONS

The existing setbacks shall be permitted to remain and deemed to conform to applicable regulations. In the event of a new structure, yard requirements in this PUD shall be the same as the base-zoning district.

9.15 PUBLIC IMPROVEMENTS

Public improvements shall be made by the property owner throughout the PUD as required by the City of Oklahoma City Public Works Department or other City, County, or State Department or agency. All Local, State, and Federal ordinances as they shall apply to the site will be adhered to fully.

9.16 COMMON AREAS

Maintenance of the common areas in the development shall be the responsibility of the property owner or Property Owners Association. No structures, storage of material, grading, fill, or other obstructions, including fences, either temporary or permanent, that shall cause a blockage of flow or an adverse effect on the functioning of the storm water facility, shall be placed within the common areas intended for the use of conveyance of storm water, and/or drainage easements shown. Certain amenities such as, but not limited to, walks, benches, piers, and docks, shall be permitted if installed in a manner to meet the requirements specified above.

9.17 SPECIFIC PLAN

A specific plan shall not be required.

9.18 DENSITY

The existing density shall be permitted to remain and deemed to conform to applicable regulations. In the event of new development, the following shall apply:

Single-family: 1 dwelling unit/5,000 sf
Two-family: 1 dwelling unit/2,500 sf
Other: 1 dwelling unit/1,250 sf

10.0 DEVELOPMENT SEQUENCE

Developmental phasing shall be allowed as a part of the development of this PUD.

11.0 EXHIBITS

The following exhibits are hereby attached and incorporated into this PUD. These exhibits are:

Exhibit A - Legal Description
Exhibit B - Conceptual Master Development Plan
Exhibit C - Topography Plan
Exhibit D – Conceptual Renderings

III. REVIEW COMMENTS

This application was submitted to the following agencies, departments, and/or divisions for review and comment. An asterisk indicates that the agency, department, and/or division responded with no adverse comments.

A. Outside Agencies

- 1. Oklahoma City-County Health Department**
- 2. Oklahoma City Urban Renewal Authority (OCURA)**
- 3. Oklahoma Gas and Electric (OGE)**
- 4. Oklahoma Natural Gas:** Please contact OKIE-ONE 1-800-522-6543 a minimum of 48 hours prior to excavation for the exact location of our facilities.
- 5. Oklahoma Water Resources Board (OWRB)**
- 6. School District: Yukon**
- 7. Oklahoma Department of Transportation (ODOT)**

B. City Departments

- 1. Airports**
- 2. Central Oklahoma Transportation and Parking Authority (COTPA)**
- 3. Fire***
- 4. Information Technology/Geographic Support**
- 5. Parks and Recreation**
- 6. Police**
- 7. Public Works**
 - a. Engineering**
 - b. Streets, Traffic and Drainage Maintenance**

Storm Sewer Availability

- 1) The Public Works Drainage Division staff has reviewed the subject application. All development, new construction, and/or substantial improvements planned within the proposed area shall be subject to chapter 16 of the Oklahoma City Municipal Code.
- 2) Storm sewers in accordance with the City's Drainage Ordinance will be required. Development abutting section line roads with drainage flows that exceed the capacity of OKC standard ditch detail (D-100) will necessitate the installation of enclosed storm sewer and/or concrete channel. These improvements shall be placed to provide a minimum of 35' clearance distance from the centerline of the section. Concrete channels must be entirely outside public right-of-way.
- 3) A flood and/or drainage study will be required to establish finished floor elevations, common lot areas or private drainage easements. A final plat should not be submitted until the study has been reviewed and approved by the Public Works Department.
- 4) Plans for drainage improvements within the private drainage reserves and/or common areas must be submitted for review, and payment of inspection fees shall be made prior to construction. Building permits will not be issued until construction is complete. If a subdivision abuts a stream, the private drainage easements and/or common area along stream shall extend to flow line of stream at a minimum.
- 5) Place the following note on the plat and construction plans: Maintenance of the Common Areas and/or Private Drainage Easements shall be the responsibility of the property owner. No structures, storage of material, grading, fill or other obstructions, including fences, either temporary or permanent shall be placed within the common areas and/or drainage easements shown.
- 6) Drainage easements shall be clearly denoted as public or private in owner's dedication, on the plat, and/or in the plat notes.

STAFF REPORT

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Planning Commission

April 25, 2024

PUD-2002

Item No. IV. 12.

- 7) Construction within the limits of this PUD will require an erosion control plan in accordance with EPA Storm Water Discharge permitting: CFR Vol. 57, No. 175, September 9, 1992. A copy of the EPA Notice of Intent (NOI) will be required prior to the issuance of work orders or permits for construction activities disturbing an area of 1/2 acre or greater.
- 8) Sidewalks shall be installed for all new construction and/or at the time of a residential use to a more intense use on all lots having frontage on public streets classified as a major or minor arterial.
- 9) All private roads /streets will have private storm sewer systems.
- 10) Engineer/developers will be contacting PW for detention determination before they submit their final plat and plans.
- 11) Add to Section 9.12 Sidewalk Regulations: Any new sidewalks or repair/replacement of existing sidewalks shall be provided in accordance with the City of Oklahoma City Municipal Code and ADA requirements at the time of construction of this PUD.

c. Stormwater Quality Management

d. Traffic Management*

8. Utilities

a. Engineering

Wastewater Availability

- 1) No objection, using existing facilities.

Water Availability

- 1) No objection, using existing facilities.

b. Solid Waste Management

- 1) The City can provide service, providing there is sufficient space for the truck to maneuver to service the addition.

9. Planning

a. Comprehensive Plan Considerations

1) LUTA Development Policies:

Site Design:

- Large-scale (20+ acres or 50 or more single family units) residential subdivisions should provide a diversity of home sizes, lot sizes, price points, architectural styles, and density ranges.
- Utilize Best Management Practices (BMP) for stormwater whenever possible.
- Developments should be served by urban water and sewer utility systems.

The subject site was platted as Life Style Addition in 1999 in an area with an existing mobile home park. National, state, and local permitting require basic best management practices for stormwater management. Public water and sewer are available.

Location:

- Locate uses that generate high traffic volumes along arterial streets, frontage roads, and interstates.
- Avoid concentrations of apartment complexes. Instead, integrate multifamily units into neighborhoods with mixes of housing types or in mixed-use developments.

The subject site is located along NW 10th Street, an arterial street. The PUD proposes manufactured duplexes and allows multifamily development within the allowed uses.

Density: The Urban Low Intensity LUTA outlines a density range of 4 to 8 dwelling units per acre for single family, and 15 to 30 dwelling units per acre for multifamily.

The base R-MH-2 District allows a density of 10 manufactured (mobile) homes per acre. The PUD proposes to allow the existing density to remain; however, in the event of new development the Master Design Statement allows regulations consistent with the R-4 District (8.7 du/acre for single-family development, 17.4 du/acre for duplex development, and 34.9 du/acre for any other residential development type).

Automobile Connectivity:

- Limit number of dead-end streets and cul-de-sacs.
- Limit curb cuts on arterial streets, and where possible concentrate access at shared entrance points.
- Development fronting arterials should take access from intersecting streets where possible.
- Provide vehicular connectivity between adjacent developments.
- Subdivisions with more than 50 units should have at least two points of entrance / egress no closer than 300 feet apart.

The subject site currently has two access points along NW 10th Street. The PUD Master Design Statement calls for at least two access points but does not specify if another access would be utilized. The site plan for the development consists of the previously approved plat, which consists of the two existing drives. The interior streets for the development are entirely private.

Pedestrian Connectivity:

- Provide sidewalk connections to adjacent development.

Sidewalks are currently available along NW 10th Street but not along the private streets/drives within the development. Existing sidewalks will remain.

- 2) Compatibility:** The comprehensive plan includes a land use compatibility matrix used to identify potential conflicts between major land use categories. In this case, the site is currently developed with a manufactured/mobile home community. The

PUD is seeking to allow new HUD products within the existing development. No new compatibility issues were identified.

3) Service Efficiency:

- Water: *Served*
- Sewer: *Fully Served*
- Fire Service: *Urban, Rural & Longer than Rural Service Times*

4) Environmentally Sensitive Areas: The following apply to the proposed development site:

- **Riparian Areas:** Riparian areas are vegetated areas adjacent to streams, lakes, ponds, and wetlands that are composed of a mixture of trees, shrubs, and grasses. These areas may also contain floodplain. The comprehensive plan recommends a 100-foot buffer from stream banks. *Riparian area is present on the subject site where the northern boundary abuts a stream surrounding Lake Overholser. Floodplain is not present. The subject site was previously platted and has been developed along portions of the northern boundary. If the site were to be redeveloped, plan conformance would be strengthened by maintaining stream bank buffers in a natural or enhanced state, and keeping all structures and impervious paving at least 100 feet from the stream bank.*
- **Upland Forests:** N/A
- **Vulnerable Aquifers:** The aquifer in this area is considered highly vulnerable to depletion. The comprehensive plan recommends preserving natural open spaces and utilizing low impact development techniques whenever possible in new developments in order to maintain water quality and allow for the infiltration of stormwater onsite. Low impact development techniques include, but are not limited to, using pervious surface materials wherever possible for the construction of driveways, parking areas, sidewalks, patios, etc., in order to promote increased water percolation and infiltration, and use of bioswales and rain gardens to capture stormwater and allow it to slowly infiltrate instead of running off.

5) Transportation System: This site is located along the north side of NW 10th Street, a Major Arterial Street in the Urban Low LUTA. The nearest transit (bus) service is located within a mile and a half to the east, along NW 10th Street. Access to the City trail system is available north and east of the site along the Lake Overholser Trail.

6) Other Development Related Policies

- Support diversity and integration of housing unit types and sizes in all land use typology areas in order to meet the diverse needs of households of different sizes, generational needs, incomes, and preferences. New residential subdivisions should achieve a mixture of housing types within a unified development. (SU-4)
- Require sidewalks on both sides of all streets in urban LUTAs. (C-7)

- Improve the functionality and efficiency of the street network by:
 - Providing direct connections from residential developments to nearby places and to each other.
 - Providing street and sidewalk stubs to adjacent vacant land in anticipation of future development.
 - Connecting new development to existing street and sidewalk stubs, and to existing trail, open space, and bicycle networks.
 - Reducing block sizes and use of dead-end streets.
 - Maintaining the existing street grid to preserve connectivity and mobility options. (C-11)
- Limit driveways on arterials and collectors and increase connections between uses to improve safety and traffic efficiency. (C-30)
- Preserve mature, healthy trees and incorporate them into the design of new development or redevelopment projects to the greatest extent possible. (G-26)
- Encourage unified planning for all adjoining land owned or controlled by a project's developer to ensure proper circulation and land use relationships (SU-47)

b. Plan Conformance Considerations

The subject site is located along the north side of NW 10th Street, in an area generally located south of Lake Overholser and east of North Morgan Road. The site is zoned PUD-20A and PUD-20B and developed with a manufactured home residential development. The subject site is separated from South Overholser Drive by a small stream. North of South Overholser Drive is Lake Overholser. The eastern portion of PUD-20A abuts the site to the east and is developed with manufactured home residential development. Land across NW 10th Street, to the south is zoned I-2 and AA and developed with industrial development. PUD-20C abuts the subject site on the west and is developed with manufactured home residential development.

The current zoning code defines Manufactured (Mobile) Home Residential as a single-family dwelling unit. The PUD is requested to accommodate a new, recently approved two-family (duplex) manufactured home HUD housing product. The existing site is platted. No changes to lot sizes or setbacks are contemplated or needed to allow lots to be converted to duplex homes. The PUD also adds multi-family residential as an allowed use in the event the site is ever redeveloped. No new compatibility issues were identified with the proposal. The new housing contemplated is shown in Exhibit D.

IV. STAFF RECOMMENDATION

Staff recommendations are advisory only and do not constitute Planning Commission decisions. Staff recommendations are based on a technical evaluation of information submitted at the time of review. Determination of conformance with policies contained in the comprehensive plan is the purview of the Planning Commission. Planning Commission decisions require a vote of five members to approve or deny an item. The Planning Commission

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The City of Oklahoma City
Planning Commission
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PUD-2002

Item No. IV. 12.

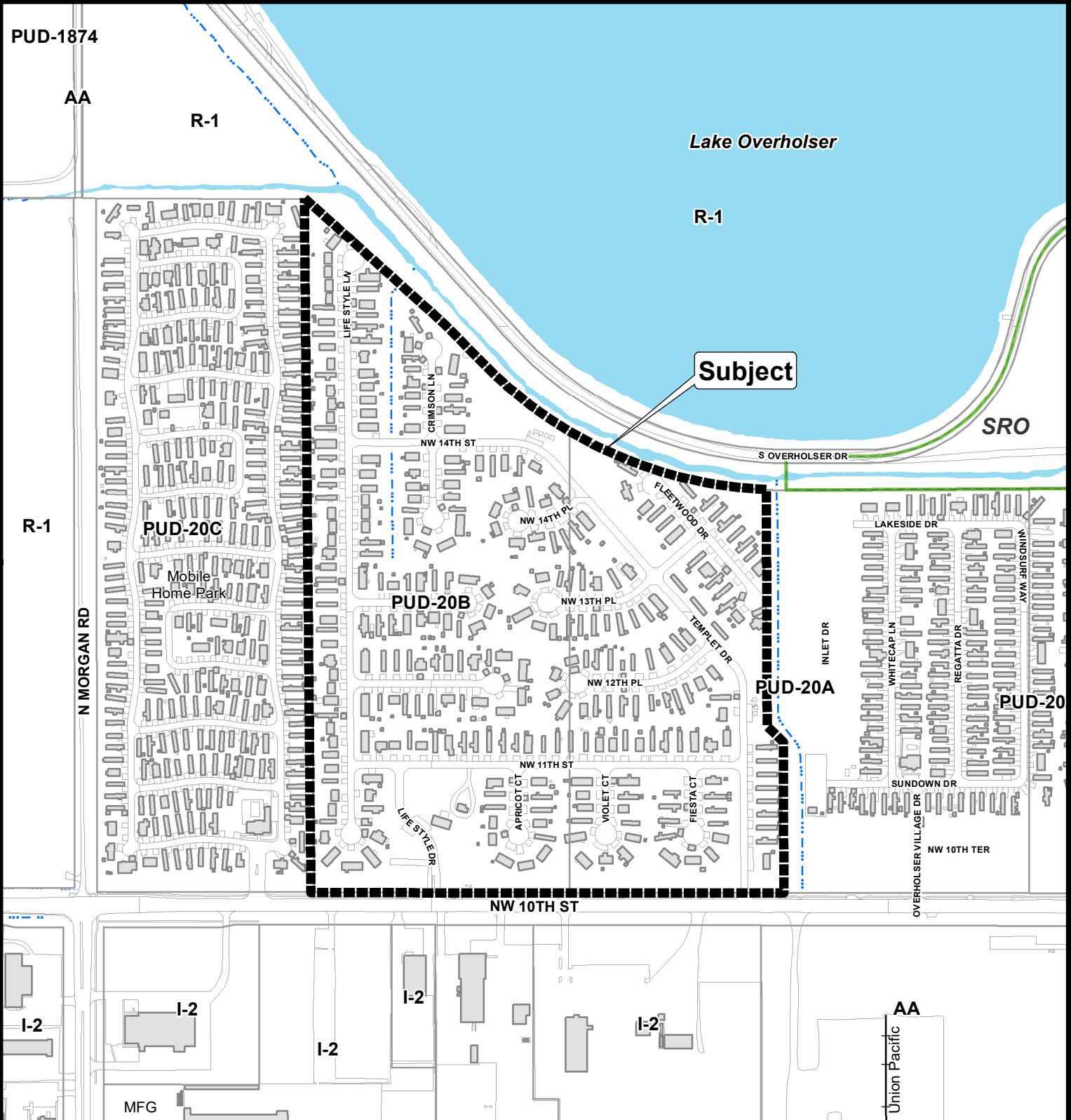
may consider in its decision-making process any additional relevant information presented at the public hearing by the public, applicant, and/or City departments.

Approval of the application.

All Engineering Division and Water/Wastewater Utilities Division requirements must be met. Additional changes to the PUD may be required during either Division's review of construction plans and prior to City Council approval.

bd

Case No: PUD-2002 Applicant: Welcome Home Communities, LLC
Existing Zoning: PUD-20A / PUD-20B
Location: 1103 Life Style Drive



The City of
OKLAHOMA CITY

Planned Unit Development



0 250 500
Feet

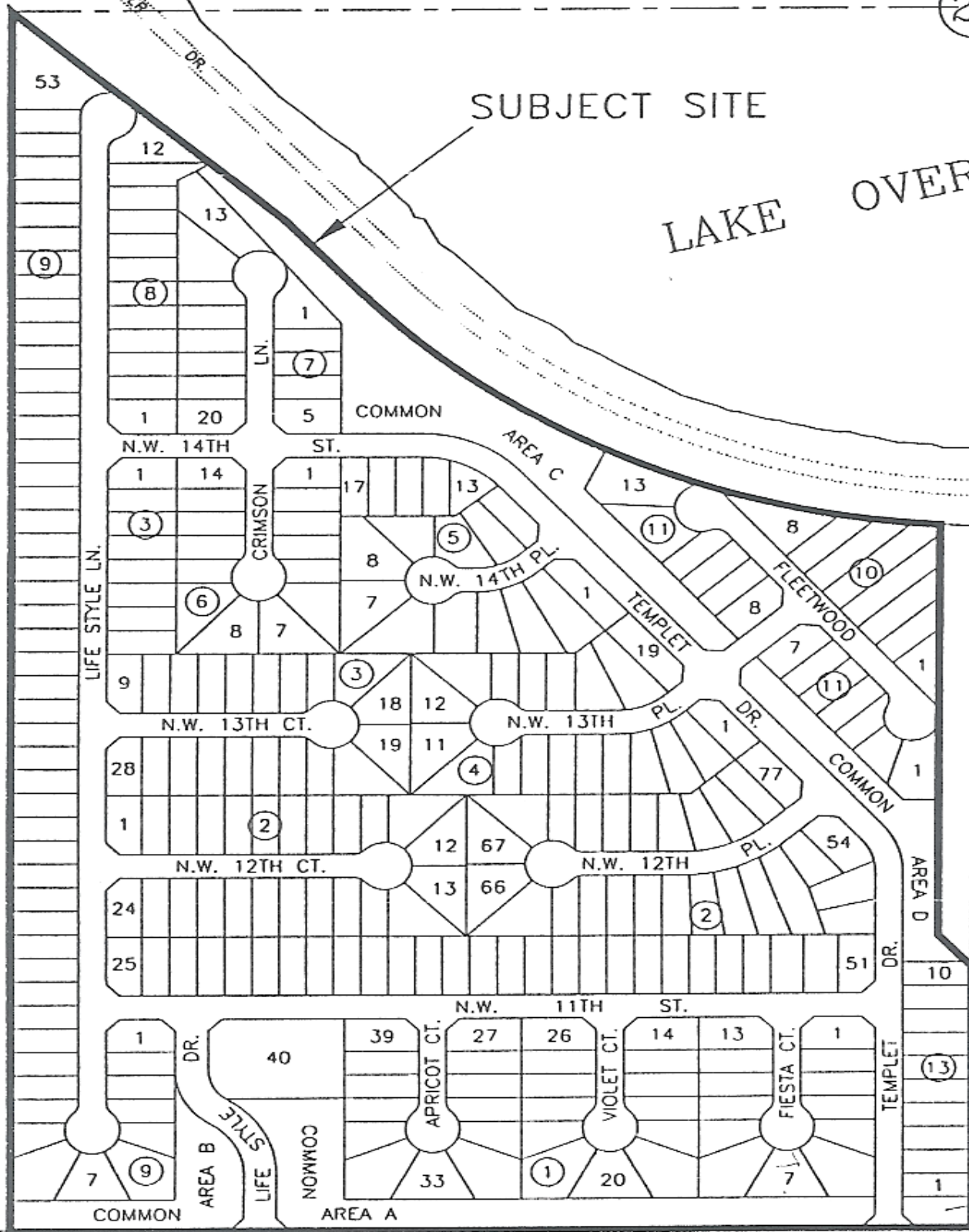
1/2 MILE TO
MORGAN RD.

PUD-2002
Exhibit B

25

SUBJECT SITE

LAKE OVERHOLSEF



TEN & MORGAN
INDUSTRIAL DISTRICT





S Overholser Rd

Fleetwood Dr

NW 13th Pl

Templet Dr

Fiesta Ct

Violet Ct

Apricot Ct

Life Style Dr

Templet Dr

NW 14th Pl

NW 12th Pl

NW 11th St

NW 14th St

Crimson Ln

NW 13th Pl NW 13th Pl

NW 12th Pl

NW 11th St

NW 14th St

Life Style Ln

Life Style Ln

N Morgan Rd



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PUD-2002 Exhibit D



PUD-2002 Exhibit D





THE ROANOKE



2 Bed	1 Bath	1050 Sq Ft
2 Bed	1 Bath	1050 Sq Ft

[Click here](#) to see The Anthem Duplex photos

THE SUGAR RUN



2 Bed	1 Bath	1050 Sq Ft
3 Bed	2 Bath	1050 Sq Ft

[Click here](#) to see The Anthem Duplex photos

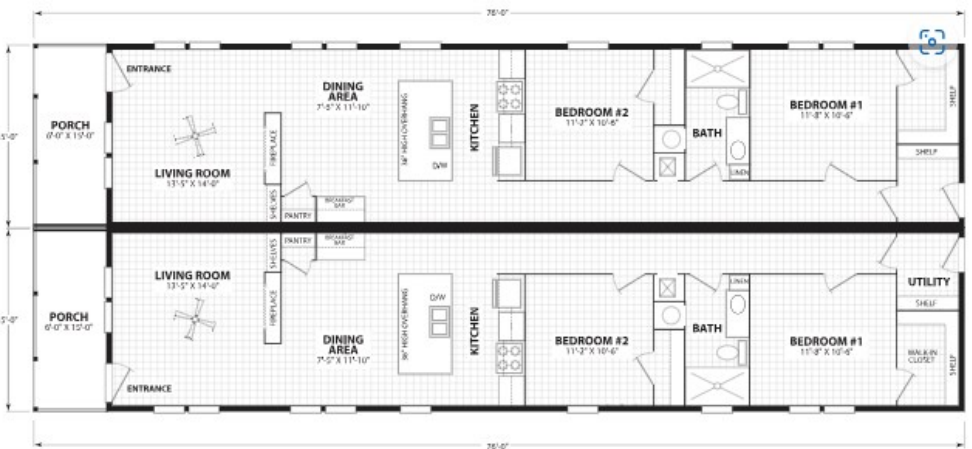


THE CUMBERLAND



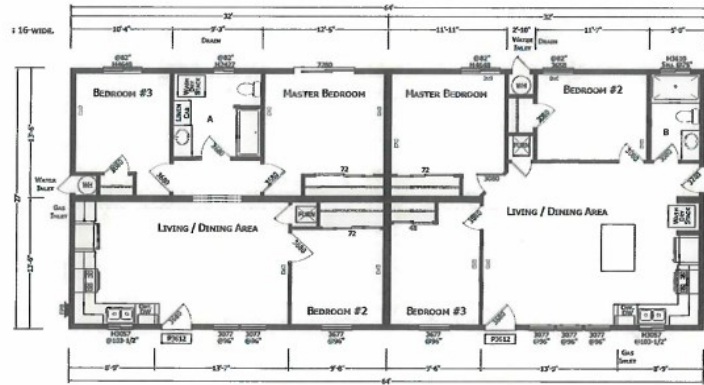
2 Bed	1 Bath	1050 Sq Ft
2 Bed	1 Bath	1050 Sq Ft

[Click here](#) to see The Anthem Duplex photos



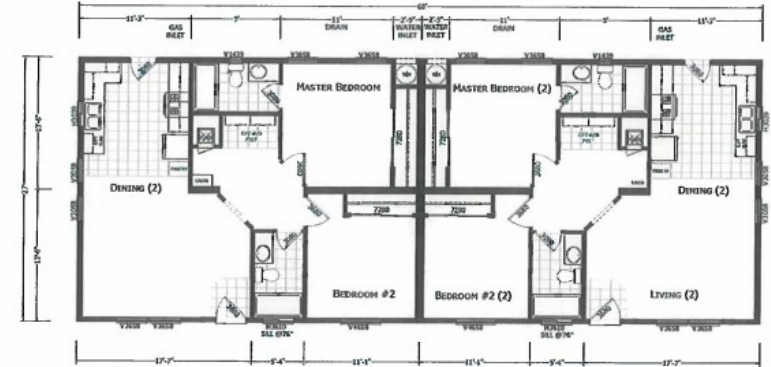
DEL MAR DUPLEX

Three Bed | Two Bath | 1,728 SQ. FT.



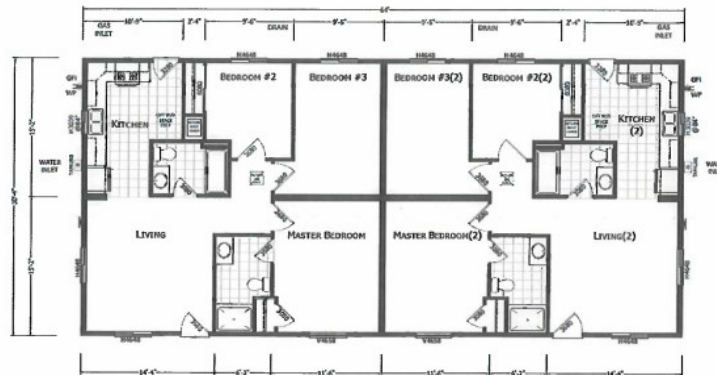
SANTA BARBARA DUPLEX

Two Bed | Two Bath | 1,836 SQ. FT.



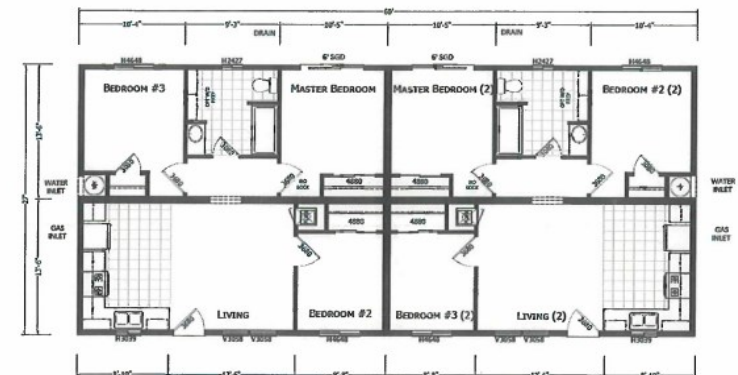
MONTEREY DUPLEX

Three Bed | Two Bath | 1,940 SQ. FT.



SOLANA DUPLEX

Three Bed | One Bath | 1,620 SQ. FT.



Case No: PUD-2002 Applicant: Welcome Home Communities, LLC
Existing Zoning: PUD-20A / PUD-20B
Location: 1103 Life Style Drive



Aerial Photo from 2/2022



The City of
OKLAHOMA CITY

Planned Unit Development

