

Planning Commission Minutes
June 22, 2023

(The agenda was filed with the City Clerk of The City of Oklahoma City at 7:36 a.m. on June 20, 2023)

6. (SP-573) Application by WMK, LLC (Mobilityworks), on behalf of Naomi's Properties, LLC, for a Special Permit to operate an Automotive and Equipment: Automobile Dealerships and Malls use (8300.18) in the C-3 Community Commercial District, located at 9701 Northwest Expressway. Ward 1.

The applicant was present. There were no protestors present.

RECOMMENDED APPROVAL.

MOVED BY CLAIR, SECONDED BY PRIVETT

AYES: CLAIR, POWERS, PRIVETT, GOVIN, PENNINGTON, LAFORGE, NOBLE, NEWMAN



STAFF REPORT
The City of Oklahoma City
Planning Commission
June 22, 2023

Item No. IV. 6.

(SP-573) Application by WMK, LLC (Mobilityworks), on behalf of Naomi's Properties, LLC, for a Special Permit to operate an Automotive and Equipment: Automobile Dealerships and Malls use (8300.18) in the C-3 Community Commercial District, located at 9701 Northwest Expressway. Ward 1.

I. GENERAL INFORMATION

A. Contacts

Applicant/Applicant's Representative
Annmarie Buckingham, Mobilityworks
(234) 200-1379
annmarie.buckingham@mobilityworks.com

B. Case History

This is a new application.

C. Reason for Request

The purpose for this request is to allow an Automotive Dealership.

D. Existing Conditions

1. Comprehensive Plan Land Use Typology Area: Urban - Low Intensity (UL)

UL applies to the least intensively developed areas of the city that still receive urban water, sewer, police, park and fire services. Development in this area should provide horizontal integration of land uses, connectivity within and between individual developments, and design that facilitates pedestrian and bicycle transportation.

2. Size of Site: 6.59 acres

3. Zoning and Land Use

	Subject Site	North	East	South	West
Zoning	C-3	ROW/AA	C-3	ROW/C-3/R-1	PUD-1802
Land Use	Retail	Agricultural	Construction Sales	NW Expressway	Undeveloped

II. SPECIAL PERMIT GENERAL STANDARDS

All special permit uses shall satisfy the following general standards:

- 1) The proposed use shall conform to the policies of the adopted Comprehensive Plan.
- 2) The proposed use shall not adversely affect the use of the neighboring properties.
- 3) Pedestrian and vehicle traffic generated will not be hazardous or in conflict with the existing and anticipated traffic in the neighborhood.
- 4) Adequate utility, drainage, parking, loading, signs, access, and other necessary public facilities to serve the proposed use shall meet the adopted codes of the City.
- 5) The site shall front or have direct access to a street having adequate right-of-way and improvements to support the traffic generated by the proposed use.
- 6) The City Council may impose specific conditions regarding location, design, and operation to assure safety, to prevent a nuisance, and to control the noxious effects of excessive sound, light, odor, dust, or similar conditions. Such conditions may include:
 - a. A requirement that all machinery and facilities be located within an enclosed building; or
 - b. A requirement that certain areas be screened from view of surrounding neighborhoods; or
 - c. A limitation on intensity of lights or hours of operation; or
 - d. Similar measures designed to protect the public interest.

III. ADDITIONAL STANDARDS FOR AUTOMOBILE DEALERSHIPS AND MALLS WITHIN THE C-3 DISTRICT (59-9350.15)

- A. The site shall be located, and have frontage, on an interstate highway, expressway or major arterial street. A site shall not be allowed on a major arterial street with less than 300 feet of public right-of-way if a residential zoning district exists directly across the major arterial street from any portion of the site.

The subject site is located on an expressway.

- B. The traffic generated by such facility shall be safely accommodated along major streets without traversing local minor streets. Vehicular access shall not be permitted between the facility and abutting minor streets with less than 51 feet of public right-of-way.

Access to the site is from Northwest Expressway.

- C. The facility shall be fenced, screened and landscaped as required by this chapter. Establishments with outdoor sales and display may cluster landscaping in order to optimize the view of the automobiles for sale.
- D. As a condition of the granting of a special permit, the City Council may impose such additional requirements, as it deems necessary in the public interest.
- E. The area of Automotive and Equipment: Automobile Dealerships and Malls devoted to incidental uses shall not exceed 40 percent of the area devoted to primary uses. Primary uses shall include inside and outside display and showrooms, while incidental uses shall include automotive painting, body and frame repair, and major repair of motors, transmissions and differentials.

IV. REVIEW COMMENTS

This application was submitted to the following agencies, departments, and/or divisions for review and comment. An asterisk indicates that the agency, department, and/or division responded with no adverse comments.

A. Outside Agencies

- 1. Oklahoma City-County Health Department (OCCHD)**
- 2. Oklahoma City Urban Renewal Authority (OCURA)**
- 3. Oklahoma Gas and Electric (OGE)**
- 4. Oklahoma Water Resources Board (OWRB)**
- 5. School District: Piedmont**
- 6. Oklahoma Department of Transportation (ODOT)**

B. City Departments

- 2. Airports**
- 3. Central Oklahoma Transportation and Parking Authority (COTPA)**
- 4. Fire**
- 5. Information Technology/Geographic Support**
- 6. Parks and Recreation**
- 7. Police**
- 8. Public Works**

a. Engineering

The Public Works Drainage Division staff has reviewed the subject application. All development, new construction, and/or substantial improvements planned within the proposed area shall be subject to chapter 16 of the Oklahoma City Municipal Code.

b. Streets, Traffic and Drainage Maintenance

c. Stormwater Quality Management

d. Traffic Management*

9. Utilities

a. Wastewater Comments

1. An existing 8” wastewater main(s) is located adjacent to the subject site(s).
2. Line capacity is not guaranteed and must be checked by the Engineer of Record and reviewed by the City.
3. The developer will be required to extend the City wastewater collection system to and across each lot or site within the subdivision in accordance with the City Standard Specifications and Private Development Design Manual.
4. Minimum ten (10) feet horizontal separation is required from water mains and five (5) feet for other utilities. Minimum two (2) feet vertical separation required for all crossings. All wastewater mains must have a

minimum cover of four (4) feet and depth no greater than eighteen (18) feet. Developer is responsible for remediating any failure to maintain the minimum four (4) feet of cover.

5. Wastewater main(s) must be centrally located in a twenty (20) feet wide easement or larger if necessary. No trees, signs, dumpster, fence, and/or structures shall be permitted over any proposed or existing utility main. An approved revocable permit must be obtained to have any private improvement located within any utility easement and/or right-of-way.
6. All existing unused private wastewater service connections must be abandoned and capped at the main in accordance with City Standard Specifications and Private Development Design Manual.

b. Water Comments

1. An existing 16" water main(s) is located adjacent to the subject site(s).
2. Minimum ten (10) feet horizontal separation required from wastewater mains and five (5) feet for other utilities. Minimum two (2) foot vertical separation required for all utility crossings. All water mains must have a minimum cover of five (5) feet along section line roads and four (4) feet elsewhere.
3. Proposed and/or existing water mains must be located centrally within a twenty (20) feet wide or larger utility easement or right-of-way. No trees, signs, dumpster, fence, and/or structures shall be permitted over any proposed or existing utility main. An approved revocable permit must be obtained to have any private improvement located within any utility easement and/or right-of-way.
4. Dead-end water mains must be avoided when possible. All existing unused water services must be capped and abandoned at the water main in accordance with the City Standard Specifications.
5. In accordance with ODEQ regulations, the City provides water at a minimum pressure of 25 psi. The developer is responsible for designing and construction of all fixtures to provide adequate domestic and fire protection under
6. minimum pressure conditions. The developer will be responsible for any failure of domestic or fire protection systems which require water pressure more than 25 psi. The developer is responsible for installing pressure reducers if necessary for protection of developer's service lines, plumbing, and fixtures.
7. All existing and/or proposed water meters must be located in the right-of-way and/or utility easement within grassy areas outside of sidewalks, driveways, streets, and paving.
8. All domestic and fire suppression services must have a separate water service connection. Fire hydrant spacing shall not exceed 500 feet and must be located

within ten (10) of a hard surface (i.e. sidewalk, street, paving).

9. Supply capacity for development is not guaranteed and will be reviewed at time of review of construction documents.

c. Solid Waste Management

The City cannot service. Contact private hauler.

10. Planning

The proposed Special Permit would allow an automobile dealership along the north side of Northwest Expressway, between N County Line Road and the Kilpatrick Turnpike. The site is zoned C-3 and developed with a building previously used as retail for small vehicles/equipment. The site abuts a stone yard on the east, and undeveloped PUD-1803 on the west, which was approved in 2021 and allows all C-3 uses plus an automobile dealership.

Auto sales require a Special Permit in the C-3 District. The use is subject to the additional standards listed above. The proposal is consistent with the surrounding area and no compatibility issues were identified.

V. STAFF RECOMMENDATION

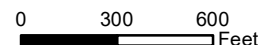
Staff recommendations are advisory only and do not constitute Planning Commission decisions. Staff recommendations are based on a technical evaluation of information submitted at the time of review. Planning Commission decisions require a vote of five members to approve or deny an item. The Planning Commission may consider in its decision-making process any additional relevant information presented at the public hearing by the public, applicant, and/or City departments.

Approval of the application.

sw

Address: 9701 NW Expressway Present Zoning: C-3
Proposed Use: Auto Dealership & Repair Facility

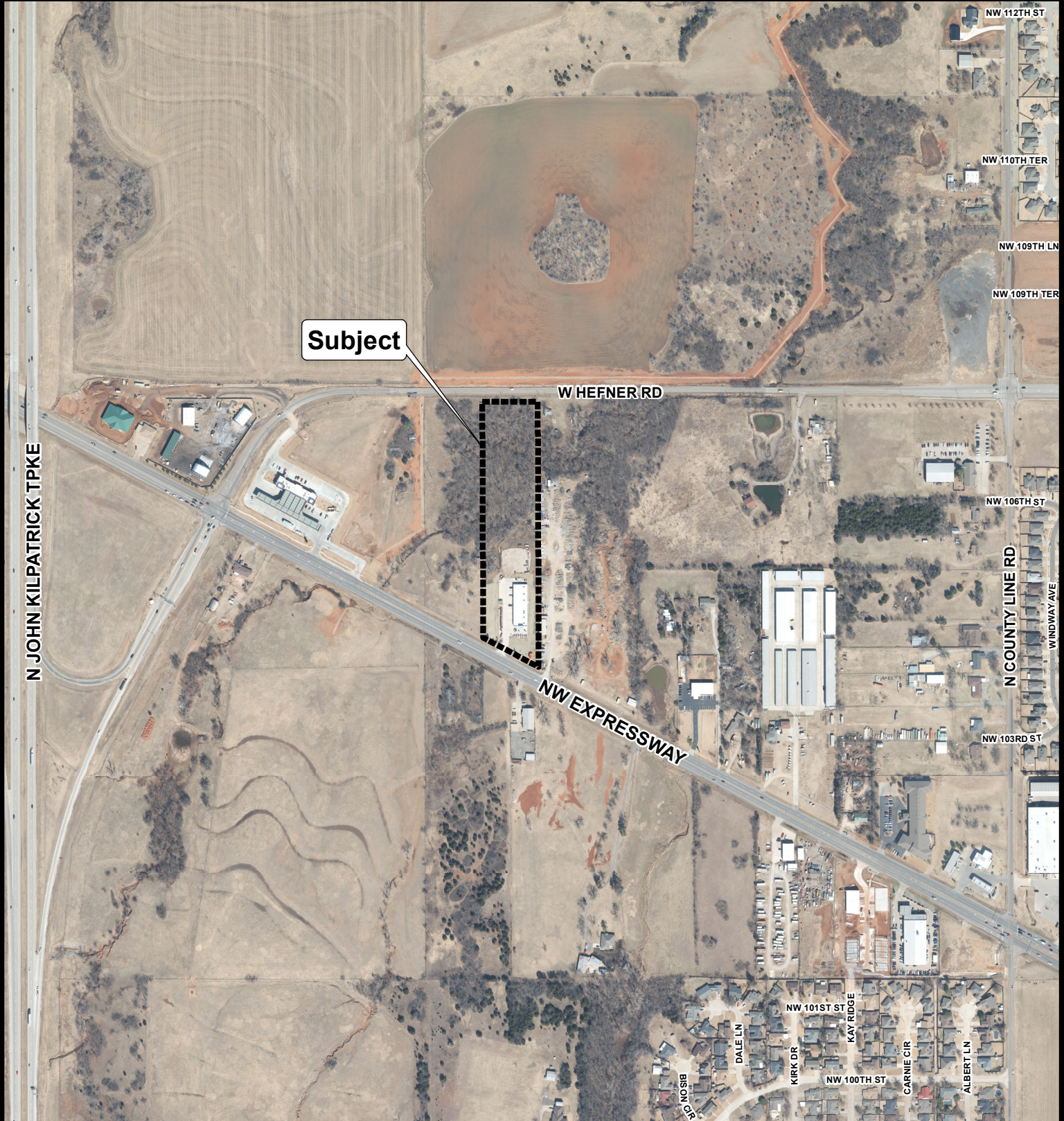
Proposed Use: Auto Dealership & Repair Facility



Case No: SP-573 Applicant: WMK, LLC dba Mobility Works on behalf of Naomi's Properties, LLC

Address: 9701 NW Expressway Present Zoning: C-3

Proposed Use: Auto Dealership & Repair Facility



Aerial Photo from 2/2022



The City of
OKLAHOMA CITY

Special Permit Application



0 300 600
Feet

PROJECT:

TRACTOR BOB

PROJECT ADDRESS:
9701 Northwest
Expressway 73099

415 Broadway Ave
Oklahoma City
Oklahoma 73102



V. 405.232.8787
F. 405.232.8810

www.taparchitecture.com

ARCHITECT'S
SEAL



PROJECT

TRACTOR BOB
9701 Northwest Expressway
73099

DRAWING
FOR

☐ FOR CONSTRUCTION
☐ PRELIMINARY - NOT
FOR CONSTRUCTION

☒ REVIEW SET

DATE: 07

ISSUE
DATE:

100% ISSUE TO
OWNER 01/19/2018

SHEET

COVER SHEET

PROJECT
NUMBER

1720

All drawings are subject
to modification without
notice. No part of this
drawing shall be
reproduced or
transmitted in any
form or by any means
electronic or
mechanical, including
photocopying, recording,
or by any information
storage and retrieval
system, without
prior written
permission of
TAP Architecture.

CLIENT

TRACTOR BOB
NEAL SNOW
NAOMIS PROPERTIES P.O. BOX MM
NORMAN, OKLAHOMA 73070
PHONE: 405-305-0512
FAX:

ARCHITECT

TAP Architecture
PROJECT ARCHITECT: Anthony McDermid
PROJECT MANAGER: Chris Teehee
PROJECT DESIGNER: Alison Fredrickson (Interior)
415 N Broadway Ave
Oklahoma City, Oklahoma 73102
PHONE: 405-232-8787
FAX: 405-232-8810

STRUCTURAL ENGINEER

EUDALEY ENGINEERING
Brian Baker
66510 NW 39TH STREET
BETHANY, OKLAHOMA 73008
PHONE: 405-789-4433
FAX:

MECHANICAL ENGINEER

PHONE:
FAX:

ELECTRICAL ENGINEER

PHONE:
FAX:

CIVIL ENGINEER

CEDAR CREEK CONSULTING
JASON EMMET
P.O. BOX 14534
OKLAHOMA CITY, OKLAHOMA 73113
PHONE: 405.406.4622
FAX:

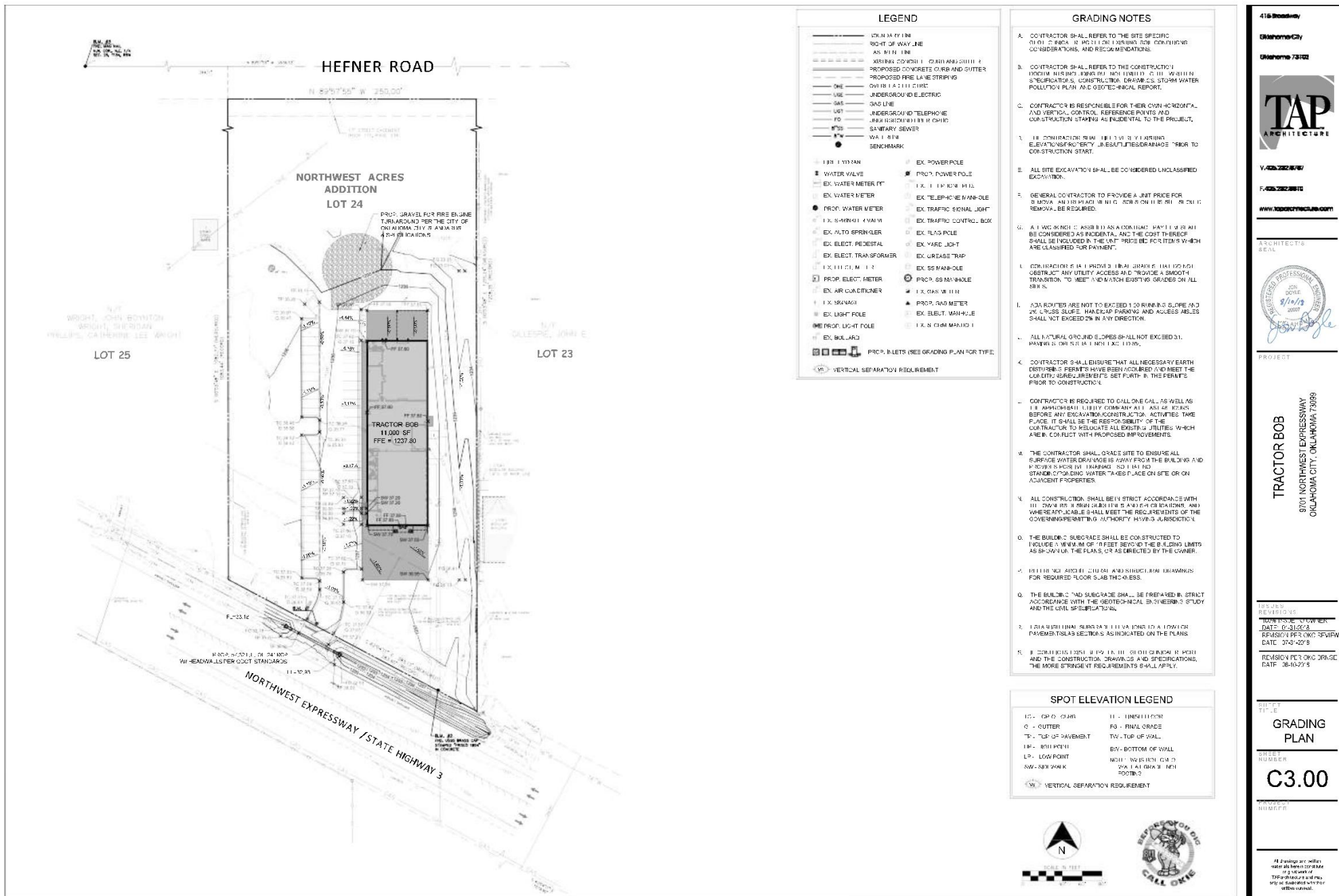
NOTES

- Architectural plans were prepared by the Architect or under his direct supervision as a consultant to the owner.
- All questions regarding plans and construction shall be directed to the Architect or to the appropriate design consultant.

NOTE
THE ABOVE ABBREVIATIONS ARE STANDARD, AND ARE NOT INTENDED TO BE A LISTING OF ANY OR ALL ABBREVIATIONS FOR THIS PROJECT.

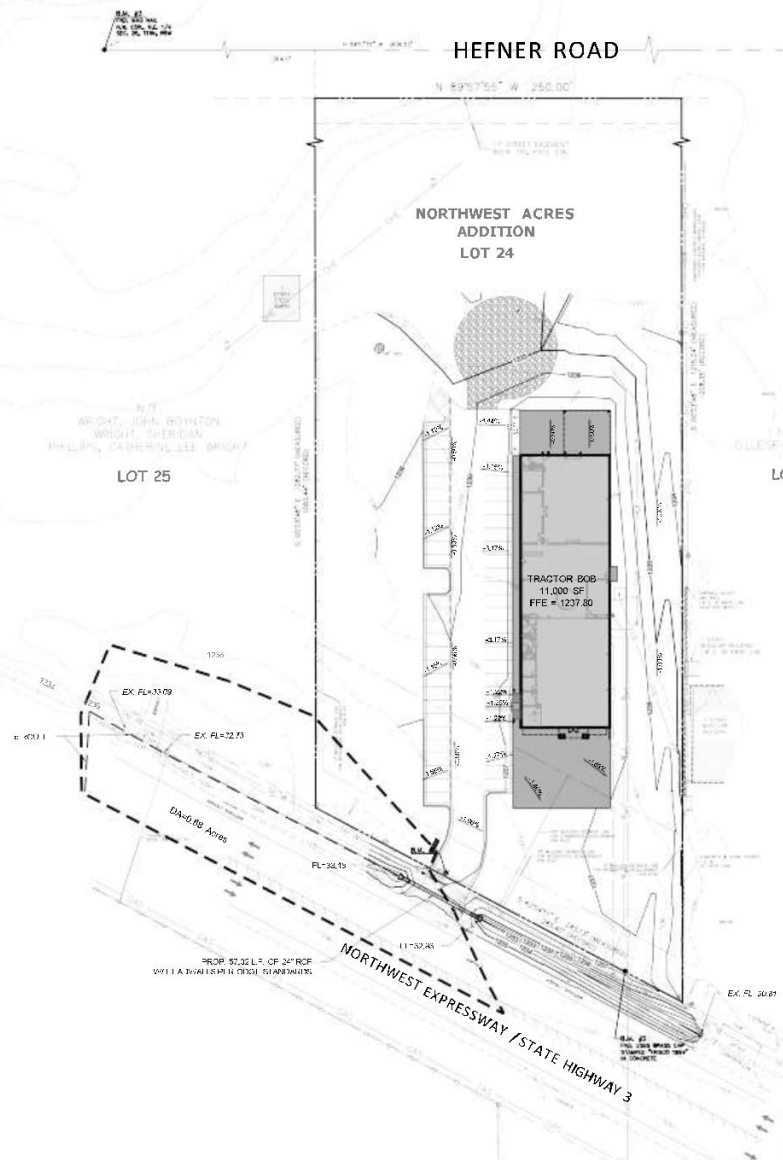
1. CONTRACTOR SHALL RESUME ALL ACTIVITIES AUTHORIZED BY THIS AGREEMENT STARTING AT ANY WORK THAT IS NOT CLEARLY DERIVED BY THE CONTRACT DOCUMENTS.
2. CONTRACTOR SHALL MAINTAIN ALL EQUIPMENT AND VEHICLES IN ACCORDANCE WITH VARIOUS STATE REGULATIONS REGARDING EQUIPMENT, VEHICLE OPERATION, AND/OR EQUIPMENT MAINTENANCE AND
3. MAINTENANCE. CONTRACTOR SHALL MAINTAIN ALL RECORDS IN ACCORDANCE WITH ALL FEDERAL, STATE, REGULATIONS AND ORDINANCES. CONTRACTOR SHALL NOT
4. VIOLATE AND COMPLY WITH ALL LOCAL ORDINANCES, RULES, REGULATIONS AND LAWS. CONTRACTOR SHALL FURNISH ALL PERSONNEL BEARING RESPONSIBILITY FOR THE WORK, MECHANICAL
5. EQUIPMENT, ELECTRICAL SUPPLIES, AND MATERIALS WITH ALL NECESSARY LICENSES, CERTIFICATIONS, AND/OR REGISTRATIONS. LOCAL AND STATE REGULATIONS,
6. ORDINANCES, AND APPLICABLE REGULATIONS.
7. CONTRACTOR SHALL MAINTAIN AND PROTECT THE WORK AREA AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND
8. PROGRESS FOR CONSTRUCTION. ALL PORTIONS OF THE WORK ARE TO BE THE CONTRACTOR'S RESPONSIBILITY. CONTRACTOR SHALL COORDINATE WITH ALL OTHERS/OWNER
9. REPRESENTATIVES.
10. UTILITIES ARE REQUESTED TO SHOW THE RESULTS OF FIELD AND/OR SURFACE INFORMATION FROM MAINTENANCE WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATIONS, SUCH
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12. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UTILITIES AND SERVICES PRIOR TO PROCEEDING WITH THE WORK TO ENSURE PROPER COORDINATION, SEQUENCING AND
13. LOCATION OF THE UTILITY.
14. PROVIDE PRE-CONSTRUCTION PERMITTING OF ALL PAVING, HAWK BEARING OR OTHER TYPE OF THALLWAY MAINTENANCE.
15. NOTIFY AGENCIES IMMEDIATELY OF ANY UNFORESEEN CONDITIONS FOR DIRECTOR BEFORE PROCEEDING WITH WORK.
16. PAY ALL EMPLOYED PERSONNEL, DIRECT OR INDIRECT, THE MINIMUM WAGE RATE TO BE DETERMINED BY THE STATE OF TEXAS, AS ESTABLISHED BY LOCAL, COUNTY OR AUTHORITIES
17. HAVING JURISDICTION.
18. CONTRACTOR SHALL NOTIFY AGENCIES AND THE PUBLIC TO BE FORBIDDEN FROM PROJECT TO START OF CONSTRUCTION.
19. ALL WORK OF CONSTRUCTION SHALL BE CONDUCTED IN THE OPEN AIR.
20. CONTRACTOR SHALL MAINTAIN ALL RECORDS IN ACCORDANCE WITH ALL FEDERAL, STATE, REGULATIONS AND ORDINANCES. CONTRACTOR SHALL MAINTAIN ALL RECORDS IN ACCORDANCE WITH ALL
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All drawings and written materials herein constitute original work of TAParc-lecture and may only be duplicated with the written consent.



HEFNER ROAD

NORTHWEST ACRES ADDITION LOT 24

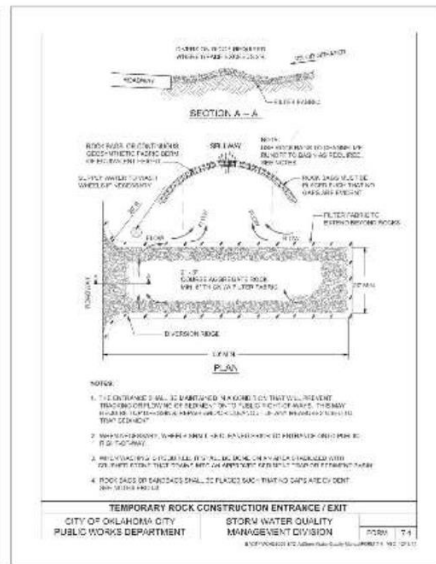
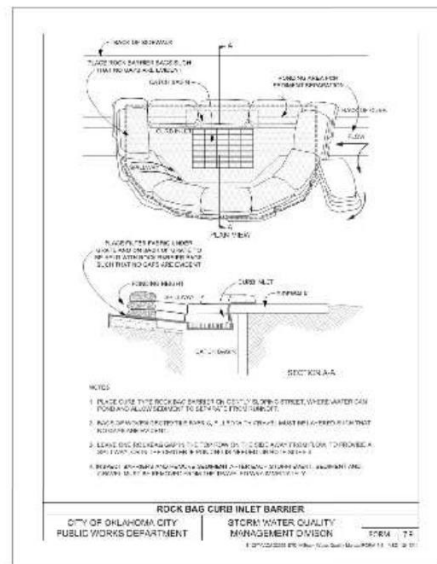
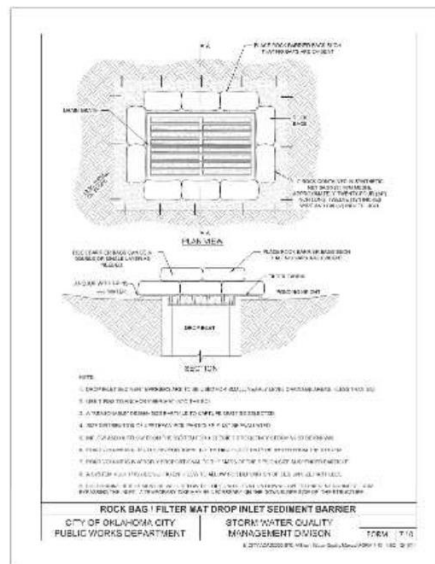
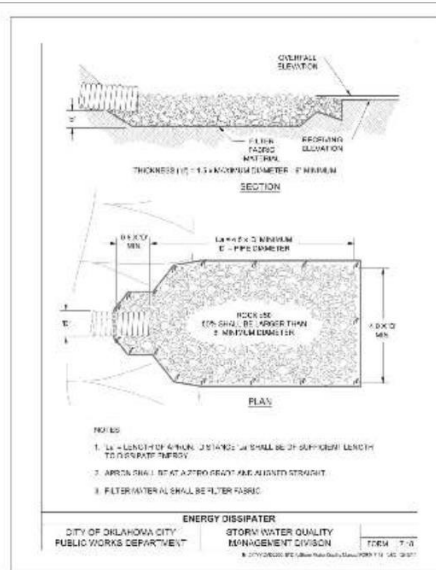
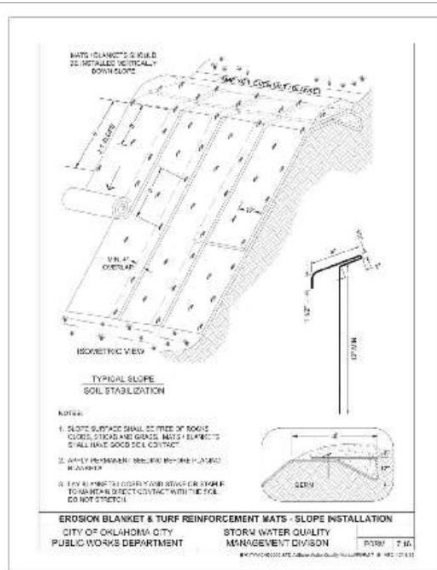
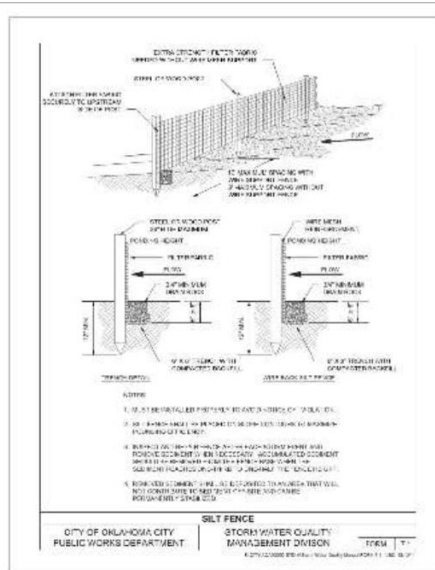
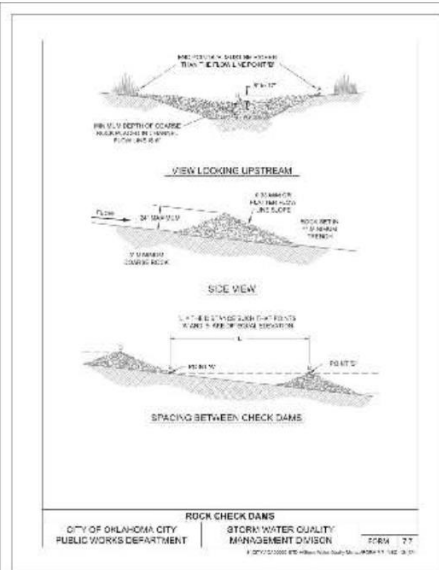


GRADING NOTES

1. CONTRACTOR SHALL REFER TO THE SITE SPECIFIC DRAINAGE PLAN FOR DRAINAGE CONSIDERATIONS, AND RECOMMENDATIONS.
2. CONTRACTOR SHALL REFER TO THE CONSTRUCTION DOCUMENTS INCLUDING BUT NOT LIMITED TO THE WRITTEN SPECIFICATIONS, CONSTRUCTION DRAWINGS, SITE POLLUTION PLAN, AND GEOTECHNICAL REPORT.
3. CONTRACTOR IS RESPONSIBLE FOR THEIR OWN HORIZONTAL AND VERTICAL CONTROL, REFERENCE POINTS AND CONSTRUCTION STAKES AS INCIDENTAL TO THE PROJECT.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ELEVATION OF PROPERTY, JUNCTIONS, DRAINAGE PRIOR TO CONSTRUCTION START.
5. ALL SITE EXCAVATION SHALL BE CONSIDERED UNCLASSIFIED EXCAVATION.
6. GENERAL CONTRACTOR TO PROVIDE A UNIT PRICE FOR EXCAVATION AND BACKFILL WITH 10% EXCESS ON 10% REMOVAL, BE REQUIRED.
7. A 1% MINIMUM GRADE SHALL BE MAINTAINED THROUGHOUT THE ENTIRE PROJECT AND THE COST THEREOF SHALL BE INCLUDED IN THE UNIT PRICE FOR ITEMS WHICH ARE CLASSIFIED FOR PAYMENT.
8. CONTRACTOR SHALL MAINTAIN A GRAD 2% TO 4% TO MAINTAIN ANY UTILITY ACCESS AND PROVIDE A SMOOTH TRANSITION TO MEET AND MATCH EXISTING GRADES ON ALL SITES.
9. A 1% MINIMUM GRADE SHALL BE MAINTAINED THROUGHOUT THE ENTIRE PROJECT AND THE COST THEREOF SHALL BE INCLUDED IN THE UNIT PRICE FOR ITEMS WHICH ARE CLASSIFIED FOR PAYMENT.
10. ALL NATURAL GROUND SLOPES SHALL NOT EXCEED 3% GRADING SHALL BE 2% TO 4% TO MAINTAIN 1% TO 2%.
11. CONTRACTOR SHALL ENSURE THAT ALL NECESSARY EARTH DISTURBANCE PERMITS HAVE BEEN OBTAINED AND MEET THE QUALITY REQUIREMENTS SET FORTH IN THE PERMITS PRIOR TO CONSTRUCTION.
12. CONTRACTOR IS REQUIRED TO CALL ONE CALL, AS WELL AS THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION/CONSTRUCTION ACTIVITIES TAKE PLACE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH ARE IN CONFLICT WITH PROPOSED IMPROVEMENTS.
13. THE CONTRACTOR SHALL GRADE SITE TO ENSURE ALL SURFACE WATER DRAINAGE IS AWAY FROM THE BUILDING AND FLOWING TO THE STREET. NO STANDING WATER SHALL BE ALLOWED TO REMAIN ON SITE OR ON ADJACENT PROPERTIES.
14. ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE CITY OF OKLAHOMA'S AND FEDERAL REQUIREMENTS WHERE APPLICABLE SHALL MEET THE REQUIREMENTS OF THE GOVERNING PERMITTING AUTHORITY HAVING JURISDICTION.
15. THE BUILDING SUBGRADE SHALL BE CONSTRUCTED TO INCLUDE A MINIMUM OF 12 INCHES TO THE BUILDING LIMITS AS SHOWN ON THE PLANS, OR AS DIRECTED BY THE OWNER.
16. THE BUILDING AND SUBGRADE SHALL BE PREPARED IN STRICT ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S STUDY AND THE CIVIL SPECIFICATIONS.
17. THE BUILDING AND SUBGRADE SHALL BE PREPARED IN STRICT ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S STUDY AND THE CIVIL SPECIFICATIONS.
18. THE BUILDING AND SUBGRADE SHALL BE PREPARED IN STRICT ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S STUDY AND THE CIVIL SPECIFICATIONS.

SPOT ELEVATION LEGEND

10' - 10' 0" 0.00	11' - 11' 0" 0.00
12' - 12' 0" 0.00	13' - 13' 0" 0.00
14' - 14' 0" 0.00	15' - 15' 0" 0.00
16' - 16' 0" 0.00	17' - 17' 0" 0.00
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20' - 20' 0" 0.00	21' - 21' 0" 0.00
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144' - 144' 0" 0.00	145' - 145' 0" 0.00
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148' - 148' 0" 0.00	149' - 149' 0" 0.00
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434' - 434' 0" 0.00	435' - 435' 0" 0.00
436' - 436' 0" 0.00	437' - 437' 0" 0.00
438' - 438' 0" 0.00	439' - 439' 0" 0.00
440' - 440' 0" 0.00	441' -



NOTE: ALL EROSION CONTROL BMPs,
SHOWN OR NOT SHOWN, SHALL
COMPLY WITH OKLAHOMA CITY
STANDARDS.

418 Broadway
Oklahoma City
Oklahoma 73102

TAP
ARCHITECTURE

V. 425.722.8767
F. 425.722.8767
www.taparchitecture.com

ARCHITECT'S
SEAL

PROJECT

TRACTOR BOB
9701 NORTHWEST EXPRESSWAY
OKLAHOMA CITY, OKLAHOMA 73109

ISSUED
REVISIONS

DATE: 03-31-2019
REVISION PER OKC 3P/1P
DATE: 07-10-2019

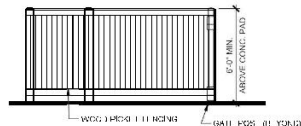
REVISION PER OKC 3P/1P
DATE: 08-10-2019

**EROSION
CONTROL
DETAILS**

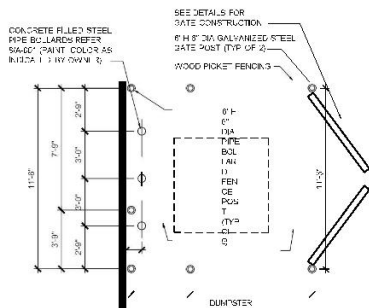
C5.01

PROJECT
NO. 000000

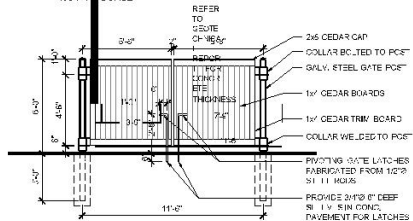
All drawings are written
under the supervision of
a registered professional
engineer and shall be
signed and sealed by the
engineer.



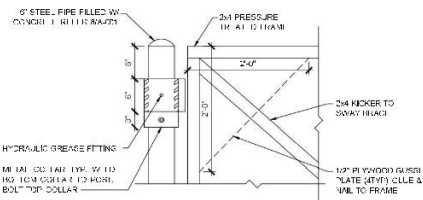
DUMPSTER ENCLOSURE ELEVATION
NOT TO SCALE



DUMPSTER ENCLOSURE PLAN
NOT TO SCALE

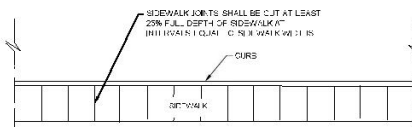


DUMPSTER ENCLOSURE GATE
NOT TO SCALE

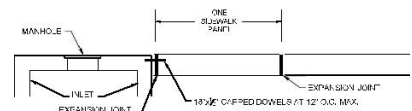


GATE DETAILS
NOT TO SCALE

WOOD DUMPSTER ENCLOSURE DETAIL (SINGLE)
NOT TO SCALE

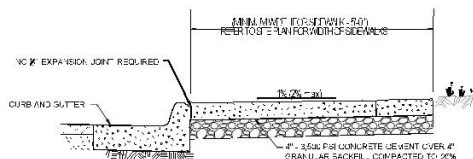


PLAN



SIDEWALK AT INLETS

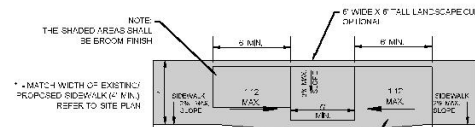
- NOTE:
- 12" MIN. WALKWAY WIDTH REQUIRED AT INLET OR ADJACENT TO INLET. CURB SHALL BE 12" MIN. HIGH.
 - SIDEWALK EX. AND INLET SHALL BE 12" MIN. WALKWAY AND CURB.
 - REQUIRED FOR APPROVAL, FOR SUBMITTAL TO LOCAL AGENCY.
 - CONSIDERATE WITH EXPANSION JOINT MATERIAL REQUIRED AT INLETS.



SECTION

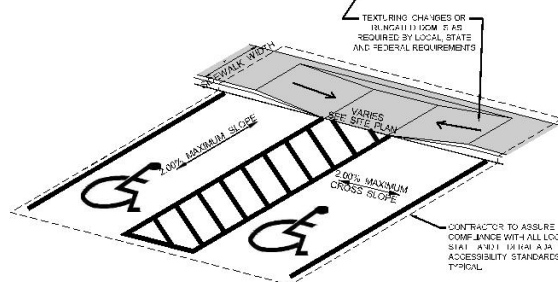
CONSON WITH SCHEDULE FOR OTHER DETAILS AND PARTS OF THE BUILDING OR DRIVEWAYS

SIDEWALK DETAIL
NOT TO SCALE



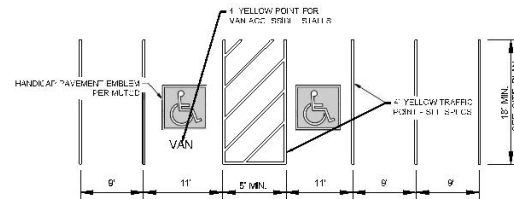
NOTE:
THE SHADED AREAS SHALL
BE BROOM FINISH

* MATCH WIDTH OF EXISTING/
PROPOSED SIDEWALK (4' MIN.)
REFER TO SITE PLAN

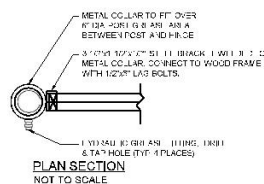


COMPLIES WITH:
ANSI 2003 EDITION 428.76, 24
ANSI 2003 EDITION 222.6-70, 40

SPECIAL ACCESSIBLE RAMP DETAIL
NOT TO SCALE



STANDARD PARKING LAYOUT DETAIL
NOT TO SCALE



PLAN SECTION
NOT TO SCALE

416 Broadway

Oklahoma City

Oklahoma 73102



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ARCHITECT'S

SEAL



PROJECT

TRACTOR BOB

9701 NORTHWEST EXPRESSWAY
OKLAHOMA CITY, OKLAHOMA 73109

REVISED

REVISIONS

DATE: 02-21-2019

REVISION PER: OKC: 35/11/19

DATE: 02-21-2019

REVISION PER: OKC: 35/11/19

DATE: 02-21-2019

REVISION PER: OKC: 35/11/19

DATE: 02-21-2019

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DATE: 02-21-2019

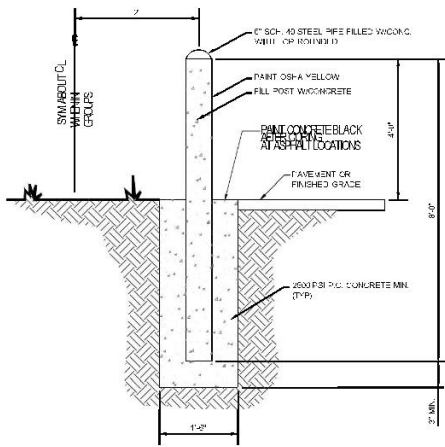
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DATE: 02-21-2019

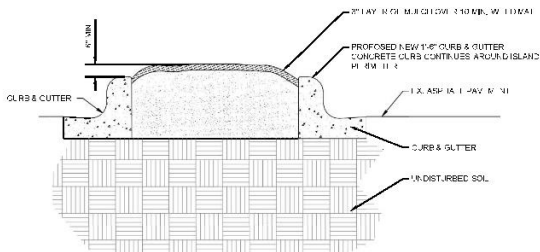
REVISION PER: OKC: 35/11/19

DATE: 02-21-2019

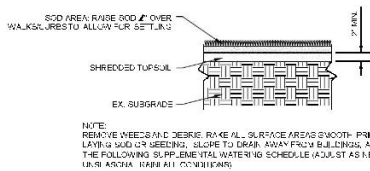
REVISION PER: OKC: 35/11/19



BOLLARD DETAIL
NOT TO SCALE



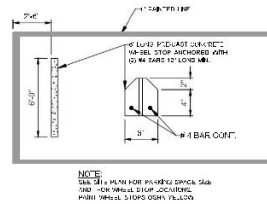
ISLAND DETAIL
NOT TO SCALE



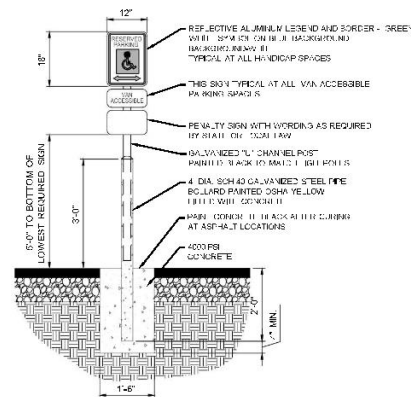
APPROXIMATE SUPPLEMENTAL WATER FOR AN AVERAGE
TRADITIONAL LAWN (INCHES PER WEEK)

APRIL	MAY	JUNE	JULY	AUGUST	SEPTEMBER	OCTOBER
0.25"	0.50"	0.75"	1.00"	1.25"	1.50"	1.75"

SOD PLANTING DETAIL

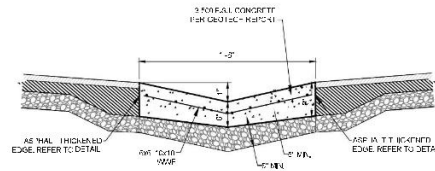


WHEEL STOP DETAIL
NOT TO SCALE



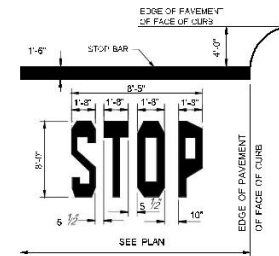
HANDICAP PARKING SIGN DETAIL
NOT TO SCALE

ONE AT EACH HANDICAP SPACE. WHERE HANDICAP SPACES FACE EACH OTHER WITHOUT VALEWAY, THERE SHALL BE ONE POST WITH SIGNS MOUNTED BOTH SIDES.



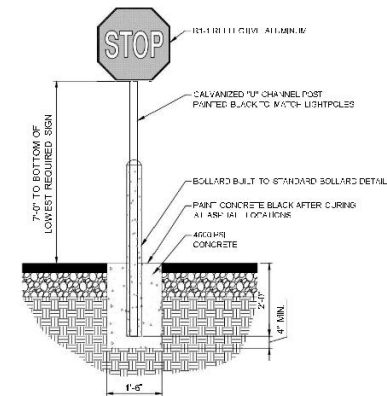
TRICKLE CHANNEL IN PARKING LOT DETAIL
NOT TO SCALE

NOTE: THIS DETAIL IS ONLY TO BE USED IN A PARKING LOT (WHERE SURFES IN A VALLEY ARE LESS THAN 100% AND WHERE ASPHALT HAS BEEN CHOSEN TO BE INSTALLED INSTEAD OF CONCRETE).



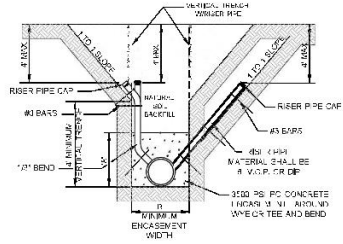
- NOTE
- WORDS AND ARROWS FOR DRIVEWAYS SHALL BE APPLIED ACCORDING TO STD. 100.000 AS CONTAINED IN SECTION 90 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
 - THESE WORDS AND BAR ARE TO BE PRINTED MAP-ACTION WHITE.

STOP BAR DETAIL
NOT TO SCALE



STOP SIGN DETAIL
NOT TO SCALE

SERVICE CONNECTION INSTALLATION



CONCRETE ENCASEMENT FOR RISER PIPE

MIN. DIA. (inches)	MIN. (feet)	MIN. (feet)	LENGTH OF ENCASEMENT (feet)
8	1.5	22	20
10	2.0	22	20
12	2.0	22	20
15	2.5	26	20
18	3.0	30	25

ADD 0.5" WHEN USING BRACING OR SHORING

CONNECTION TYPES

1. EXTERNAL CONNECTIONS FOR NEW CONSTRUCTION WYE BRANCHES -
FOR NEW CONSTRUCTION THERE SHALL BE INSTALLED WYE BRANCHES OF SIZE AND TYPE SHOWN ON THE PLANS WITH SIX (6) INCH OPENINGS AT LOCATIONS SHOWN ON THE PLANS OR AS DESCRIBED BY THE ENGINEER.

2. EXTERNAL CONNECTION TO EXISTING MAIN -
CONNECTIONS TO EXISTING MAIN MAY BE ACCOMPLISHED AS FOLLOWS:

A. SADDLES - CONNECTIONS MAY BE MADE BY EXCAVATING THE EXISTING MAIN AND CUTTING A HOLE USING APPROVED EQUIPMENT AND INSTALLING A SADDLE. SEWER SERVICE CONNECTIONS CONSTRUCTED WITH SADDLES SHALL INCLUDE STRAPS, A ONE-EIGHTH (1/8) DEGREE BEND, AND A CLOSURE PIECE. WHEN EXISTING MAIN HAS BEEN REHABILITATED BY TRENCHLESS METHOD OF CONSTRUCTION, THE SADDLE CONNECTION SHALL BE MADE TO THE PIPE OR LINER.

B. TEES - CONNECTIONS MAY BE MADE BY REMOVING A SECTION OF EXISTING PIPE AND INSTALLING A WYE BRANCH, FITTINGS AND CLOSURE ASSEMBLY SHALL BE USED TO MAKE THE CONNECTION AND SHALL BE SUPPLIED IN A NORMAL DIAMETER OR SIX (6) INCHES. THE EXTERNAL CONNECTION SHALL BE CONSIDERED COMPLETE WHEN BACKFILLING AND SURFACE RESTORATION IS COMPLETE. SERVICE CONNECTIONS CONSTRUCTED WITH WYE BRANCHES SHALL INCLUDE A ONE-EIGHTH (1/8) DEGREE BEND, ELBOW, AND

WHEN REQUIRED, A CLOSURE PIECE.

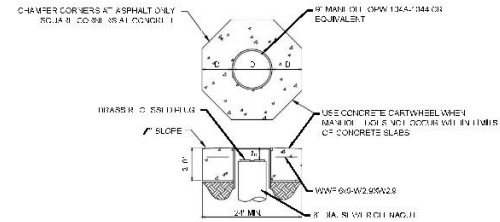
3. RISER

A. INSTALLATION - THE PIPE MAY BE INSTALLED IN ONE OF THREE WAYS SHOWN ABOVE.

B. SIZE AND MATERIAL - THE RISER PIPE SHALL BE SIX (6) INCH PVC OR DIP.

C. CONCRETE ENCASEMENT - CONCRETE ENCASEMENT AROUND RISER SHALL MEET THE REQUIREMENT ESTABLISHED ABOVE.

4. LOCATOR TAPE - A LOCATOR TAPE, GREEN IN COLOR, STATING "CAUTION - SANITARY SEWER RISER BURIED BELOW" SHALL BE ATTACHED TO THE SANITARY SEWER RISER AND EXTENDED TO A MINIMUM OF TWO (2) FEET ABOVE THE GROUND. THE TAPE SHALL BE THREE (3) INCH WIDE DURATAC AS MANUFACTURED BY THOR ENTERPRISES, INC., OF SUN PRAIRIE, WISCONSIN OR APPROVED EQUAL.

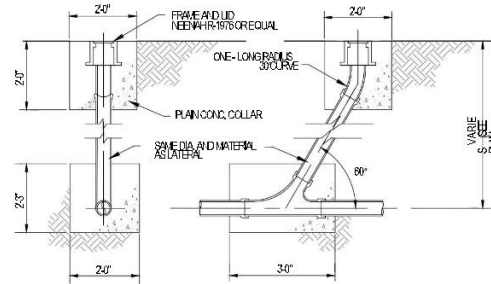


TYPICAL CLEANOUT MANHOLE DETAIL

NOT TO SCALE

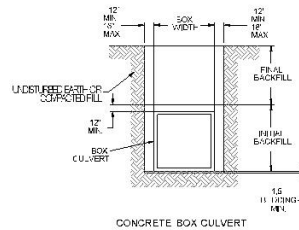
SEWER SERVICE LINE CONNECTION DETAIL

NOT TO SCALE



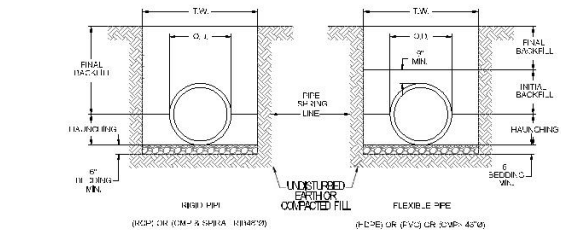
TYPICAL CLEANOUT DETAIL

NOT TO SCALE



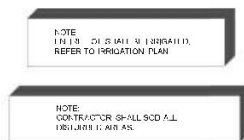
CONCRETE BOX CULVERT












1. BEDDING SHALL BE DELIVERED CLASS II WORKED BY HAND OR CLASS II COMPACTED TO 90% STANDARD PROCTOR. LOCAL OR SUBMITTAL TESTS SHALL BE USED FOR BEDDING PROVIDED IT MEETS THE REQUIREMENT AND BACKFILL MATERIALS IN TABLE 1 FOR FILLING CLASS II-A.
2. HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS II-A OR CLASS II-B OR CLASS II-C COMPACTED TO 90% STANDARD PROCTOR. CLASS II-B MATERIAL SHALL BE USED FOR FLEXIBLE PIPE WHEN FILL HEIGHTS EXCEED 6'.
3. INITIAL BACKFILL SHALL BE CLASS II-A WORKED BY HAND OR CLASS II-B COMPACTED TO 90% STANDARD PROCTOR. CLASS II-B MATERIAL SHALL BE USED FOR FLEXIBLE PIPE WHEN FILL HEIGHTS EXCEED 6'.

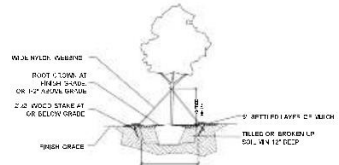


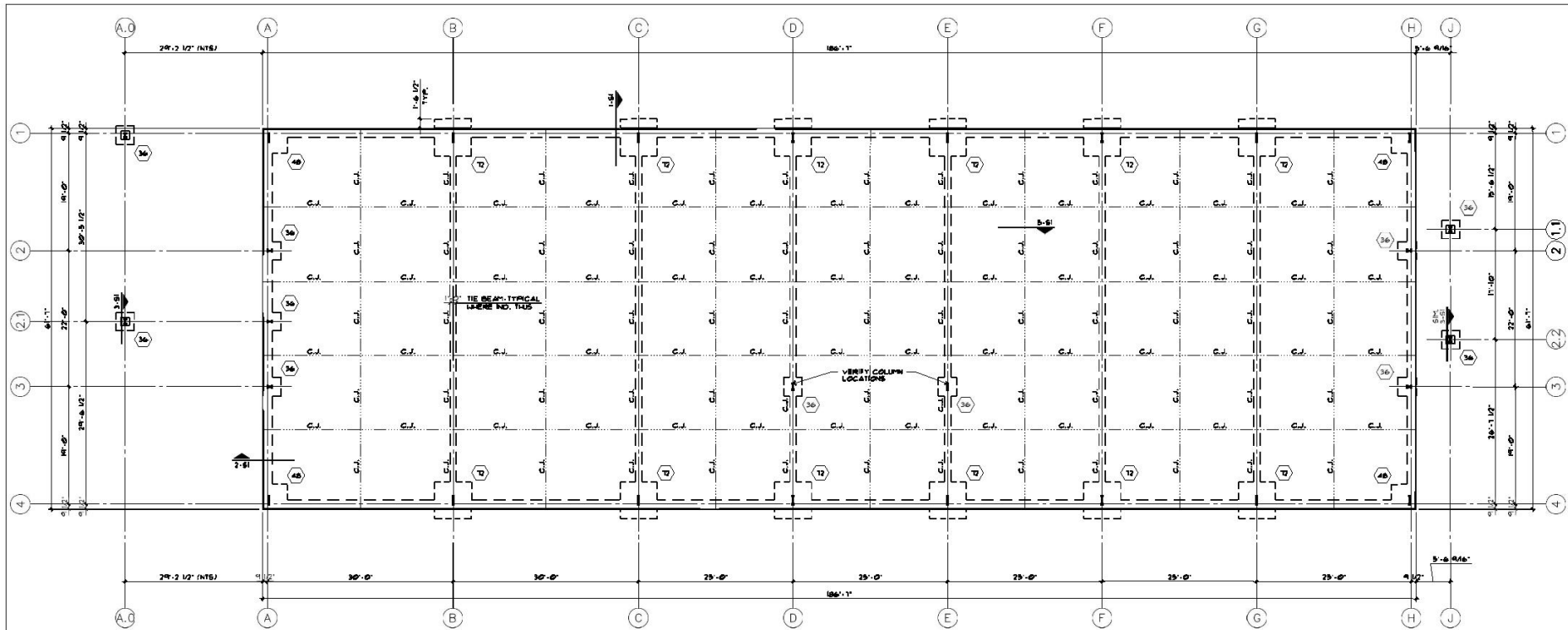
4. FINAL BACKFILL SHALL BE CLASS II WORKED BY HAND OR CLASS II-B COMPACTED TO 90% STANDARD PROCTOR. LOCAL OR SUBMITTAL TESTS SHALL BE USED FOR BACKFILL PROVIDED IT MEETS THE REQUIREMENT AND BACKFILL MATERIALS IN TABLE 1 FOR FILLING CLASS II-A.
5. ALL MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM D 2221 (SEE TABLE 1).
6. ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 6" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 1557, CLASS II-A OR CLASS II-B. MATERIALS SHALL BE COMPACTED AHEAD OF FINAL BACKFILL CONTENT.
7. ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 6" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 1557, CLASS II-A OR CLASS II-B. MATERIALS SHALL BE COMPACTED AHEAD OF FINAL BACKFILL CONTENT.
8. ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 6" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 1557, CLASS II-A OR CLASS II-B. MATERIALS SHALL BE COMPACTED AHEAD OF FINAL BACKFILL CONTENT.
9. ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 6" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 1557, CLASS II-A OR CLASS II-B. MATERIALS SHALL BE COMPACTED AHEAD OF FINAL BACKFILL CONTENT.
10. ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 6" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 1557, CLASS II-A OR CLASS II-B. MATERIALS SHALL BE COMPACTED AHEAD OF FINAL BACKFILL CONTENT.

11. DESIGN ENGINEER SHALL DESIGNATE ON THE PLANS WHERE WATER-TIGHT JOINTS ARE TO BE REQUIRED.
12. WHERE GROUND WATER IS PRESENT CLASS II-A MATERIAL SHALL BE WRAPPED WITH A NON-WOVEN GEO-TEXTILE, EXCLUDING 10' DIA. AND 12' DIA. AND 14' DIA. AND 16' DIA. AND 18' DIA. AND 20' DIA. AND 22' DIA. AND 24' DIA. AND 26' DIA. AND 28' DIA. AND 30' DIA. AND 32' DIA. AND 34' DIA. AND 36' DIA. AND 38' DIA. AND 40' DIA. AND 42' DIA. AND 44' DIA. AND 46' DIA. AND 48' DIA. AND 50' DIA. AND 52' DIA. AND 54' DIA. AND 56' DIA. AND 58' DIA. AND 60' DIA. AND 62' DIA. AND 64' DIA. AND 66' DIA. AND 68' DIA. AND 70' DIA. AND 72' DIA. AND 74' DIA. AND 76' DIA. AND 78' DIA. AND 80' DIA. AND 82' DIA. AND 84' DIA. AND 86' DIA. AND 88' DIA. AND 90' DIA. AND 92' DIA. AND 94' DIA. AND 96' DIA. AND 98' DIA. AND 100' DIA. AND 102' DIA. AND 104' DIA. AND 106' DIA. AND 108' DIA. AND 110' DIA. AND 112' DIA. AND 114' DIA. AND 116' DIA. AND 118' DIA. AND 120' DIA. AND 122' DIA. AND 124' DIA. AND 126' DIA. AND 128' DIA. AND 130' DIA. AND 132' DIA. AND 134' DIA. AND 136' DIA. AND 138' DIA. AND 140' DIA. AND 142' DIA. 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AND 2184' DIA. AND 2186' DIA. AND 2188' DIA. AND 2190' DIA. AND 2192' DIA. AND 2194' DIA. AND 2196' DIA. AND 2198' DIA. AND 2200' DIA. AND 2202' DIA. AND 2204' DIA. AND 2206' DIA. AND 2208' DIA. AND 2210' DIA. AND 2212' DIA. AND 2214' DIA. AND 2216' DIA. AND 2218' DIA. AND 2220' DIA. AND 2222' DIA. AND 2224' DIA. AND 2226' DIA. AND 2228' DIA. AND 2230' DIA. AND 2232' DIA. AND 2234' DIA. AND 2236' DIA. AND 2238' DIA. AND 2240' DIA. AND 2242' DIA. AND 2244' DIA. AND 2246' DIA. AND 2248' DIA. AND 2250' DIA. AND 2252' DIA. AND 22



PLANT LIST							
Nº	QTY	CCM (CIVIL NAME)	Botanical Name	Sketch	UNIT	POINTS	COMMENTS
01	5	CHAMBRÉ PINTADO	Passiflora ligularis		6 x 6 x 8	45	semif. 1º FLOR. 2º ABUSIVE SHED
02	6	CHAMBRÉ PINTADO	Passiflora ligularis		6 x 6 x 8	60	semif. 1º FLOR. 2º ABUSIVE SHED
03	5	CHAMBRÉ PINTADO	Passiflora ligularis		6 x 6 x 8	10	semif. 1º FLOR. 2º ABUSIVE SHED
04	5	CHAMBRÉ PINTADO	Passiflora ligularis		6 x 6 x 8	10	semif. 1º FLOR. 2º ABUSIVE SHED
05	6	CHAMBRÉ PINTADO	Passiflora ligularis		6 x 6 x 8	10	semif. 1º FLOR. 2º ABUSIVE SHED
06	5	CHAMBRÉ PINTADO	Passiflora ligularis		6 x 6 x 8	10	semif. 1º FLOR. 2º ABUSIVE SHED
07	5	CHAMBRÉ PINTADO	Passiflora ligularis		6 x 6 x 8	10	semif. 1º FLOR. 2º ABUSIVE SHED
08	5	CHAMBRÉ PINTADO	Passiflora ligularis		6 x 6 x 8	10	semif. 1º FLOR. 2º ABUSIVE SHED
09	5	CHAMBRÉ PINTADO	Passiflora ligularis		6 x 6 x 8	10	semif. 1º FLOR. 2º ABUSIVE SHED
10	5	CHAMBRÉ PINTADO	Passiflora ligularis		6 x 6 x 8	10	semif. 1º FLOR. 2º ABUSIVE SHED
11	5	CHAMBRÉ PINTADO	Passiflora ligularis		6 x 6 x 8	10	semif. 1º FLOR. 2º ABUSIVE SHED
12	5	CHAMBRÉ PINTADO	Passiflora ligularis		6 x 6 x 8	10	semif. 1º FLOR. 2º ABUSIVE SHED
13	5	CHAMBRÉ PINTADO	Passiflora ligularis		6 x 6 x 8	10	semif. 1º FLOR. 2º ABUSIVE SHED
14	5	CHAMBRÉ PINTADO	Passiflora ligularis		6 x 6 x 8	10	semif. 1º FLOR. 2º ABUSIVE SHED
15	5	CHAMBRÉ PINTADO	Passiflora ligularis		6 x 6 x 8	10	semif. 1º FLOR. 2º ABUSIVE SHED
16	5	CHAMBRÉ PINTADO	Passiflora ligularis		6 x 6 x 8	10	semif. 1º FLOR. 2º ABUSIVE SHED
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19	5	CHAMBRÉ PINTADO	Passiflora ligularis		6 x 6 x 8	10	semif. 1º FLOR. 2º ABUSIVE SHED
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22	5	CHAMBRÉ PINTADO	Passiflora ligularis		6 x 6 x 8	10	semif. 1º FLOR. 2º ABUSIVE SHED
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28	5	CHAMBRÉ PINTADO	Passiflora ligularis		6 x 6 x 8	10	semif. 1º FLOR. 2º ABUSIVE SHED
29	5	CHAMBRÉ PINTADO	Passiflora ligularis		6 x 6 x 8	10	semif. 1º FLOR. 2º ABUSIVE SHED
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33	5	CHAMBRÉ PINTADO	Passiflora ligularis		6 x 6 x 8	10	semif. 1º FLOR. 2º ABUSIVE SHED
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37	5	CHAMBRÉ PINTADO	Passiflora ligularis		6 x 6 x 8	10	semif. 1º FLOR. 2º ABUSIVE SHED
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44	5	CHAMBRÉ PINTADO	Passiflora ligularis		6 x 6 x 8	10	semif. 1º FLOR. 2º ABUSIVE SHED
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46	5	CHAMBRÉ PINTADO	Passiflora ligularis		6 x 6 x 8	10	semif. 1º FLOR. 2º ABUSIVE SHED
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53	5	CHAMBRÉ PINTADO	Passiflora ligularis		6 x 6 x 8	10	semif. 1º FLOR. 2º ABUSIVE SHED
54	5	CHAMBRÉ PINTADO	Passiflora ligularis		6 x 6 x 8	10	semif. 1º FLOR. 2º ABUSIVE SHED
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93	5	CHAMBRÉ PINTADO	Passiflora ligularis		6 x 6 x 8	10	semif. 1º FLOR. 2º ABUSIVE SHED
94	5	CHAMBRÉ PINTADO	Passiflora ligularis		6 x 6 x 8	10	semif. 1º FLOR. 2º ABUSIVE SHED
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98	5	CHAMBRÉ PINTADO	Passiflora ligularis		6 x 6 x 8	10	semif. 1º FLOR. 2º ABUSIVE SHED
99	5	CHAMBRÉ PINTADO	Passiflora ligularis		6 x 6 x 8	10	semif. 1º FLOR. 2º ABUSIVE SHED
100	5	CHAMBRÉ PINTADO	Passiflora ligularis		6 x 6 x 8	10	semif. 1º FLOR. 2º ABUSIVE SHED





FOUNDATION PLAN

SCALE: 1/8"=1'-0" 1755201

TYPICAL SLAB ON GRADE IS 6" CONCRETE REIN. #4@18" O.C. OVER 3" M.L. VAPOR BARRIER OVER 6" AGGREGATE BASE OVER PROPERLY COMPACTED SUBGRADE. CONCRETE FOR SLAB SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3500 P.S.I.

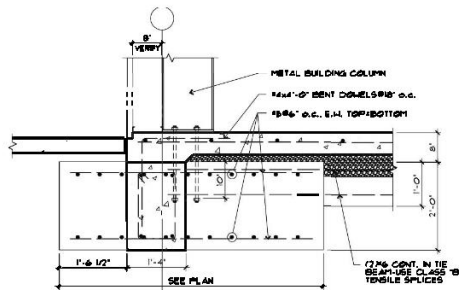
THIS FOUNDATION HAS BEEN PREPARED WITHOUT GEOTECHNICAL INFORMATION AND AN ALLOWABLE BEARING CAPACITY OF 1000 P.S.F. HAS BEEN ASSUMED. THE OWNER IS RESPONSIBLE FOR VERIFYING ADEQUATE BEARING CAPACITY AND SUITABLE SOIL CONDITIONS.

IN ADDITION, FLOODING LOADS HAVE BEEN ESTIMATED AND THE OWNER SHOULD PROVIDE INFORMATION FROM THE METAL BUILDING SUPPLIER FOR VERIFICATION BY FOUNDATION ENGINEER.

INDICATES FOOTING WIDTH.

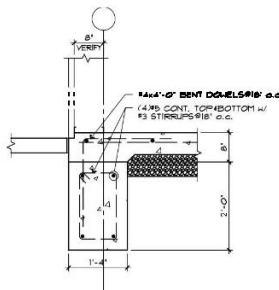
CONCRETE FOR FOOTINGS SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 P.S.I.

COORDINATE ANCHOR BOLT SIZES AND LOCATIONS WITH METAL BUILDING SUPPLIER DRAWINGS.



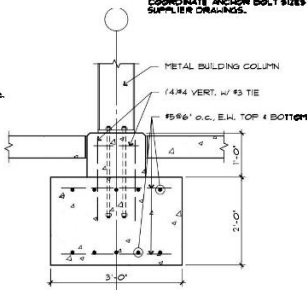
1 FOOTING SECTION

SCALE: 3/4"=1'-0" 1755201



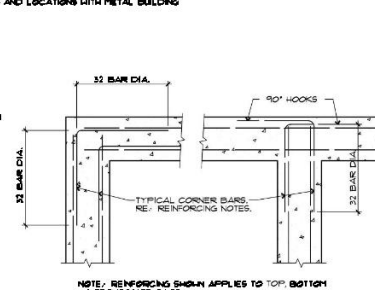
2 FOOTING SECTION

SCALE: 3/4"=1'-0" 1755202



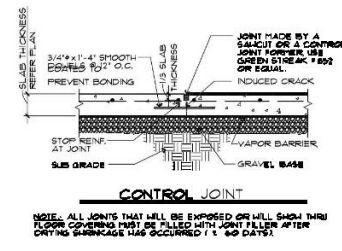
3 FOOTING SECTION

SCALE: 3/4"=1'-0" 1755203



4 CORNER REINFORCING DETAIL

SCALE: NONE 1755204



5 SLAB JOINT DETAIL

SCALE: NONE 1755205

NOTE: ALL JOINTS THAT WILL BE EXPOSED OR WILL SHOW THRU FLOOR COVERING MUST BE FILLED WITH JOINT FILLER AFTER CURING SHRINKAGE HAS OCCURRED (1 & 40 DAYS)

415 Broadway
Oklahoma City
Oklahoma 73102



V.405.232.8787

F.405.232.8810

www.taparchitecture.com

SEAL

MARK EUDALEY

REGISTERED PROFESSIONAL ENGINEER

BRIDGE, HIGHWAY, CIVIL, ELECTRICAL, MECHANICAL, PIPING, PROCESS, WATER, WASTE, AND SEWER

1000 N.W. 10TH STREET, SUITE 1000

OKLAHOMA CITY, OKLAHOMA 73102



PROJECT

TRACTOR BOB
9701 Northwest Expressway
OKLAHOMA CITY, OKLAHOMA 73069

ISSUES
REVISIONS

100% ISSUE TO OWNER
DATE: 01-18-2018

SHEET

TITLE

**FOUNDATION PLAN
DETAILS**

SHEET

NO. 1755201

S1

PROJECT

NUMBER

1720

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Issues / Revisions
Date Description

100% ISSUE TO
OWNER 01/18/2018

SHEET
TITLE

REFLECTED CEILING
PLAN

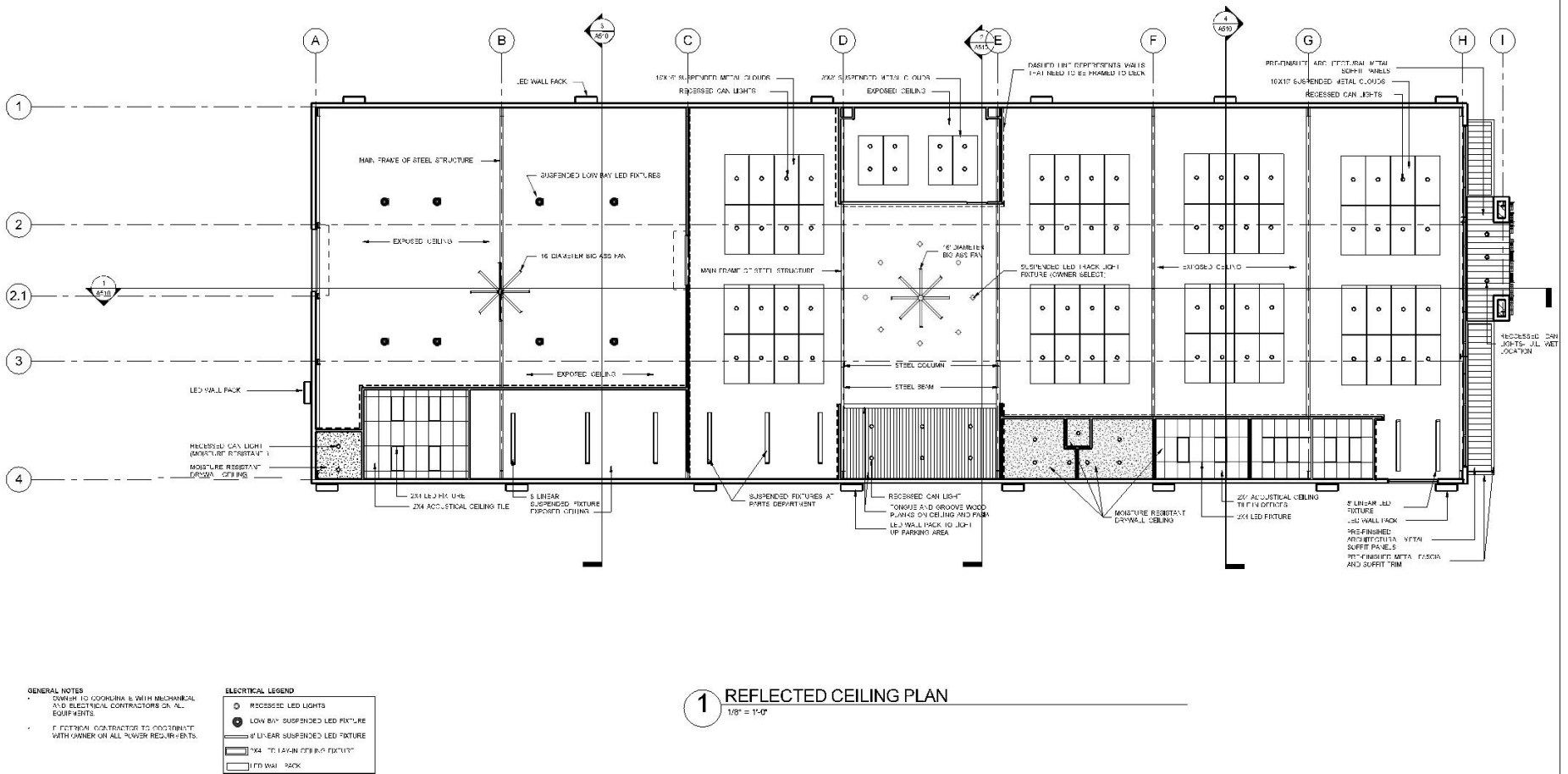
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NUMBER

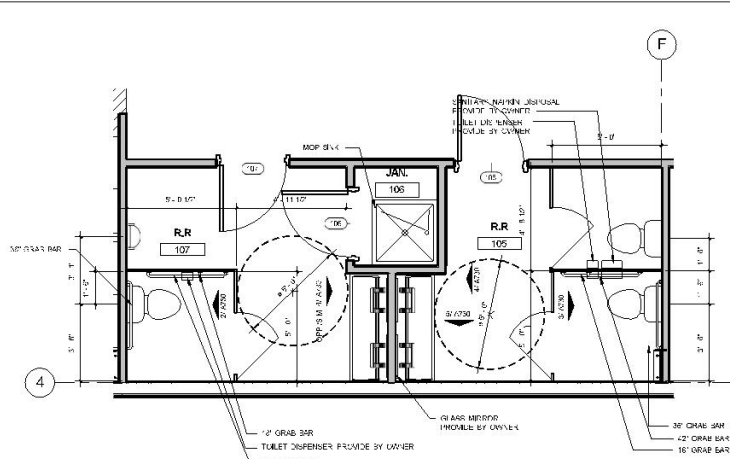
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PROJECT
NUMBER

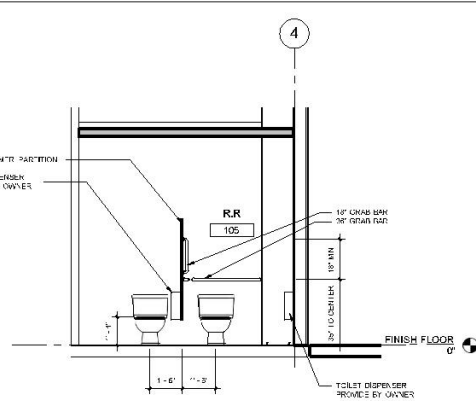
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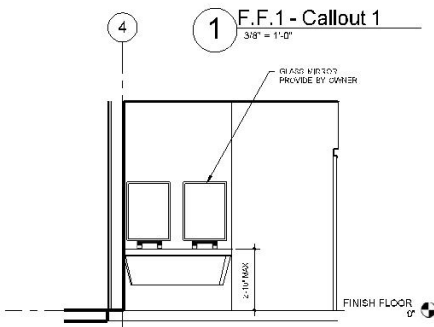




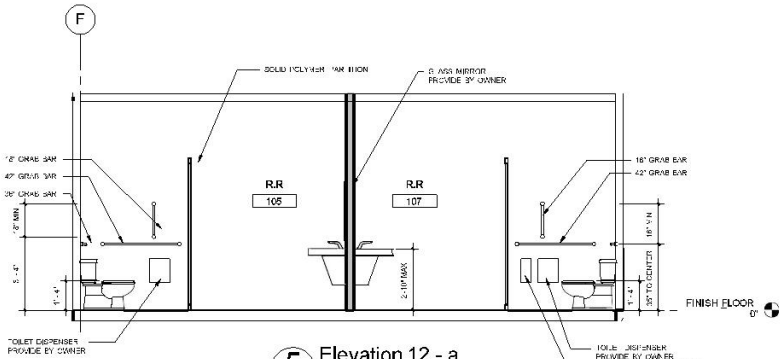
2 Elevation 9 - a
3/8" = 1'-0"



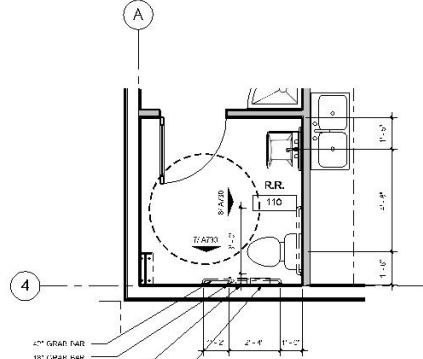
3 Elevation 10 - a
3/8" = 1'-0"



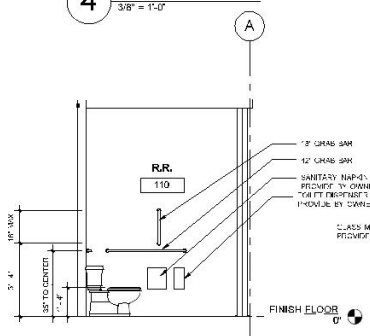
4 Elevation 11 - a
3/8" = 1'-0"



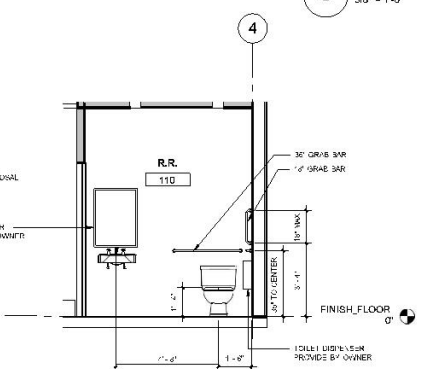
5 Elevation 12 - a
3/8" = 1'-0"



6 F.F.1 - Callout 2
3/8" = 1'-0"



7 Elevation 13 - a
3/8" = 1'-0"



8 Elevation 14 - a
3/8" = 1'-0"

415 Broadway
Oklahoma City
Oklahoma 73102

TAP
ARCHITECTURE

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www.taparchitecture.com

ARCHITECT'S
SEAL

ANTHONY DAVID ROBERTS
01/18/2018
PROJECT

TRACTOR BOB
9701 Northwest Expressway
73099

Issues / Revisions	Date	Description
100% ISSUE TO OWNER 01/18/2018		

SHEET
TITLE

ENLARGED INTERIOR
PLANS

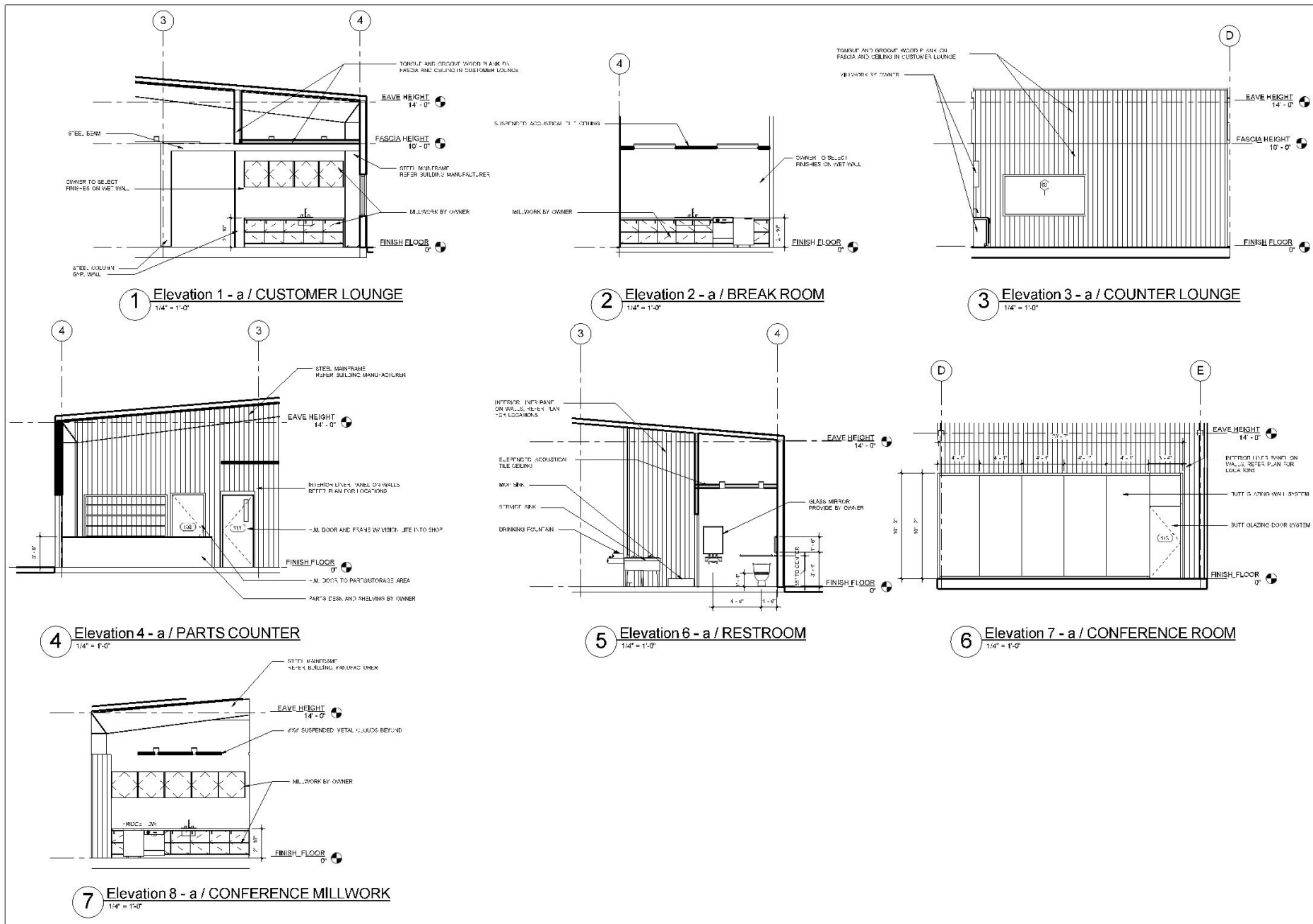
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NUMBER

A730

PROJECT
NUMBER

1720

All drawings and notes
shall be for the project
original work of
Tap Architecture and may
only be altered with the
written consent.



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ARCHITECT'S
SEAL



01/18/2018

PROJECT

TRACTOR BOB

9701 Northwest Expressway
73099

Issues / Revisions
Date Description

100% ISSUE TO
OWNER 01/18/2018

SHEET
TITLE
INTERIOR ELEVATIONS

SHEET
NUMBER
A740

PROJECT
NUMBER
1720

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written consent.