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Bk&Pg:RB 5893 619-628

Filed:08-29-2024 DAR

10:53:22 AM EA

Canadian County, OK 10E

Ret to:

The City of Oklahoma City  
Office of City Clerk  
200 North Walker Ave.  
Oklahoma City, Oklahoma 73102  
(Water/Wastewater) Project No. WA-2023-00086 & SD-2023-00104

E# 361547

**RECORDER'S MEMORANDUM**  
*At the time of recordation, this instrument was found to be inadequate for the best photographic reproduction because of illegibility, carbon or photo copy, discolored paper, etc.*

PERMANENT EASEMENT

KNOW ALL MEN BY THESE PRESENTS THAT OKC L DEV., LLC, an Oklahoma limited liability company its successors, and assigns (collectively "Grantor") for and in consideration of Ten Dollars and other good and valuable consideration, receipt of which is hereby acknowledged, does hereby grant and convey unto the CITY OF OKLAHOMA CITY, a municipal corporation, and its public trusts (collectively "Grantees") this Permanent Easement over, under, across, through and to the following described property situated in CANADIAN County, Oklahoma, shown on Attachment "A", Attachment "B", Attachment "C", Attachment "D", Attachment "E", Attachment "F", Attachment "G", Attachment "H", and Attachment "I" ("Subject Property") for the use of the Grantees for the purpose of constructing, operating, maintaining, repairing, expanding, and replacing water and wastewater systems and associated facilities, connections, utilities, and appurtenances thereto (collectively "Utility Systems") and including the right of ingress and egress through Grantor's property to and from the Subject Property and all right, title and interest in and to any soil, earthen material, fixture, and appurtenances within the boundaries of the Subject Property, incidentally removed during the use of this Permanent Easement.

THIS EASEMENT IS MADE SUBJECT TO THE FOLLOWING:

1. Grantor agrees that no building or other similar structure shall be erected on, over or under the Subject Property.
2. Grantor may construct driveways and parking areas on the Subject Property.
3. Grantor agrees that Grantees will not maintain, repair or replace Grantor's improvements, including but not limited to fencing, landscaping, sprinklers, pools, sheds, mailboxes, driveways and parking areas whenever it becomes necessary to move or remove improvements, due to any operation, maintenance, replacement, expansion, or repair of the Utility Systems.
4. This Permanent Easement does not create an obligation upon the Grantees to construct the Utility Systems, or provide services or functions. Once the Utility System is constructed the Grantees agree to operate, maintain, replace, expand, or repair the Utility System in accordance with Grantees' standards and policies.
5. The Grantees do not own the creek, river, lake, detention pond, drainage canal, if any, on or adjacent to the Subject Property and are not legally responsible nor does this Permanent Easement create an obligation upon the Grantees for changes, alterations and modifications to any part or parts of the Subject Property described herein, in the past, present or future, which may be affected in any manner by any change or changes in the course of the creek or waterway, by any accretion or erosion, or evulsion, or alluvion or combination thereof, touching or concerning any part of said Subject Property.

This Permanent Easement shall be perpetual and exclusive to Grantees and shall run in favor of the respective parties, hereto, their successors and assigns.

OKC L DEV., LLC

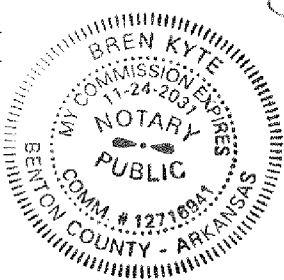
Dated this 2nd day of July, 2024.

By: [Signature]  
Scott Peters, Manager

STATE OF ARKANSAS, COUNTY OF WASHINGTON, SS.

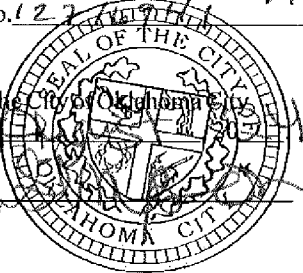
This instrument was acknowledged before me on 2nd day of July, 2024 by Scott Peters as this **Manager** of OKC L DEV., LLC.

My Commission Expires: 11-24-2031  
My Commission No. 127169A1



[Signature]  
Notary Public

ACCEPTED by The City of Oklahoma City  
this 2nd day of July, 2024  
[Signature]  
City Clerk



REVIEWED for form and legality  
[Signature]  
Assistant Municipal Counselor

10/36

**RECORDER'S MEMORANDUM**

*At the time of recordation, this instrument was found to be inadequate for the best photographic reproduction because of illegibility, carbon or photo copy, discolored paper, etc.*

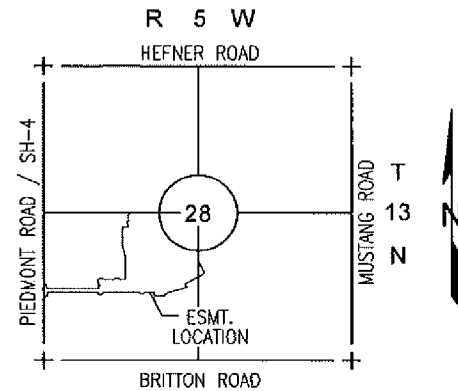
**LEGAL DESCRIPTION**

A tract of land located in the Southwest Quarter (SW/4) of Section Twenty-Eight (28), Township Thirteen (13) North, Range Five (5) West of the Indian Meridian, Canadian County, Oklahoma, being more particularly described as follows:

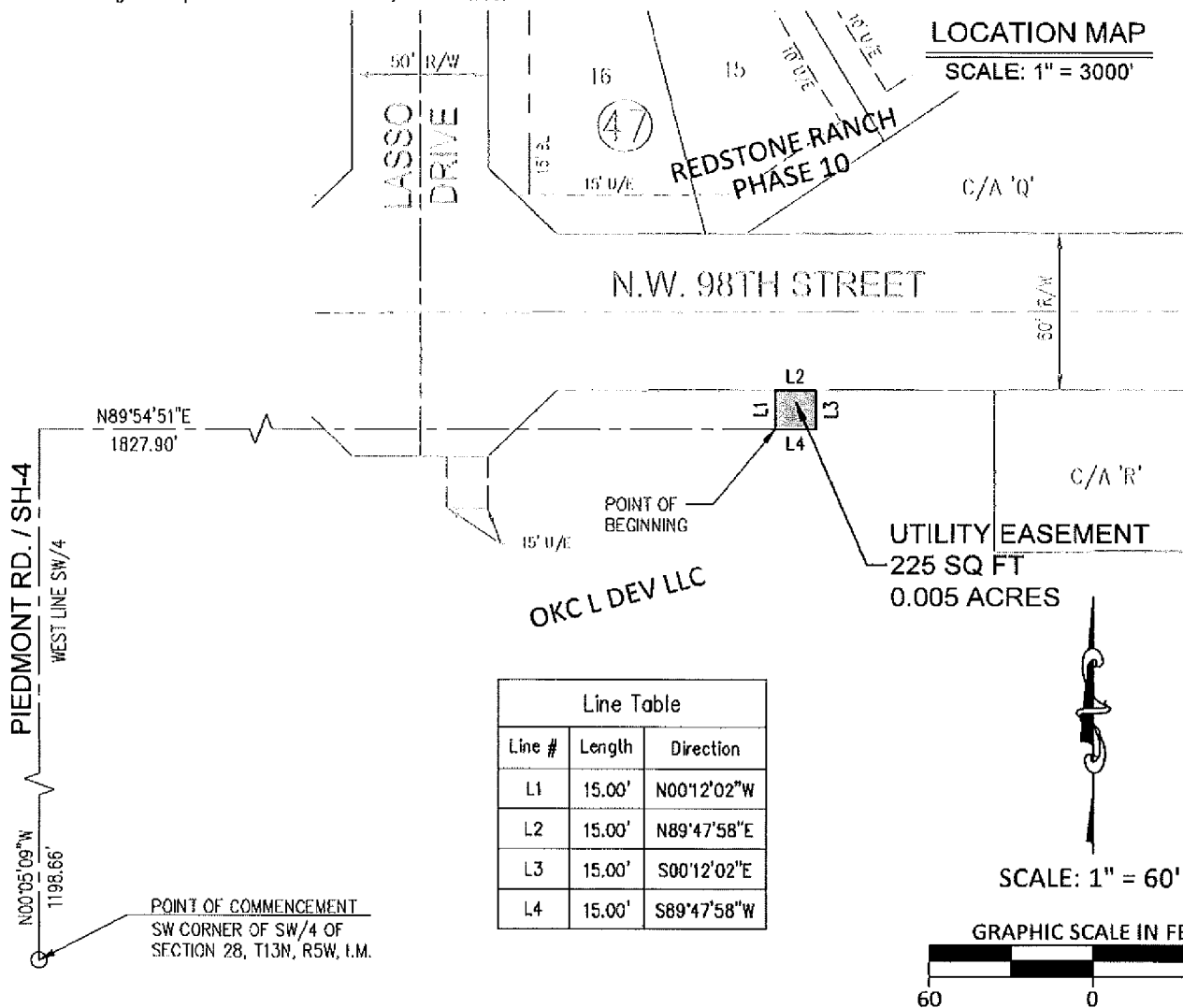
Commencing at the Southwest corner of said SW/4; Thence N00°05'09"W along the West line of said SW/4 a distance of 1198.66 feet; Thence N89°54'51"E a distance of 1827.90 feet to the Point of Beginning;

Thence N00°12'02"W a distance of 15.00 feet; Thence N89°47'58"E a distance of 15.00 feet; Thence S00°12'02"E a distance of 15.00 feet; Thence S89°47'58"W a distance of 15.00 feet to the Point of Beginning.

Containing 225 Square Feet or 0.005 Acres, more or less.

**LOCATION MAP**

SCALE: 1" = 3000'



**LTS** | **ENGINEERING SERVICES, LLC**  
PO Box 31685, Edmond, OK 73003

CERTIFICATE OF AUTHORIZATION:  
CA 6710 EXPIRES 06/30/2025

## UTILITY EASEMENT - ATTACHMENT A

SHEET NO.: 1 OF 1

DATE: 03/06/2024

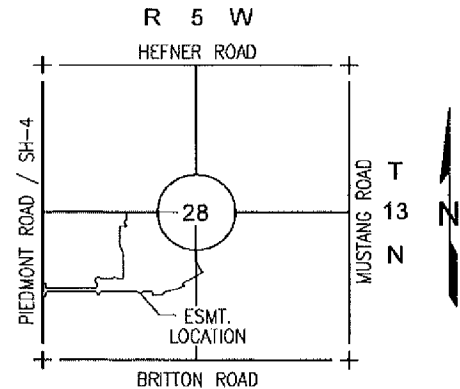
## LEGAL DESCRIPTION

A tract of land located in the Southwest Quarter (SW/4) of Section Twenty-Eight (28), Township Thirteen (13) North, Range Five (5) West of the Indian Meridian, Canadian County, Oklahoma, being more particularly described as follows:

Commencing at the Southwest corner of said SW/4; Thence N00°05'09"W along the West line of said SW/4 a distance of 1168.42 feet; Thence N89°54'51"E a distance of 1707.46 feet to the Point of Beginning;

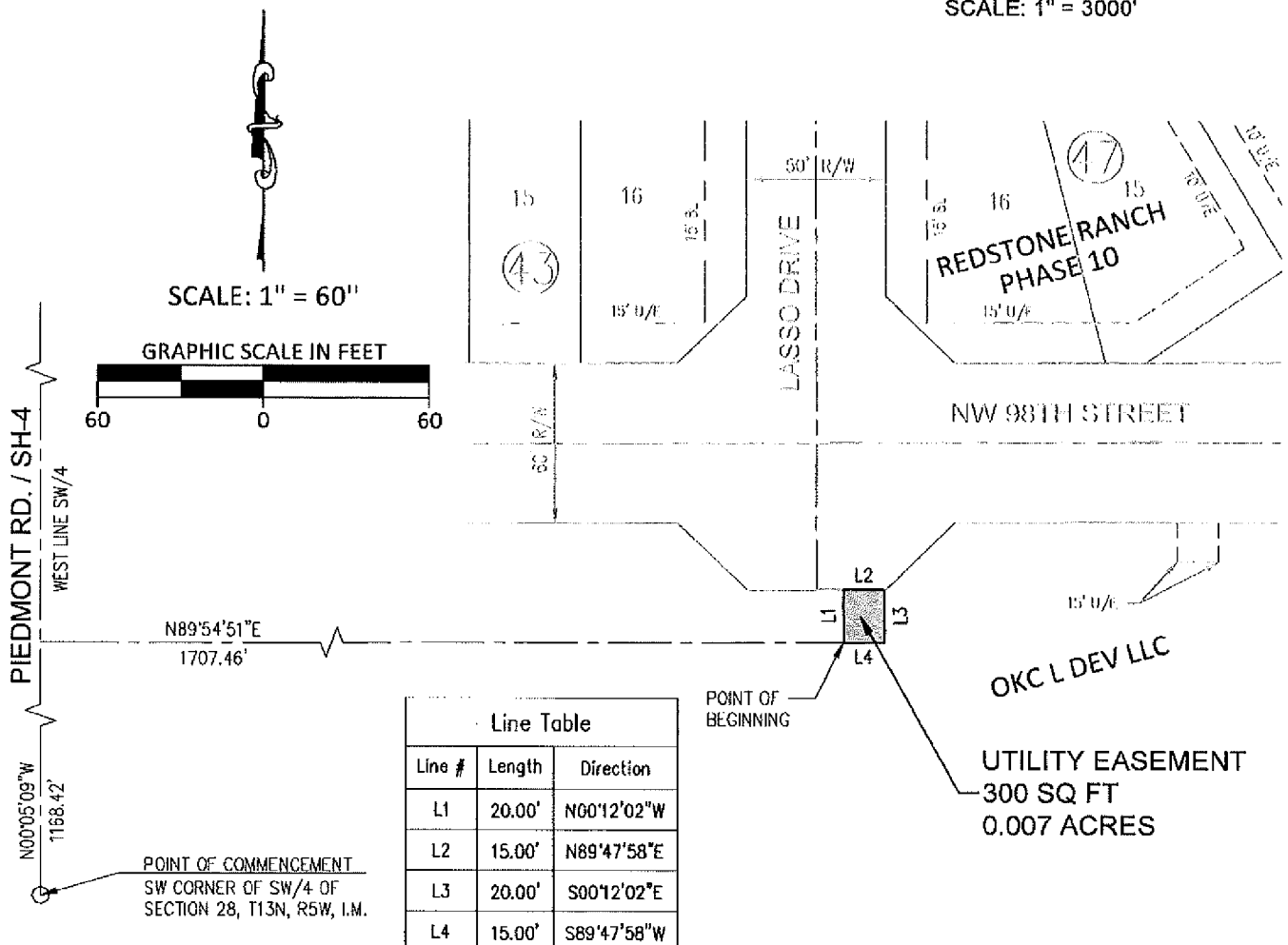
Thence N00°12'02"W a distance of 20.00 feet; Thence N89°47'58"E a distance of 15.00 feet; Thence S00°12'02"E a distance of 20.00 feet; Thence S89°47'58"W a distance of 15.00 feet to the Point of Beginning.

Containing 300 Square Feet or 0.007 Acres, more or less.



## LOCATION MAP

SCALE: 1" = 3000'



**LTS ENGINEERING SERVICES, LLC**  
PO Box 31685, Edmond, OK 73003

## UTILITY EASEMENT - ATTACHMENT B

CERTIFICATE OF AUTHORIZATION:  
CA 6710 EXPIRES 06/30/2025

SHEET NO.: 1 OF 1

DATE: 03/06/2024

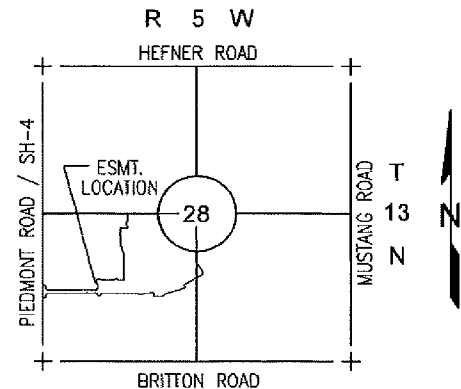
## LEGAL DESCRIPTION

A tract of land located in the Southwest Quarter (SW/4) of Section Twenty-Eight (28), Township Thirteen (13) North, Range Five (5) West of the Indian Meridian, Canadian County, Oklahoma, being more particularly described as follows:

Commencing at the Southwest corner of said SW/4; Thence N00°05'09"W along the West line of said SW/4 a distance of 1392.30 feet; Thence N89°54'51"E a distance of 897.22 feet to the Point of Beginning;

Thence N00°12'02"W a distance of 15.00 feet; Thence N89°47'58"E a distance of 25.00 feet; Thence S00°12'02"E a distance of 15.00 feet; Thence S89°47'58"W a distance of 25.00 feet to the Point of Beginning.

Containing 375 Square Feet or 0.009 Acres, more or less.



## LOCATION MAP

SCALE: 1" = 3000'

SCALE: 1" = 60"

GRAPHIC SCALE IN FEET

60 0 60

UTILITY EASEMENT  
375 SQ FT  
0.009 ACRES

20' D/I

15' D/I

NW 99TH STREET

30' R/W

N89°54'51"E  
897.22'

Line Table		
Line #	Length	Direction
L1	15.00'	N00°12'02"W
L2	25.00'	N89°47'58"E
L3	15.00'	S00°12'02"E
L4	25.00'	S89°47'58"W

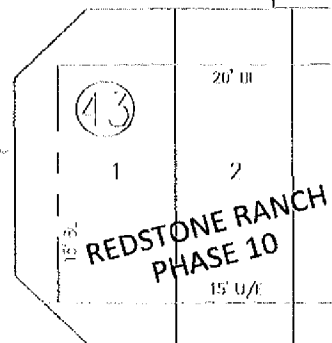
POINT OF BEGINNING

OKC L DEV LLC

15' D/I

MARSHALL LANE

50' R/W



NW 98TH STREET

20' R/W

POINT OF COMMENCEMENT  
SW CORNER OF SW/4 OF  
SECTION 28, T13N, R5W, I.M.

PIEDMONT RD. / SH-4  
WEST LINE SW/4  
N00°05'09"W  
1392.30'

**LTS** | ENGINEERING  
SERVICES, LLC

PO Box 31685, Edmond, OK 73003

## UTILITY EASEMENT - ATTACHMENT C

CERTIFICATE OF AUTHORIZATION:  
CA 6710 EXPIRES 06/30/2025

SHEET NO.: 1 OF 1

DATE: 03/06/2024

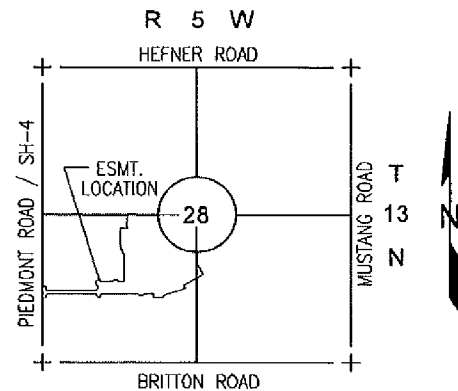
## LEGAL DESCRIPTION

A tract of land located in the Southwest Quarter (SW/4) of Section Twenty-Eight (28), Township Thirteen (13) North, Range Five (5) West of the Indian Meridian, Canadian County, Oklahoma, being more particularly described as follows:

Commencing at the Southwest corner of said SW/4; Thence N00°05'09"W along the West line of said SW/4 a distance of 1466.97 feet; Thence N89°54'51"E a distance of 981.57 feet to the Point of Beginning;

Thence N00°12'02"W a distance of 20.00 feet; Thence N89°47'58"E a distance of 15.00 feet; Thence S00°12'02"E a distance of 20.00 feet; Thence S89°47'58"W a distance of 15.00 feet to the Point of Beginning.

Containing 300 Square Feet or 0.007 Acres, more or less.



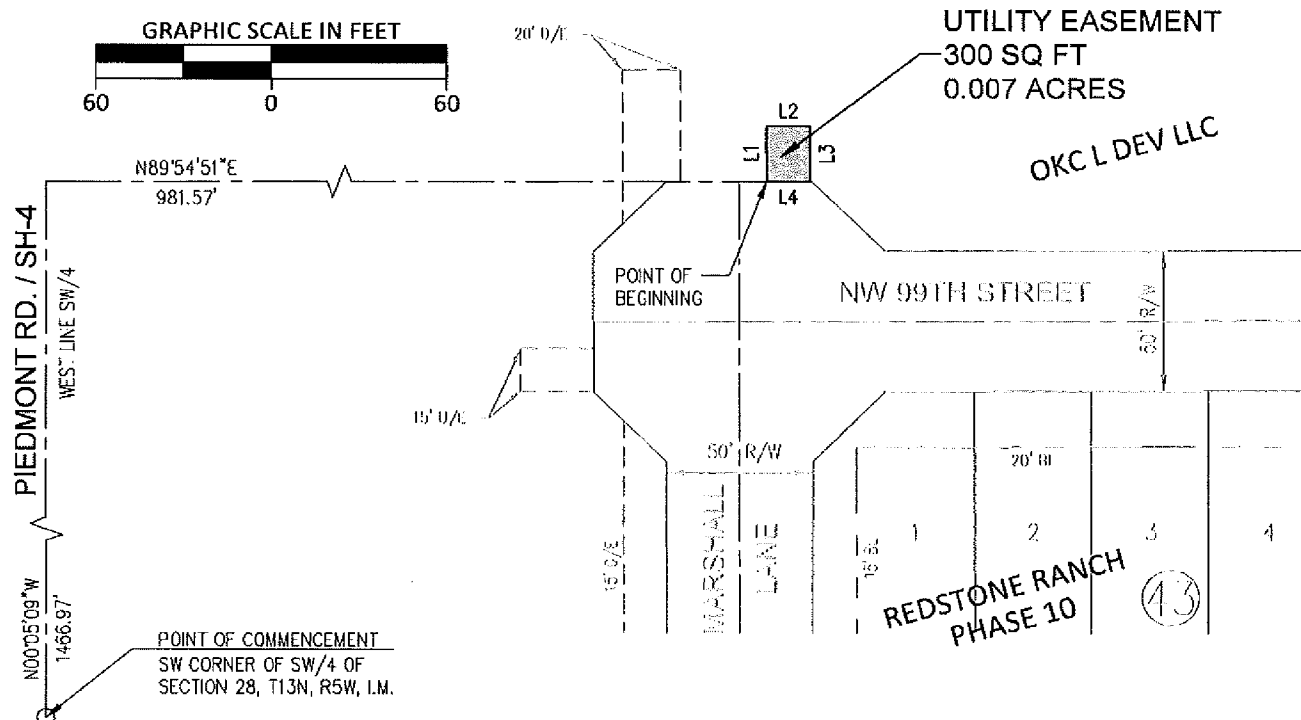
**LOCATION MAP**

SCALE: 1" = 3000'

SCALE: 1" = 60"



Line Table		
Line #	Length	Direction
L1	20.00'	N00°12'02"W
L2	15.00'	N89°47'58"E
L3	20.00'	S00°12'02"E
L4	15.00'	S89°47'58"W



**LTS** | **ENGINEERING SERVICES, LLC**

PO Box 31685, Edmond, OK 73003

## UTILITY EASEMENT - ATTACHMENT D

CERTIFICATE OF AUTHORIZATION:  
CA 6710 EXPIRES 06/30/2025

SHEET NO.: 1 OF 1

DATE: 03/06/2024

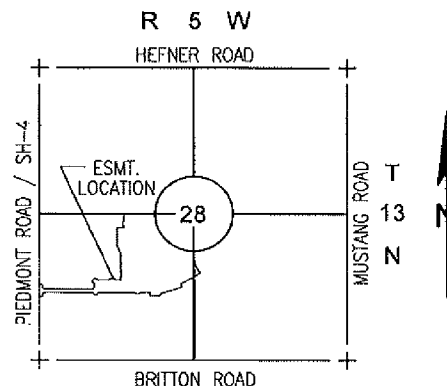
# LEGAL DESCRIPTION

A tract of land located in the Southwest Quarter (SW/4) of Section Twenty-Eight (28), Township Thirteen (13) North, Range Five (5) West of the Indian Meridian, Canadian County, Oklahoma, being more particularly described as follows:

Commencing at the Southwest corner of said SW/4; Thence N00°05'09"W along the West line of said SW/4 a distance of 1467.55 feet; Thence N89°54'51"E a distance of 1271.57 feet to the Point of Beginning;

Thence N00°12'02"W a distance of 20.00 feet; Thence N89°47'58"E a distance of 15.00 feet; Thence S00°12'02"E a distance of 20.00 feet; Thence S89°47'58"W a distance of 15.00 feet to the Point of Beginning.

Containing 300 Square Feet or 0.007 Acres, more or less.

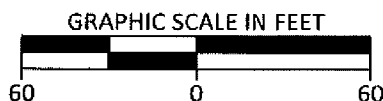


LOCATION MAP

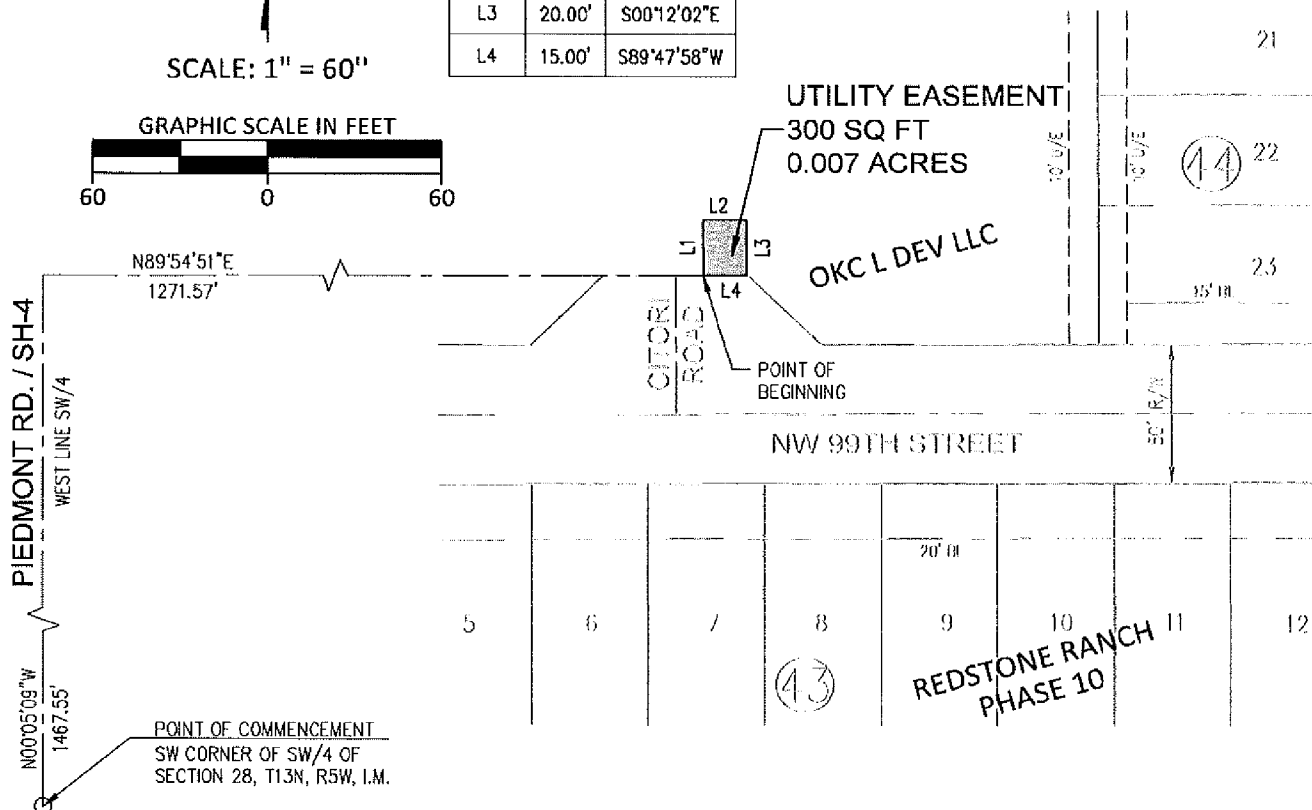
SCALE: 1" = 3000'



SCALE: 1" = 60"



Line Table		
Line #	Length	Direction
L1	20.00'	N00°12'02"W
L2	15.00'	N89°47'58"E
L3	20.00'	S00°12'02"E
L4	15.00'	S89°47'58"W



**LTS** | **ENGINEERING SERVICES, LLC**  
PO Box 31685, Edmond, OK 73003

## UTILITY EASEMENT - ATTACHMENT E

CERTIFICATE OF AUTHORIZATION:  
CA 6710 EXPIRES 06/30/2025

SHEET NO.: 1 OF 1

DATE: 03/06/2024

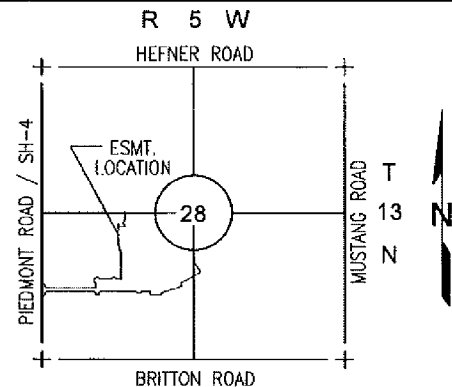
## LEGAL DESCRIPTION

A tract of land located in the Southwest Quarter (SW/4) of Section Twenty-Eight (28), Township Thirteen (13) North, Range Five (5) West of the Indian Meridian, Canadian County, Oklahoma, being more particularly described as follows:

Commencing at the Southwest corner of said SW/4;  
Thence N00°05'09"W along the West line of said SW/4 a distance of 1442.80 feet;  
Thence N89°54'51"E a distance of 1397.12 feet to the Point of Beginning;

Thence N00°12'02"W a distance of 458.37 feet;  
Thence N17°56'34"W a distance of 181.17 feet;  
Thence N00°12'02"W a distance of 369.07 feet;  
Thence N89°47'58"E a distance of 20.00 feet;  
Thence S00°12'02"E a distance of 50.00 feet;  
Thence S89°47'58"W a distance of 10.00 feet;  
Thence S00°12'02"E a distance of 317.51 feet;  
Thence S17°56'34"E a distance of 181.17 feet;  
Thence S00°12'02"E a distance of 459.93 feet;  
Thence S89°47'58"W a distance of 10.00 feet to the Point of Beginning.

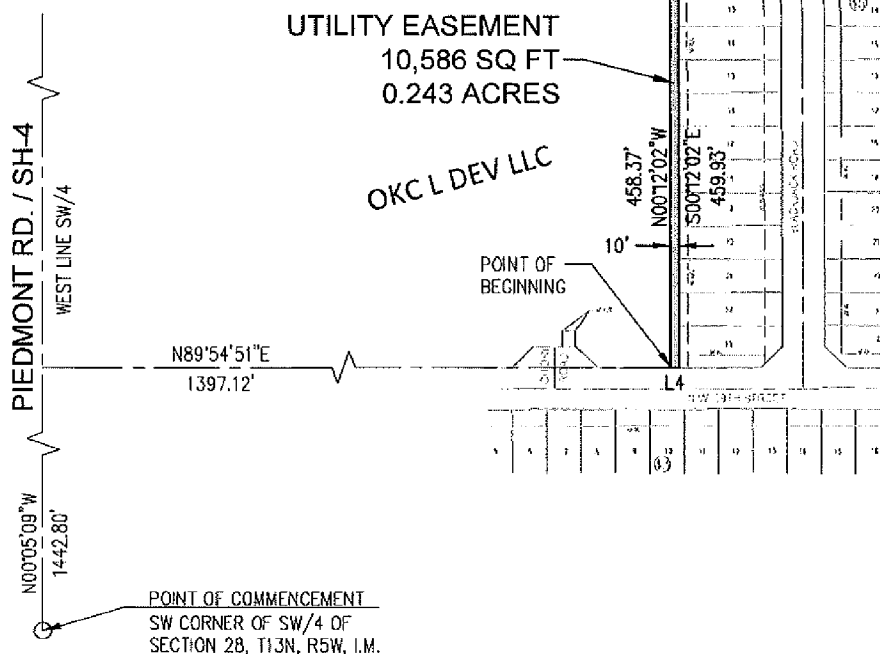
Containing 10,586 Square Feet or 0.243 Acres, more or less.



LOCATION MAP

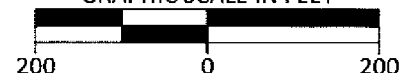
SCALE: 1" = 3000'

Line Table		
Line #	Length	Direction
L1	20.00'	N89°47'58"E
L2	50.00'	S00°12'02"E
L3	10.00'	S89°47'58"W
L4	10.00'	S89°47'58"W



SCALE: 1" = 200''

GRAPHIC SCALE IN FEET



**LTS** | **ENGINEERING SERVICES, LLC**  
PO Box 31685, Edmond, OK 73003

## UTILITY EASEMENT - ATTACHMENT F

CERTIFICATE OF AUTHORIZATION:  
CA 6710 EXPIRES 06/30/2025

SHEET NO.: 1 OF 1

DATE: 03/06/2024

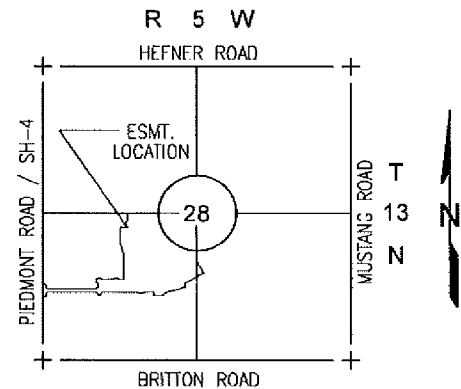
## LEGAL DESCRIPTION

A tract of land located in the Southwest Quarter (SW/4) of Section Twenty-Eight (28), Township Thirteen (13) North, Range Five (5) West of the Indian Meridian, Canadian County, Oklahoma, being more particularly described as follows:

Commencing at the Southwest corner of said SW/4; Thence N00°05'09"W along the West line of said SW/4 a distance of 2392.91 feet; Thence N89°54'51"E a distance of 1450.01 feet to the Point of Beginning;

Thence N00°12'02"W a distance of 45.00 feet; Thence S45°12'02"E a distance of 28.28 feet; Thence S00°12'02"E a distance of 25.00 feet; Thence S89°47'58"W a distance of 20.00 feet to the Point of Beginning.

Containing 700 Square Feet or 0.016 Acres, more or less.

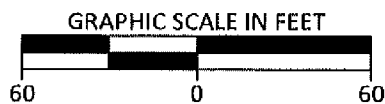


## LOCATION MAP

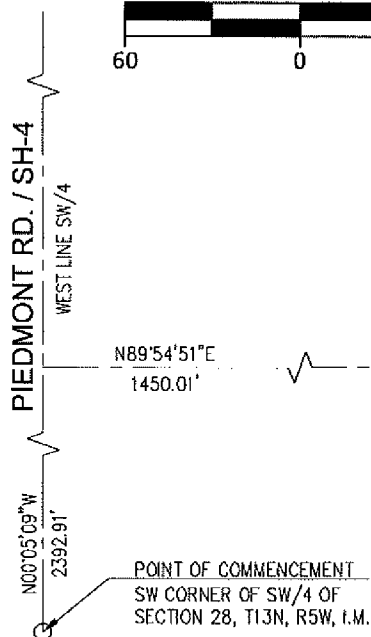
SCALE: 1" = 3000'



SCALE: 1" = 60"



Line Table		
Line #	Length	Direction
L1	45.00'	N00°12'02"W
L2	28.28'	S45°12'02"E
L3	25.00'	S00°12'02"E
L4	20.00'	S89°47'58"W



UTILITY EASEMENT  
700 SQ FT  
0.016 ACRES

OKC L DEV LLC

REDSTONE RANCH  
PHASE 10

**LTS** | ENGINEERING  
SERVICES, LLC  
PO Box 31685, Edmond, OK 73003

## UTILITY EASEMENT - ATTACHMENT G

CERTIFICATE OF AUTHORIZATION:  
CA 6710 EXPIRES 06/30/2025

SHEET NO.: 1 OF 1

DATE: 03/06/2024

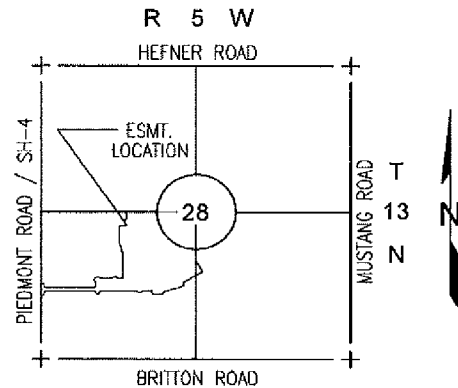
## LEGAL DESCRIPTION

A tract of land located in the Southwest Quarter (SW/4) of Section Twenty-Eight (28), Township Thirteen (13) North, Range Five (5) West of the Indian Meridian, Canadian County, Oklahoma, being more particularly described as follows:

Commencing at the Southwest corner of said SW/4; Thence N00°05'09"W along the West line of said SW/4 a distance of 2477.36 feet; Thence N89°54'51"E a distance of 1424.84 feet to the Point of Beginning;

Thence N00°12'02"W a distance of 15.00 feet; Thence N89°47'58"E a distance of 20.00 feet; Thence S00°12'02"E a distance of 15.00 feet; Thence S89°47'58"W a distance of 20.00 feet to the Point of Beginning.

Containing 300 Square Feet or 0.007 Acres, more or less.



LOCATION MAP

SCALE: 1" = 3000'

Line Table		
Line #	Length	Direction
L1	15.00'	N00°12'02"W
L2	20.00'	N89°47'58"E
L3	15.00'	S00°12'02"E
L4	20.00'	S89°47'58"W

SCALE: 1" = 60"

GRAPHIC SCALE IN FEET

60 0 60

UTILITY EASEMENT  
300 SQ FT  
0.007 ACRES

OKC L DEV LLC

POINT OF BEGINNING

POINT OF COMMENCEMENT  
SW CORNER OF SW/4 OF  
SECTION 28, T13N, R5W, I.M.

REDSTONE RANCH  
PHASE 10

NW 100TH  
STREET

BLACKJACK  
ROAD

**LTS** | **ENGINEERING  
SERVICES, LLC**  
PO Box 31685, Edmond, OK 73003

**UTILITY EASEMENT  
- ATTACHMENT H**

CERTIFICATE OF AUTHORIZATION:  
CA 6710 EXPIRES 06/30/2025

SHEET NO.: 1 OF 1

DATE: 03/06/2024

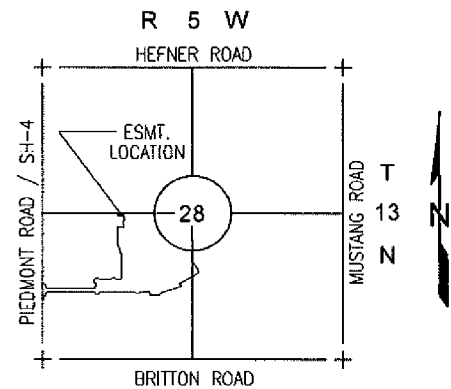
## LEGAL DESCRIPTION

A tract of land located in the Southwest Quarter (SW/4) of Section Twenty-Eight (28), Township Thirteen (13) North, Range Five (5) West of the Indian Meridian, Canadian County, Oklahoma, being more particularly described as follows:

Commencing at the Northwest corner of said SW/4; Thence N89°47'39"E along the North line of said SW/4 a distance of 1348.10 feet to the Point of Beginning;

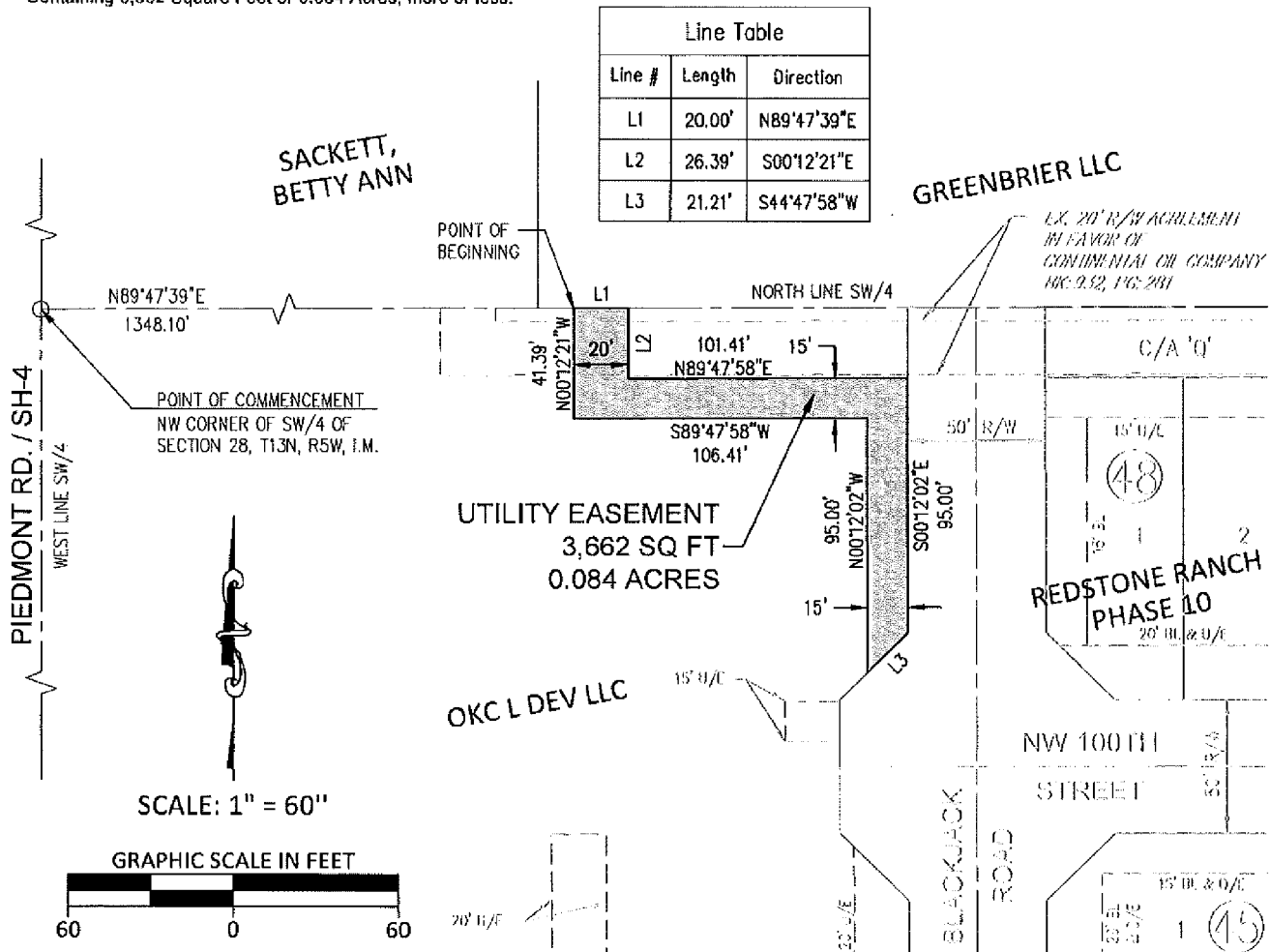
Thence continuing N89°47'39"E a distance of 20.00 feet;  
 Thence S00°12'21"E a distance of 26.39 feet;  
 Thence N89°47'58"E a distance of 101.41 feet;  
 Thence S00°12'02"E a distance of 95.00 feet;  
 Thence S44°47'58"W a distance of 21.21 feet;  
 Thence N00°12'02"W a distance of 95.00 feet;  
 Thence S89°47'58"W a distance of 106.41 feet;  
 Thence N00°12'21"W a distance of 41.39 feet to the Point of Beginning.

Containing 3,662 Square Feet or 0.084 Acres, more or less.



LOCATION MAP

SCALE: 1" = 3000'



**LTS** | ENGINEERING  
 SERVICES, LLC  
 PO Box 31685, Edmond, OK 73003

# UTILITY EASEMENT - ATTACHMENT I

CERTIFICATE OF AUTHORIZATION:  
 CA 6710 EXPIRES 06/30/2025

SHEET NO.: 1 OF 1

DATE: 04/03/2024