

Planning Commission Minutes
June 22, 2023

(The agenda was filed with the City Clerk of The City of Oklahoma City at 7:36 a.m. on June 20, 2023)

6. (SP-573) Application by WMK, LLC (Mobilityworks), on behalf of Naomi's Properties, LLC, for a Special Permit to operate an Automotive and Equipment: Automobile Dealerships and Malls use (8300.18) in the C-3 Community Commercial District, located at 9701 Northwest Expressway. Ward 1.

The applicant was present. There were no protestors present.

RECOMMENDED APPROVAL.

MOVED BY CLAIR, SECONDED BY PRIVETT

AYES: CLAIR, POWERS, PRIVETT, GOVIN, PENNINGTON, LAFORGE, NOBLE,
NEWMAN



STAFF REPORT
The City of Oklahoma City
Planning Commission
June 22, 2023

Item No. IV. 6.

(SP-573) Application by WMK, LLC (Mobilityworks), on behalf of Naomi's Properties, LLC, for a Special Permit to operate an Automotive and Equipment: Automobile Dealerships and Malls use (8300.18) in the C-3 Community Commercial District, located at 9701 Northwest Expressway. Ward 1.

I. GENERAL INFORMATION

A. Contacts

Applicant/Applicant's Representative
Annmarie Buckingham, Mobilityworks
(234) 200-1379
annmarie.buckingham@mobilityworks.com

B. Case History

This is a new application.

C. Reason for Request

The purpose for this request is to allow an Automotive Dealership.

D. Existing Conditions

1. Comprehensive Plan Land Use Typology Area: Urban - Low Intensity (UL)

UL applies to the least intensively developed areas of the city that still receive urban water, sewer, police, park and fire services. Development in this area should provide horizontal integration of land uses, connectivity within and between individual developments, and design that facilitates pedestrian and bicycle transportation.

2. Size of Site: 6.59 acres

3. Zoning and Land Use

	Subject Site	North	East	South	West
Zoning	C-3	ROW/AA	C-3	ROW/C-3/R-1	PUD-1802
Land Use	Retail	Agricultural	Construction Sales	NW Expressway	Undeveloped

II. SPECIAL PERMIT GENERAL STANDARDS

All special permit uses shall satisfy the following general standards:

- 1) The proposed use shall conform to the policies of the adopted Comprehensive Plan.
- 2) The proposed use shall not adversely affect the use of the neighboring properties.
- 3) Pedestrian and vehicle traffic generated will not be hazardous or in conflict with the existing and anticipated traffic in the neighborhood.
- 4) Adequate utility, drainage, parking, loading, signs, access, and other necessary public facilities to serve the proposed use shall meet the adopted codes of the City.
- 5) The site shall front or have direct access to a street having adequate right-of-way and improvements to support the traffic generated by the proposed use.
- 6) The City Council may impose specific conditions regarding location, design, and operation to assure safety, to prevent a nuisance, and to control the noxious effects of excessive sound, light, odor, dust, or similar conditions. Such conditions may include:
 - a. A requirement that all machinery and facilities be located within an enclosed building; or
 - b. A requirement that certain areas be screened from view of surrounding neighborhoods; or
 - c. A limitation on intensity of lights or hours of operation; or
 - d. Similar measures designed to protect the public interest.

III. ADDITIONAL STANDARDS FOR AUTOMOBILE DEALERSHIPS AND MALLS WITHIN THE C-3 DISTRICT (59-9350.15)

- A. The site shall be located, and have frontage, on an interstate highway, expressway or major arterial street. A site shall not be allowed on a major arterial street with less than 300 feet of public right-of-way if a residential zoning district exists directly across the major arterial street from any portion of the site.

The subject site is located on an expressway.

- B. The traffic generated by such facility shall be safely accommodated along major streets without traversing local minor streets. Vehicular access shall not be permitted between the facility and abutting minor streets with less than 51 feet of public right-of-way.

Access to the site is from Northwest Expressway.

- C. The facility shall be fenced, screened and landscaped as required by this chapter. Establishments with outdoor sales and display may cluster landscaping in order to optimize the view of the automobiles for sale.
- D. As a condition of the granting of a special permit, the City Council may impose such additional requirements, as it deems necessary in the public interest.
- E. The area of Automotive and Equipment: Automobile Dealerships and Malls devoted to incidental uses shall not exceed 40 percent of the area devoted to primary uses. Primary uses shall include inside and outside display and showrooms, while incidental uses shall include automotive painting, body and frame repair, and major repair of motors, transmissions and differentials.

IV. REVIEW COMMENTS

This application was submitted to the following agencies, departments, and/or divisions for review and comment. An asterisk indicates that the agency, department, and/or division responded with no adverse comments.

A. Outside Agencies

- 1. Oklahoma City-County Health Department (OCCHD)**
- 2. Oklahoma City Urban Renewal Authority (OCURA)**
- 3. Oklahoma Gas and Electric (OGE)**
- 4. Oklahoma Water Resources Board (OWRB)**
- 5. School District: Piedmont**
- 6. Oklahoma Department of Transportation (ODOT)**

B. City Departments

- 2. Airports**
- 3. Central Oklahoma Transportation and Parking Authority (COTPA)**
- 4. Fire**
- 5. Information Technology/Geographic Support**
- 6. Parks and Recreation**
- 7. Police**
- 8. Public Works**

a. Engineering

The Public Works Drainage Division staff has reviewed the subject application. All development, new construction, and/or substantial improvements planned within the proposed area shall be subject to chapter 16 of the Oklahoma City Municipal Code.

b. Streets, Traffic and Drainage Maintenance

c. Stormwater Quality Management

d. Traffic Management*

9. Utilities

a. Wastewater Comments

1. An existing 8” wastewater main(s) is located adjacent to the subject site(s).
2. Line capacity is not guaranteed and must be checked by the Engineer of Record and reviewed by the City.
3. The developer will be required to extend the City wastewater collection system to and across each lot or site within the subdivision in accordance with the City Standard Specifications and Private Development Design Manual.
4. Minimum ten (10) feet horizontal separation is required from water mains and five (5) feet for other utilities. Minimum two (2) feet vertical separation required for all crossings. All wastewater mains must have a

minimum cover of four (4) feet and depth no greater than eighteen (18) feet. Developer is responsible for remediating any failure to maintain the minimum four (4) feet of cover.

5. Wastewater main(s) must be centrally located in a twenty (20) feet wide easement or larger if necessary. No trees, signs, dumpster, fence, and/or structures shall be permitted over any proposed or existing utility main. An approved revocable permit must be obtained to have any private improvement located within any utility easement and/or right-of-way.
6. All existing unused private wastewater service connections must be abandoned and capped at the main in accordance with City Standard Specifications and Private Development Design Manual.

b. Water Comments

1. An existing 16” water main(s) is located adjacent to the subject site(s).
2. Minimum ten (10) feet horizontal separation required from wastewater mains and five (5) feet for other utilities. Minimum two (2) foot vertical separation required for all utility crossings. All water mains must have a minimum cover of five (5) feet along section line roads and four (4) feet elsewhere.
3. Proposed and/or existing water mains must be located centrally within a twenty (20) feet wide or larger utility easement or right-of-way. No trees, signs, dumpster, fence, and/or structures shall be permitted over any proposed or existing utility main. An approved revocable permit must be obtained to have any private improvement located within any utility easement and/or right-of-way.
4. Dead-end water mains must be avoided when possible. All existing unused water services must be capped and abandoned at the water main in accordance with the City Standard Specifications.
5. In accordance with ODEQ regulations, the City provides water at a minimum pressure of 25 psi. The developer is responsible for designing and construction of all fixtures to provide adequate domestic and fire protection under
6. minimum pressure conditions. The developer will be responsible for any failure of domestic or fire protection systems which require water pressure more than 25 psi. The developer is responsible for installing pressure reducers if necessary for protection of developer’s service lines, plumbing, and fixtures.
7. All existing and/or proposed water meters must be located in the right-of-way and/or utility easement within grassy areas outside of sidewalks, driveways, streets, and paving.
8. All domestic and fire suppression services must have a separate water service connection. Fire hydrant spacing shall not exceed 500 feet and must be located

within ten (10) of a hard surface (i.e. sidewalk, street, paving).

9. Supply capacity for development is not guaranteed and will be reviewed at time of review of construction documents.

c. Solid Waste Management

The City cannot service. Contact private hauler.

10. Planning

The proposed Special Permit would allow an automobile dealership along the north side of Northwest Expressway, between N County Line Road and the Kilpatrick Turnpike. The site is zoned C-3 and developed with a building previously used as retail for small vehicles/equipment. The site abuts a stone yard on the east, and undeveloped PUD-1803 on the west, which was approved in 2021 and allows all C-3 uses plus an automobile dealership.

Auto sales require a Special Permit in the C-3 District. The use is subject to the additional standards listed above. The proposal is consistent with the surrounding area and no compatibility issues were identified.

V. STAFF RECOMMENDATION

Staff recommendations are advisory only and do not constitute Planning Commission decisions. Staff recommendations are based on a technical evaluation of information submitted at the time of review. Planning Commission decisions require a vote of five members to approve or deny an item. The Planning Commission may consider in its decision-making process any additional relevant information presented at the public hearing by the public, applicant, and/or City departments.

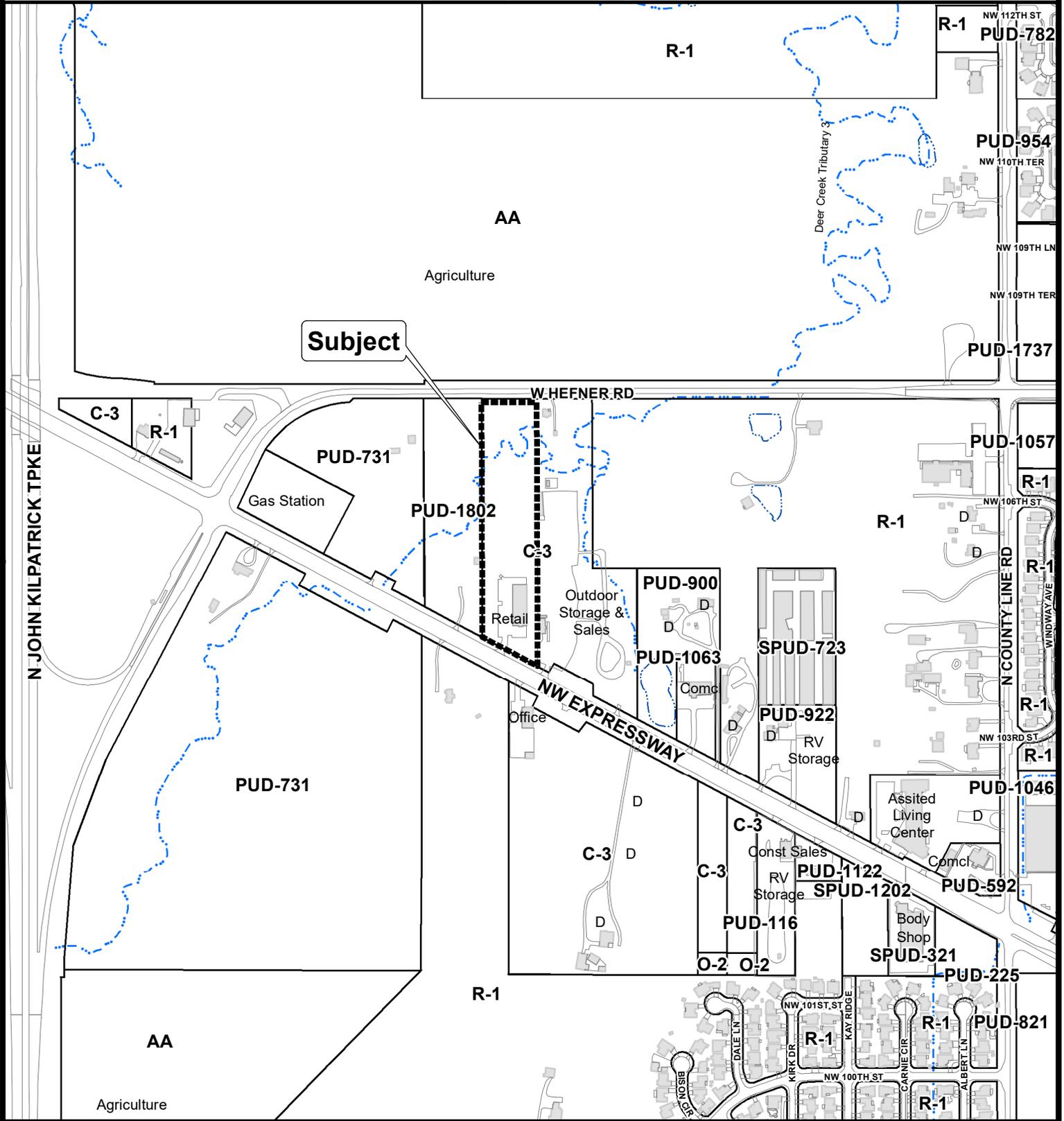
Approval of the application.

sw

Case No: SP-573 Applicant: WMK, LLC dba Mobility Works on behalf of Naomi's Properties, LLC

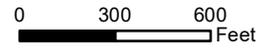
Address: 9701 NW Expressway Present Zoning: C-3

Proposed Use: Auto Dealership & Repair Facility



The City of OKLAHOMA CITY

Special Permit Application



Case No: SP-573 Applicant: WMK, LLC dba Mobility Works on behalf of Naomi's Properties, LLC

Address: 9701 NW Expressway Present Zoning: C-3

Proposed Use: Auto Dealership & Repair Facility



Aerial Photo from 2/2022



The City of OKLAHOMA CITY

Special Permit Application



0 300 600 Feet

PROJECT:
TRACTOR BOB

PROJECT ADDRESS:
**9701 Northwest
 Expressway 73099**

415 Broadway Ave
 Oklahoma City
 Oklahoma 73102



V.405.232.8787
 F.405.232.8810

www.taparchitecture.com

ARCHITECT'S
 SEAL



PROJECT

TRACTOR BOB
 9701 Northwest Expressway
 73099

DRAWING
 FOR

FOR CONSTRUCTION
 PRELIMINARY - NOT FOR CONSTRUCTION

REVIEW SET
 FOR:

ISSUE
 DATE

**100% ISSUE TO
 OWNER 01/19/2018**

SHEET

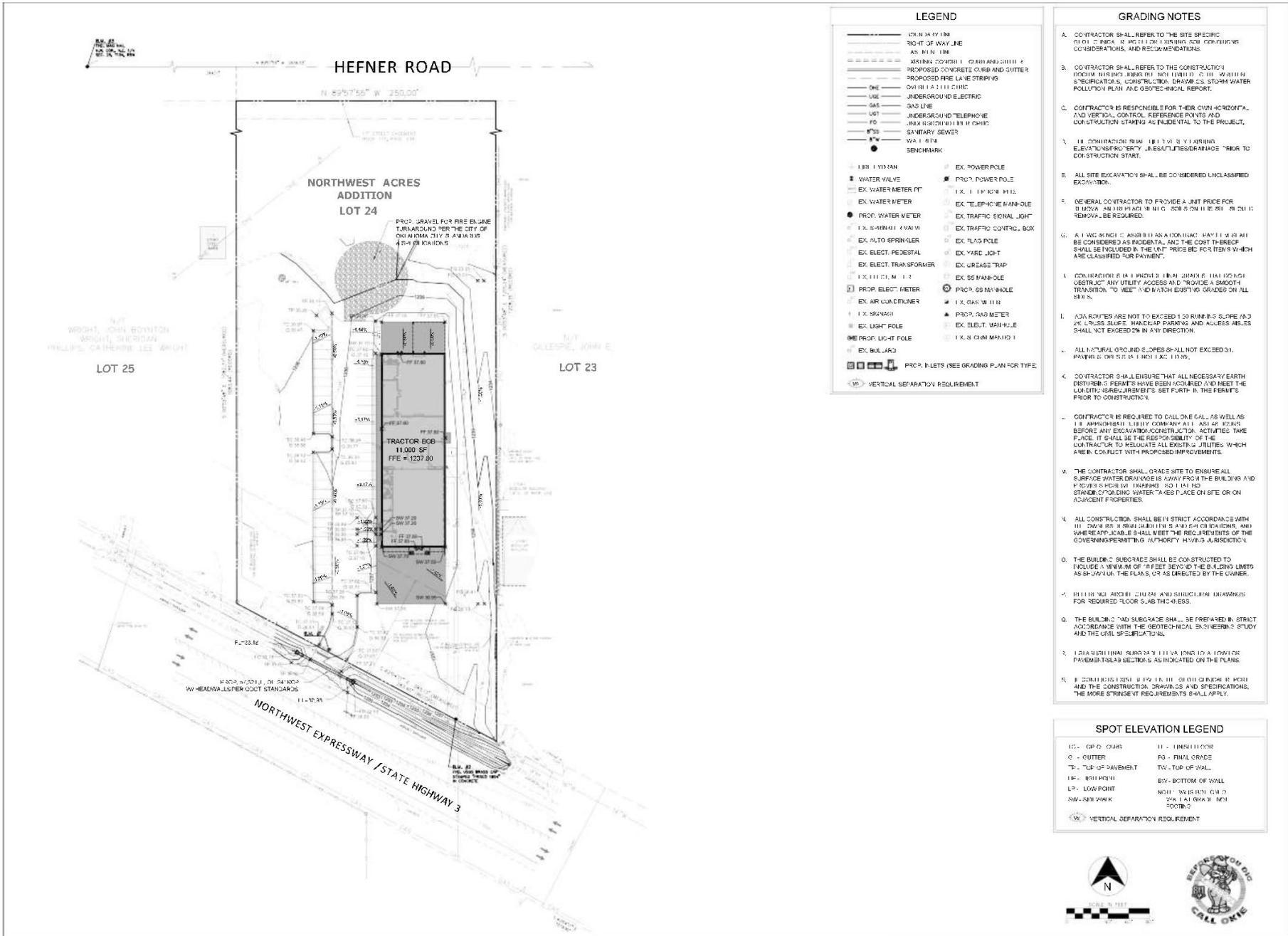
COVER SHEET

PROJECT
 NUMBER

1720

All drawings are subject to change without notice. No part of this drawing shall be reproduced without the written consent of TAP Architecture.

CLIENT TRACTOR BOB NEAL SNOW NACOM'S PROPERTIES P.O. BOX MM NORMAN, OKLAHOMA 73070 PHONE: 405-305-0512 FAX:	ARCHITECT TAP Architecture PROJECT ARCHITECT: Anthony McDermid PROJECT MANAGER: Chris Teehee PROJECT DESIGNER: Alison Fredrickson (Interior) 415 N Broadway Ave Oklahoma City, Oklahoma 73102 PHONE: 405-232-8787 FAX: 405-232-8810
STRUCTURAL ENGINEER EUDALEY ENGINEERING Brian Baker 66510 NW 39TH STREET BETHANY, OKLAHOMA 73008 PHONE: 405-789-4433 FAX:	MECHANICAL ENGINEER PHONE: FAX:
ELECTRICAL ENGINEER PHONE: FAX:	CIVIL ENGINEER CEDAR CREEK CONSULTING JASON EMMET P.O. BOX 14534 OKLAHOMA CITY, OKLAHOMA 73113 PHONE: 405.406.4622 FAX:
NOTES - Architectural plans were prepared by the Architect or under his direct supervision as a consultant to the owner. - All questions, clarifications, and construction details should be directed to the Architect or to the appropriate design consultant.	



LEGEND

-----	100.00% EY LINE	-----	EX. POWER POLE
-----	RIGHT OF WAY LINE	-----	PROJ. POWER POLE
-----	AS-BUILT LINE	-----	EX. WATER METER
-----	EXISTING CONCRETE CURB AND GUTTER	-----	PROJ. WATER METER
-----	PROPOSED CONCRETE CURB AND GUTTER	-----	EX. WATER METER FT
-----	PROPOSED FIRE LANE STRIPING	-----	EX. ELECT. TRANSFORMER
-----	EXISTING UTILITY CHASE	-----	EX. ELECT. PEDESTAL
-----	UNDERGROUND ELECTRIC	-----	EX. ELECT. TRANSFORMER
-----	WATER	-----	EX. AIR CONDITIONER
-----	GAS	-----	EX. SANITARY
-----	UNDERGROUND TELEPHONE	-----	EX. LIGHT POLE
-----	UNDERGROUND TELEPHONE	-----	EX. BOLLARD
-----	SEWERY	-----	PROJ. INLETS (SEE GRADING PLAN FOR TYPE)
-----	WALL LINE	-----	VERTICAL SEPARATION REQUIREMENT
●	BENCHMARK		

- ### GRADING NOTES
- CONTRACTOR SHALL REFER TO THE SITE SPECIFIC DRAINAGE REPORT FOR DRAINAGE CONSIDERATIONS, AND RECOMMENDATIONS.
 - CONTRACTOR SHALL REFER TO THE CONSTRUCTION DRAINAGE REPORT FOR DRAINAGE CONSIDERATIONS, AND RECOMMENDATIONS.
 - CONTRACTOR IS RESPONSIBLE FOR THEIR OWN HORIZONTAL AND VERTICAL CONTROL REFERENCE POINTS AND CONSTRUCTION STAKES AS INCIDENTAL TO THE PROJECT.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR THE ELEVATION SURFACE TO BE USED FOR DRAINAGE PRIOR TO CONSTRUCTION START.
 - ALL SITE EXCAVATION SHALL BE CONSIDERED UNCLASSIFIED EXCAVATION.
 - GENERAL CONTRACTOR TO PROVIDE A UNIT PRICE FOR DRAINAGE AND REMOVAL OF EXISTING CURB AND GUTTER. REMOVAL SHALL BE REQUIRED.
 - ALL EXISTING CURB AND GUTTER SHALL BE REMOVED AND RECONSTRUCTED TO PROVIDE A SMOOTH TRANSITION TO THE NEW PAVED SURFACE. GRADING SHALL BE REQUIRED.
 - CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION TO THE NEW PAVED SURFACE. GRADING SHALL BE REQUIRED.
 - ADDITIONAL NOTES: ALL EXISTING UTILITIES SHALL BE PROTECTED AND MAINTAINED. ANY UTILITIES THAT DO NOT EXIST SHALL BE CONSIDERED INCIDENTAL AND THE COST THEREOF SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS WHICH ARE CLASSIFIED FOR PAYMENT.
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SPOT ELEVATION LEGEND

○	GRID CORNER	○	FINISH FLOOR
○	CUTTER	○	FINAL GRADE
○	TOP OF PAVEMENT	○	TOP OF WALL
○	TOP OF WALL	○	BOTTOM OF WALL
○	LOW POINT	○	WATER TABLE
○	WATER TABLE	○	VERTICAL SEPARATION REQUIREMENT

418 Broadway
Oklahoma City
Oklahoma 73102

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ARCHITECT'S SEAL
Professional Engineer
9/10/2022

PROJECT
TRACTOR BOB
9701 NORTHWEST EXPRESSWAY
OKLAHOMA CITY, OKLAHOMA 73109

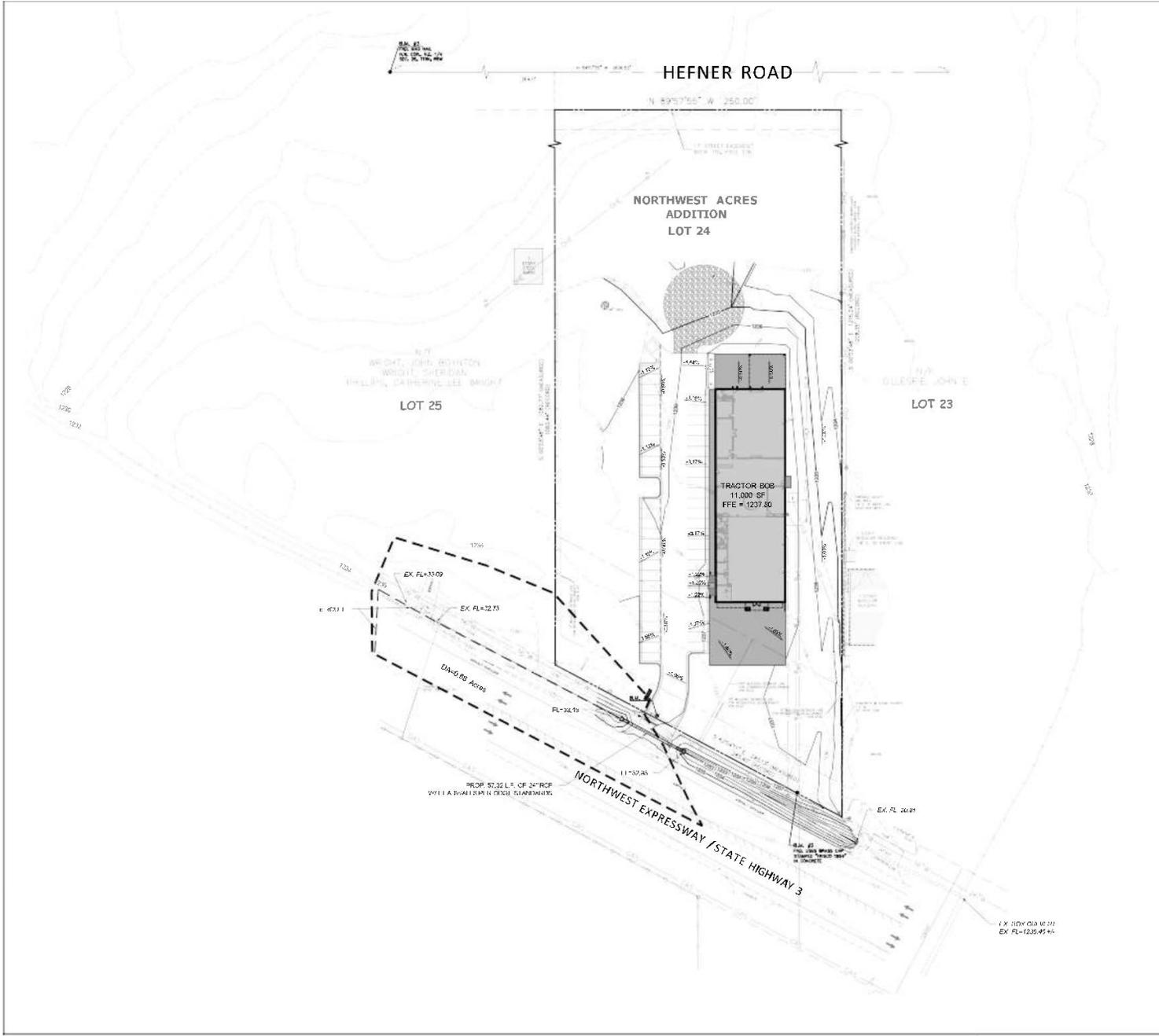
ISSUED
REVISED
DATE: 02-23-2023
REVISION PER OKC SPECIFIC
DATE: 07-13-2023

REVISION PER OKC SPECIFIC
DATE: 08-10-2023

SHEET TITLE
GRADING PLAN

SHEET NUMBER
C3.00

ALL drawings are within state and federal standards and specifications of the State of Oklahoma and shall be subject to the rules and regulations of the Oklahoma Board of Professional Engineers.



GRADING NOTES

1. CONTRACTOR SHALL REFER TO THE SITE SPECIFIC DRAINAGE PLAN FOR DRAINAGE SLOPE CONSIDERATIONS, AND RECOMMENDATIONS.
2. CONTRACTOR SHALL REFER TO THE CONSTRUCTION DOCUMENTS INCLUDING BUT NOT LIMITED TO THE WRITTEN SURVEY, CONSTRUCTION, UTILITIES, SLOPE, WALL, POLLUTION PLAN AND GEOTECHNICAL REPORT.
3. CONTRACTOR IS RESPONSIBLE FOR THEIR OWN HORIZONTAL AND VERTICAL CONTROL, REFERENCE POINTS AND CONSTRUCTION STAKES AS INCIDENTAL TO THE PROJECT.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING ELEVATION PROFILES, UTILITIES DRAINAGE PRIOR TO CONSTRUCTION START.
5. ALL SITE EXCAVATION SHALL BE CONSIDERED UNCLASSIFIED EXCAVATION.
6. GENERAL CONTRACTOR TO PROVIDE A UNIT PRICE FOR EXCAVATION AND REMOVAL OF EXISTING CONCRETE, BRICK, OR OTHER MATERIALS TO BE REMOVED. REMOVE TO BE REMOVED.
7. ALL WORK SHALL BE CONSIDERED INCIDENTAL AND THE COST THEREOF SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS WHICH ARE CLASSIFIED FOR PAYMENT.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND PROVIDE A SMOOTH TRANSITION TO MEET AND MATCH EXISTING GRADES ON ALL SITES.
9. ALL NATURAL GROUND SLOPES SHALL NOT EXCEED 3% UNLESS SHOWN OTHERWISE ON THE PLANS.
10. CONTRACTOR SHALL ENSURE THAT ALL NECESSARY EARTH DISTURBANCE PERMITS HAVE BEEN OBTAINED AND MEET THE QUALITY REQUIREMENTS SET FORTH IN THE PERMITS PRIOR TO CONSTRUCTION.
11. CONTRACTOR IS REQUIRED TO CALL LOCAL AS WELL AS THE APPLICABLE UTILITY COMPANIES AND LOCATE BEFORE ANY EXCAVATION/CONSTRUCTION ACTIVITIES TAKE PLACE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH ARE IN CONFLICT WITH PROPOSED IMPROVEMENTS.
12. THE CONTRACTOR SHALL GRADE SITE TO ENSURE ALL SURFACE WATER DRAINAGE IS AWAY FROM THE BUILDING AND PAVED SURFACES TO TRAPPING SO THAT NO STANDING OR POOLING WATER TAKES PLACE ON SITE OR ON ADJACENT PROPERTIES.
13. ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS AND WHERE APPLICABLE SHALL MEET THE REQUIREMENTS OF THE GOVERNING PERMITS AUTHORITY HAVING JURISDICTION.
14. THE BUILDING SUBGRADE SHALL BE CONSTRUCTED TO INCLUDE A MINIMUM OF 10 FEET BEYOND THE BUILDING LIMITS AS SHOWN ON THE PLANS, OR AS DIRECTED BY THE OWNER.
15. THE BUILDING ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR REQUIRED FLOOR SLAB THICKNESS.
16. THE BUILDING AND SUBGRADE SHALL BE PREPARED IN STRICT ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S STUDY AND THE CIVIL SPECIFICATIONS.
17. FOR SURFACE PAVEMENTS TO BE CONSTRUCTED ON A LOW-CURVE PAVEMENT AS LINES AS INDICATED ON THE PLANS.
18. IF CONSTRUCTION IS TO BE CONDUCTED IN AREAS WHERE THE CONSTRUCTION DRAWINGS AND SPECIFICATIONS, THE MORE STRINGENT REQUIREMENTS SHALL APPLY.

SPOT ELEVATION LEGEND

CG - CATCH BASIN	FF - FINISH FLOOR
C - CUTTER	FG - FINAL GRADE
TP - TOP OF PAVEMENT	TW - TOP OF WALL
BP - BOTTOM POINT	BY - BOTTOM OF WALL
LP - LOW POINT	NSH - NATURE'S HIGH SPOTS
SW - SWATH MARK	NSH - NATURE'S HIGH SPOTS
VS - VERTICAL SEPARATION REQUIREMENT	



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F. 424.722.8176
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ARCHITECT'S SEAL

REGISTERED PROFESSIONAL ARCHITECT
STATE OF OKLAHOMA
8/10/15
Jonathan J. Smith

PROJECT

TRACTOR BOB
9701 NORTHWEST EXPRESSWAY
OKLAHOMA CITY, OKLAHOMA 73109

ISSUED REVISIONS

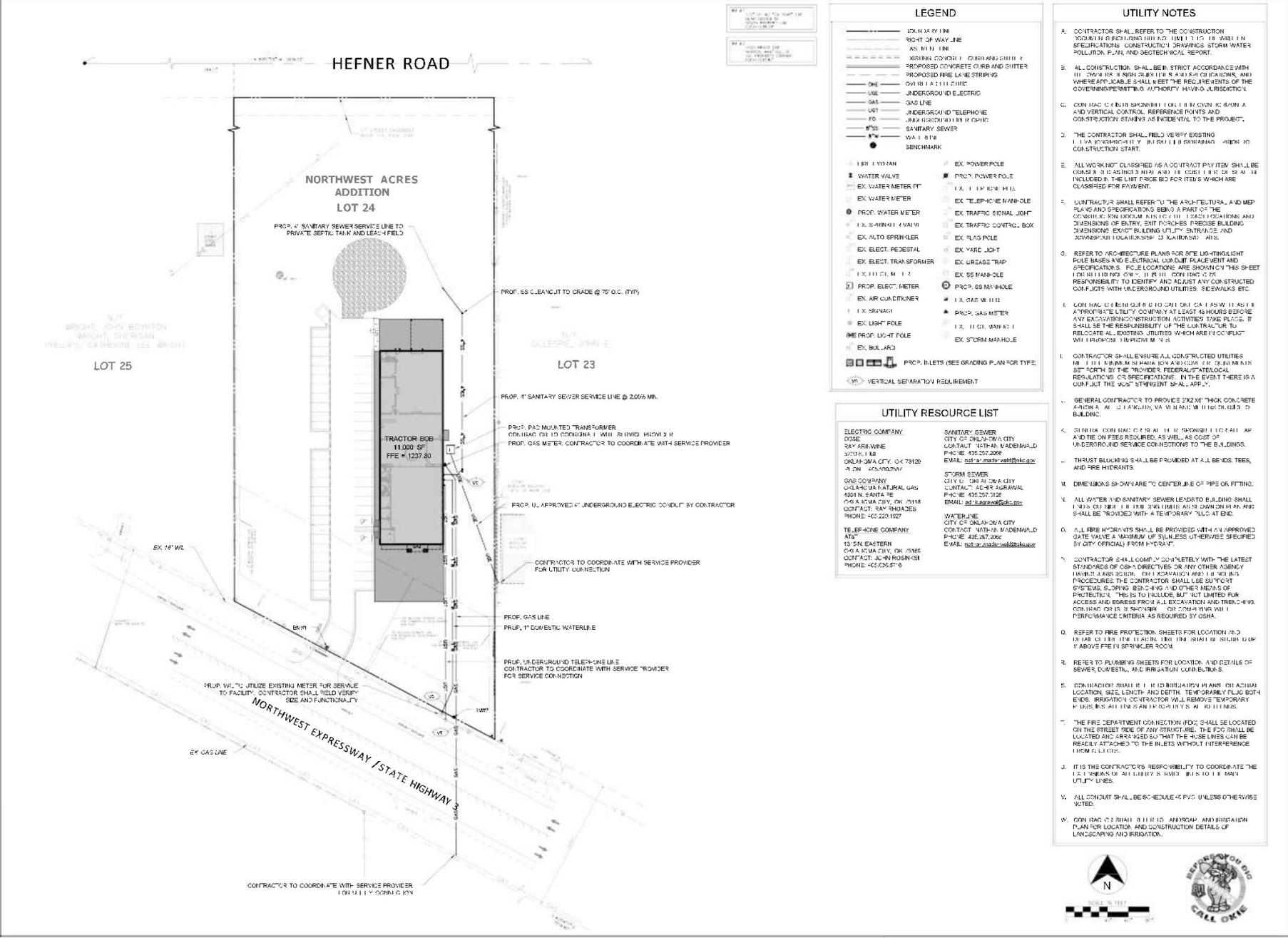
DATE	DESCRIPTION
02-21-2023	REVISION PER OKC 306.02
02-27-2023	REVISION PER OKC 306.02

SHEET TITLE
DRAINAGE MAP

SHEET NUMBER
C3.01

IN CHARGE

All drawings are null and void unless accompanied by a set of specifications and approved by the client.



418 Broadway
Oklahoma City
Oklahoma 73102

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V. 2022.07.07
F. 2022.07.07
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PROFESSIONAL ENGINEER
OKLAHOMA
8/10/2022
J. W. [Signature]

PROJECT

TRACTOR BOB
9701 NORTHWEST EXPRESSWAY
OKLAHOMA CITY, OKLAHOMA 73099

ISSUED REVISIONS

DATE	DESCRIPTION
07-21-2022	ISSUE FOR PERMIT
07-21-2022	REVISION PER OKC SWM/FW DATE: 07-21-2022
07-21-2022	REVISION PER OKC SWM/FW DATE: 07-21-2022

SHEET TITLE

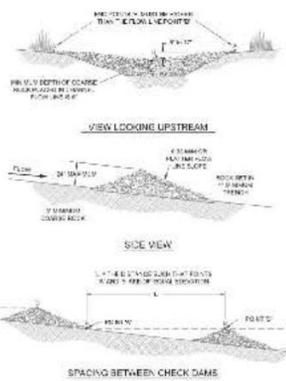
UTILITY PLAN

SHEET NUMBER

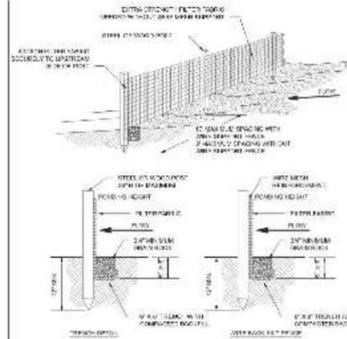
C4.00

INCHES

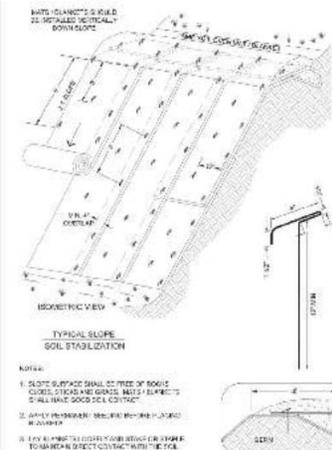
ALL BUILDINGS ARE MILLER WATER MAINS. CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF ALL UTILITIES AND OTHER FEATURES OF THE PROJECT. THIS IS TO INCLUDE, BUT NOT LIMITED TO, ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONSTRUCTION SHALL BE STOPPED IMMEDIATELY IF ANY UNDESIRABLE CRITERIA AS REQUIRED BY OSHA.



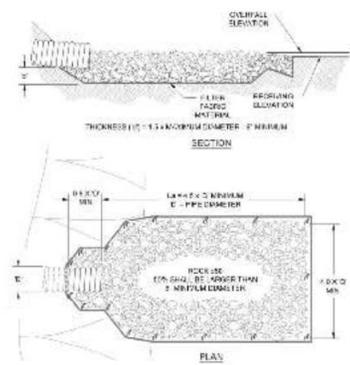
ROCK CHECK DAMS
 CITY OF OKLAHOMA CITY PUBLIC WORKS DEPARTMENT
 STORM WATER QUALITY MANAGEMENT DIVISION
 FORM 27
 © 2017 OKLAHOMA CITY PUBLIC WORKS DEPARTMENT



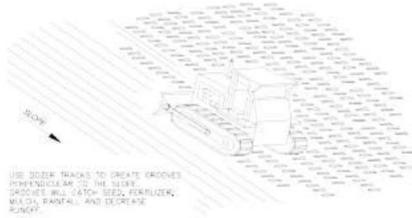
EROSION BLANKET & TURF REINFORCEMENT MATS - SLOPE INSTALLATION
 CITY OF OKLAHOMA CITY PUBLIC WORKS DEPARTMENT
 STORM WATER QUALITY MANAGEMENT DIVISION
 FORM 210
 © 2017 OKLAHOMA CITY PUBLIC WORKS DEPARTMENT



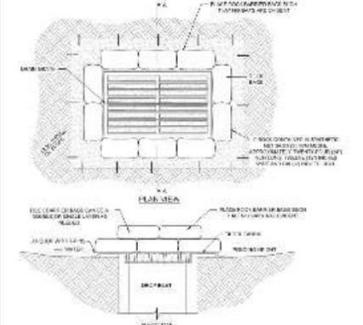
ROCK BAG 1 FILTER MAT DROP INLET SEDIMENT BARRIER
 CITY OF OKLAHOMA CITY PUBLIC WORKS DEPARTMENT
 STORM WATER QUALITY MANAGEMENT DIVISION
 FORM 1715
 © 2017 OKLAHOMA CITY PUBLIC WORKS DEPARTMENT



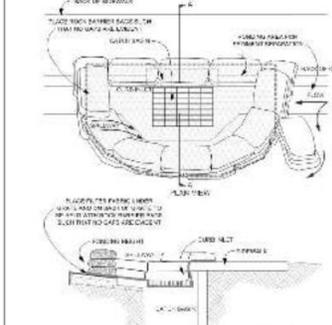
ROCK BAG CURB INLET BARRIER
 CITY OF OKLAHOMA CITY PUBLIC WORKS DEPARTMENT
 STORM WATER QUALITY MANAGEMENT DIVISION
 FORM 174
 © 2017 OKLAHOMA CITY PUBLIC WORKS DEPARTMENT



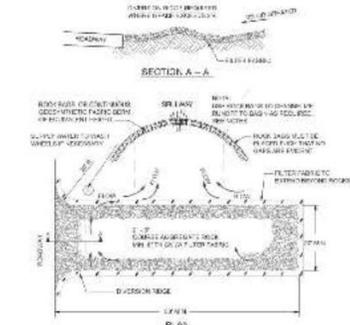
USE DEER TRACKS TO CREATE GROOVES IN SIDEWALKS TO THE REAR. GROOVES WILL CATCH SEED, FERTILIZER, MELT, RAINFALL AND DECREASE SLIP.



ROCK BAG CURB INLET BARRIER
 CITY OF OKLAHOMA CITY PUBLIC WORKS DEPARTMENT
 STORM WATER QUALITY MANAGEMENT DIVISION
 FORM 174
 © 2017 OKLAHOMA CITY PUBLIC WORKS DEPARTMENT



TEMPORARY ROCK CONSTRUCTION ENTRANCE / EXIT
 CITY OF OKLAHOMA CITY PUBLIC WORKS DEPARTMENT
 STORM WATER QUALITY MANAGEMENT DIVISION
 FORM 174
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TEMPORARY ROCK CONSTRUCTION ENTRANCE / EXIT
 CITY OF OKLAHOMA CITY PUBLIC WORKS DEPARTMENT
 STORM WATER QUALITY MANAGEMENT DIVISION
 FORM 174
 © 2017 OKLAHOMA CITY PUBLIC WORKS DEPARTMENT

NOTE: ALL EROSION CONTROL BMPs SHALL BE INSTALLED IN ACCORDANCE WITH OKLAHOMA CITY STANDARDS.

416 Broadway
 Oklahoma City
 Oklahoma 73102

TAP ARCHITECTURE

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ARCHITECT'S SEAL

REGISTERED PROFESSIONAL ENGINEER
 CIVIL ENGINE
 STATE OF OKLAHOMA

PROJECT

TRACTOR BOB
 9701 NORTHWEST EXPRESSWAY
 OKLAHOMA CITY, OKLAHOMA 73109

ISSUED REVISIONS

DATE: 02-28-2018
 REVISION PER: OKC: SFW/ML
 DATE: 07-13-2018

REVISION PER: OKC: SFW/ML
 DATE: 08-10-2018

SHEET TITLE

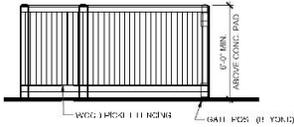
EROSION CONTROL DETAILS

SHEET NUMBER

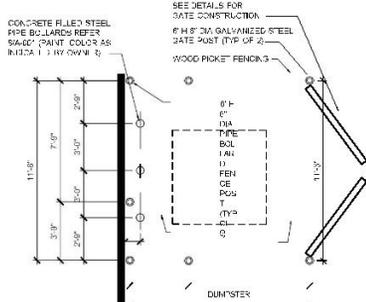
C5.01

REVISED

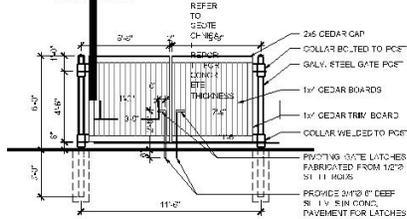
ALL drawings are within state of Oklahoma and shall comply with Oklahoma City standards.



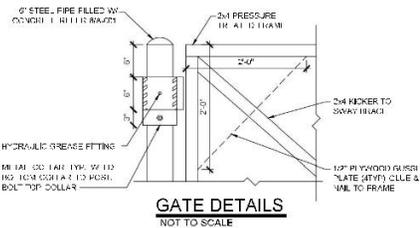
DUMPSTER ENCLOSURE ELEVATION
NOT TO SCALE



DUMPSTER ENCLOSURE PLAN
NOT TO SCALE

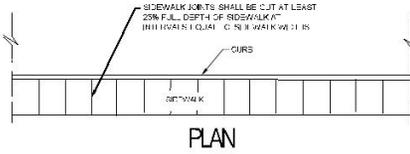


DUMPSTER ENCLOSURE GATE
NOT TO SCALE

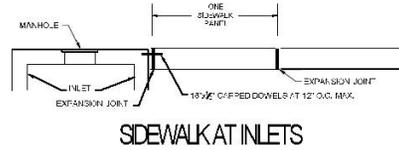


GATE DETAILS
NOT TO SCALE

WOOD DUMPSTER ENCLOSURE DETAIL (SINGLE)
NOT TO SCALE

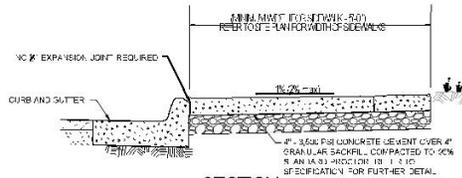


PLAN



SIDEWALK AT INLETS

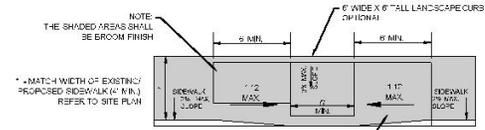
- NOT:**
- 10\"/>



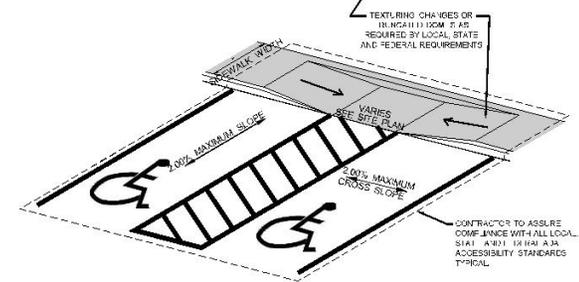
SECTION

JOINTS SHALL BE CUT AT LEAST 20% FULL DEPTH OF SIDEWALK

SIDEWALK DETAIL
NOT TO SCALE

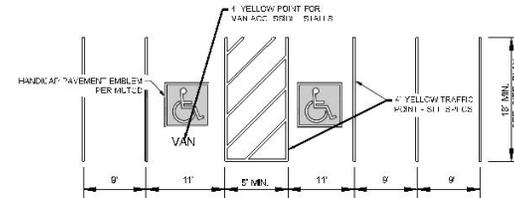


• MATCH WIDTH OF EXISTING PROPOSED SIDEWALK (4\"/>

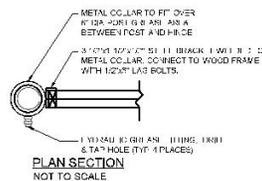


COMPLIES WITH:
ANSI A117.1-2003 EDITION 426 Pg. 24
ANSI A117.1-2003 EDITION 2021 Pg. 40

SPECIAL ACCESSIBLE RAMP DETAIL
NOT TO SCALE



STANDARD PARKING LAYOUT DETAIL
NOT TO SCALE



PLAN SECTION
NOT TO SCALE

416 Broadway
Oklahoma City
Oklahoma 73102



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F. 424.722.8176
WWW.TAPARCHITECTURE.COM

ARCHITECT'S SEAL



PROJECT

TRACTOR BOB
9701 NORTHWEST EXPRESSWAY
OKLAHOMA CITY, OKLAHOMA 73099

ISSUES

REVISIONS

DATE: 07-31-2023

REVISION PER: OKC/SF/WH

DATE: 07-31-2023

REVISION PER: OKC/SF/WH

DATE: 08-10-2023

SHEET

11-1-E

STANDARD

DETAILS

SHEET

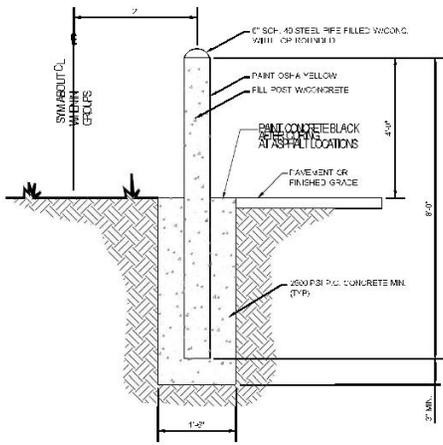
NUMBER

C6.00

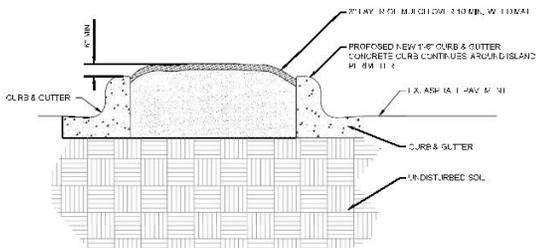
PROJECT

NUMBER

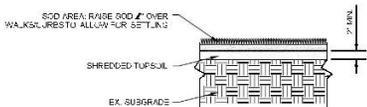
All drawings are within
order and shall constitute
a set of work of
contract documents. No
specific shall be added without
written approval.



BOLLARD DETAIL
NOT TO SCALE

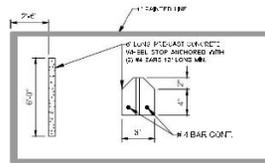


ISLAND DETAIL
NOT TO SCALE

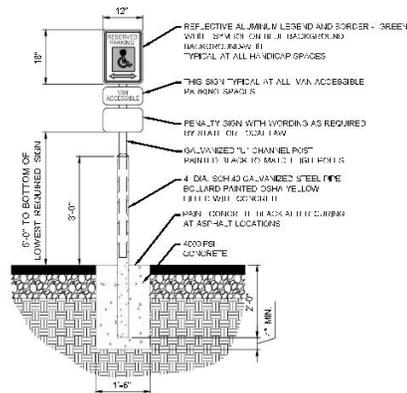


NOTE: REMOVE WEEDS AND DEBRIS FROM ALL SURFACE AREAS PRIOR TO LAYING SOD OR SEEDING. ALLOW TO DRAIN AWAY FROM BUILDINGS. ADHERE TO THE FOLLOWING SUPPLEMENTAL WATER SCHEDULE AS NECESSARY FOR UNIFORM GRASS ESTABLISHMENT.

APPROXIMATE SUPPLEMENTAL WATER FOR AN AVERAGE TRADITIONAL LAWN (INCHES PER WEEK)						
APRIL	MAY	JUNE	JULY	AUGUST	SEPTEMBER	OCTOBER
0.25"	0.25"	NOT TO SCALE	0.25"	1.2"	0.75"	0.5"
SOD PLANTING DETAIL						
						R

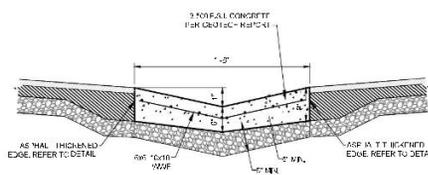


WHEEL STOP DETAIL
NOT TO SCALE



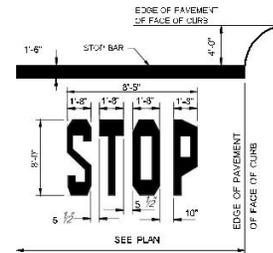
HANDICAP PARKING SIGN DETAIL
NOT TO SCALE

ONE AT EACH HANDICAP SPACE. WHERE HANDICAP SPACES FACE EACH OTHER WITHOUT WALKWAY, THERE SHALL BE ONE POST WITH SIGNS MOUNTED TO BOTH SPACES.



TRICKLE CHANNEL IN PARKING LOT DETAIL
NOT TO SCALE

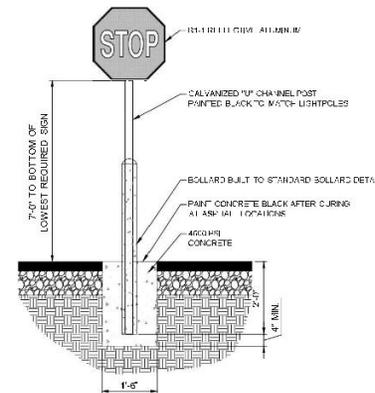
NOTE: THIS DETAIL IS ONLY TO BE USED IN A PARKING LOT WHERE SURFES IN A VALLEY ARE LESS THAN 100% AND WHERE ASPHALT HAS BEEN CHOSEN TO BE INSTALLED INSTEAD OF CONCRETE.



STOP BAR DETAIL
NOT TO SCALE

NOTE:

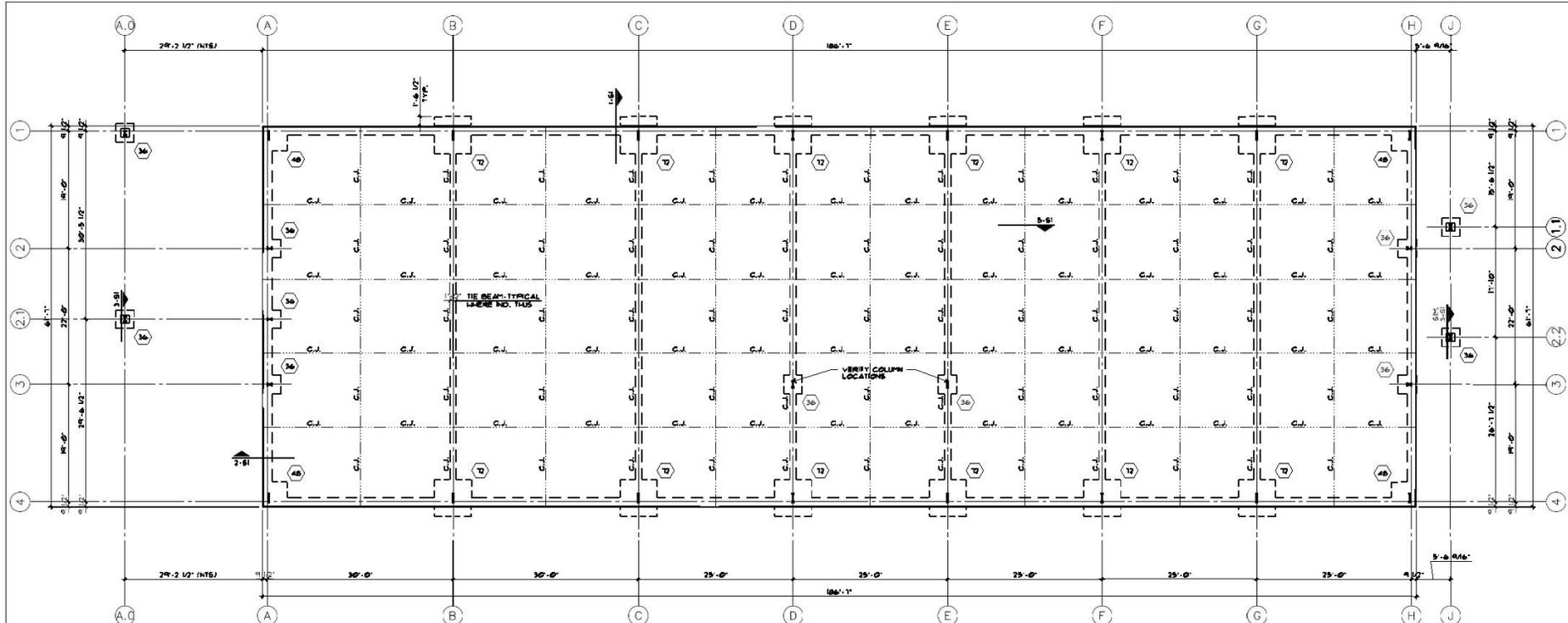
- WORDS AND ARROWS FOR DRIVEWAYS SHALL BE APPLIED ACCORDING TO SPECIFICATIONS AS OUTLINED IN SECTION 909 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
- THESE WORDS AND ARROWS TO BE PRINTED REFLECTIVE WHITE.



STOP SIGN DETAIL
NOT TO SCALE



DATE	BY	DESCRIPTION
02-21-2013	PC	ISSUE FOR CONSTRUCTION
07-14-2013	PC	REVISION PER OKC SPECIFICATIONS
07-14-2013	PC	REVISION PER OKC SPECIFICATIONS



FOUNDATION PLAN

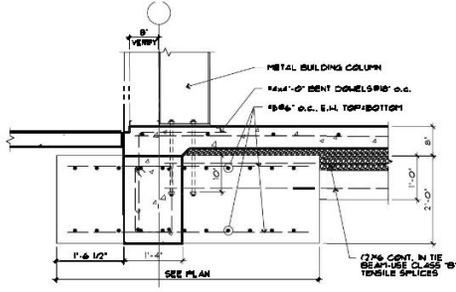
SCALE: 1/8"=1'-0" 1103291

TYPICAL SLAB ON GRADE IS 6" CONCRETE REIN. #4@18" O.C. OVER 1/2" ML VAPOR BARRIER OVER 6" AGGREGATE BASE OVER PROPERLY COMPACTED SUBGRADE. CONCRETE FOR SLAB SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3500 P.S.I.

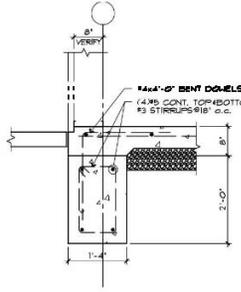
THIS FOUNDATION HAS BEEN PREPARED WITHOUT GEOTECHNICAL INFORMATION AND AN ALLOWABLE BEARING STRENGTH OF 1500 P.S.F. HAS BEEN ASSUMED. THE OWNER IS RESPONSIBLE FOR VERIFYING ADEQUATE BEARING CAPACITY AND SUITABLE SOIL CONDITIONS.

IN ADDITION FOOTING LOADS HAVE BEEN ESTIMATED AND THE OWNER SHOULD PROVIDE INFORMATION FROM THE METAL BUILDING SUPPLIER FOR VERIFICATION BY FOUNDATION ENGINEER.

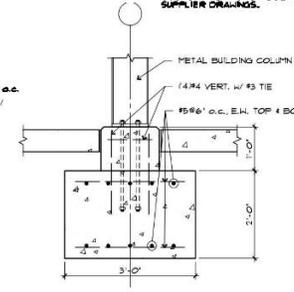
- ①2 INDICATES FOOTING WIDTH.
- CONCRETE FOR FOOTINGS SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 P.S.I.
- COORDINATE ANCHOR BOLT SIZES AND LOCATIONS WITH METAL BUILDING SUPPLIER DRAWINGS.



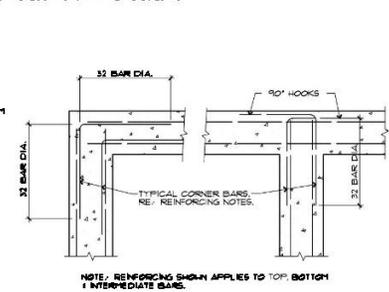
1 FOOTING SECTION
SCALE: 3/4"=1'-0" 1103291



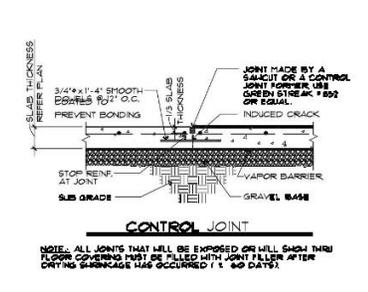
2 FOOTING SECTION
SCALE: 3/4"=1'-0" 1103292



3 FOOTING SECTION
SCALE: 3/4"=1'-0" 1103293



4 CORNER REINFORCING DETAIL
SCALE: NONE 1103294



5 SLAB JOINT DETAIL
SCALE: NONE 1103295

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SEAL
MARK EUDALEY
REGISTERED PROFESSIONAL ENGINEER
MEMBER, N.A.S. 2015, Engineering
Birmingham, AL 35209
PH: 405.386.4433 FAX: 405.726.4382
CA: 899.999.9999 MOBILE: 717.552



PROJECT

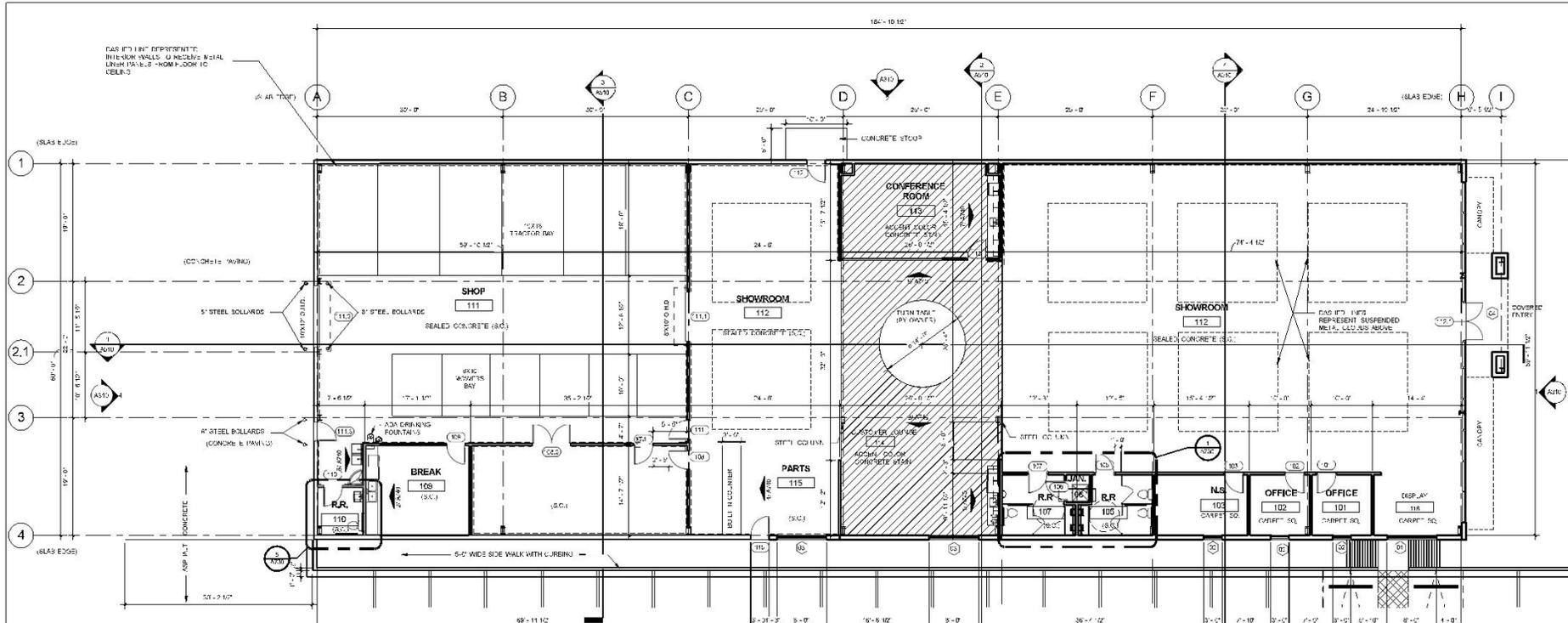
TRACTOR BOB
8701 Northwest Expressway
OKLAHOMA CITY, OKLAHOMA 73098

ISSUES
REVISIONS
100% ISSUE TO OWNER
DATE: 01-18-2018

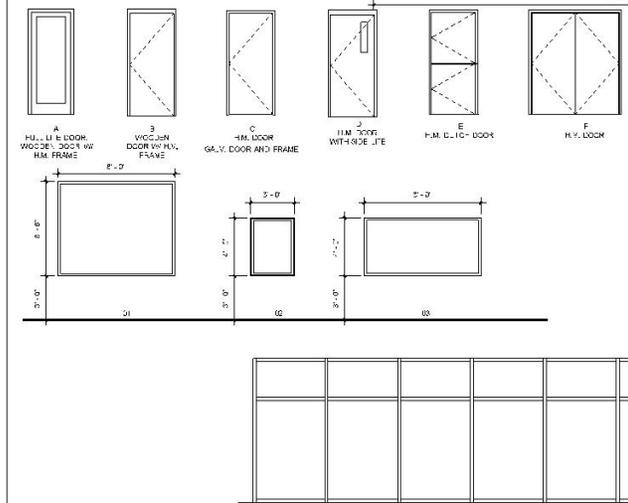
SHEET
TITLE
FOUNDATION PLAN
DETAILS

SHEET
NO. 1103291
S1
PROJECT
NUMBER
1720

All drawings and written
material herein constitute
original work of
TAP Architecture and may
only be duplicated with their
written consent.



1 DIMENSION AND REFERENCE FLOOR PLAN
1/8" = 1'-0"



2 DOOR AND WINDOWS TYPES
1/4" = 1'-0"

DOOR NO.	To Room: Name	DOOR SIZE		D	F	HARDWAR E	RATIN G	DETAILS			REMARK S
		WIDT	HEIGHT					HEAD	JAMB	SILL	
101	OFFICE	3'-0"	7'-0"	A	R						
102	OFFICE	3'-0"	7'-0"	A	A						
103	N.S.	3'-0"	7'-0"	A							
106	R.R.	3'-0"	7'-0"	BR	M						
106	JAN.	3'-0"	7'-0"	B	E						
107	R.R.	3'-0"	7'-0"	B	E						
108	PARTS	3'-0"	7'-0"	C _v	GALV.						
108.1	PARTS	3'-0"	7'-0"	C _v	GALV.						
108.2	PARTS	6'-0"	7'-0"	FP	Y						
109	BREAK	3'-0"	7'-0"	C	GALV.						
110	R.R.	3'-0"	7'-0"	C _v	GALV.						
111	SHOP	3'-0"	7'-0"	D	E						
111.1	SHOP	8'-0"	10'-0"	-	-						
111.2	SHOP	10'-0"	12'-0"	-	-						
111.3	SHOP	3'-0"	7'-0"	C	GALV.						
112	SHOWROOM	3'-0"	7'-0"	C	GALV.						
112.1	SHOWROOM	6'-0"	7'-0"	C	GALV.						
113	CONFERENCE ROOM	3'-0"	7'-0"	C	GALV.						ALUMINUM STOREFRONT SYSTEM BUTT GLAZING SYSTEM
115	PARTS	3'-0"	7'-0"	C	GALV.						

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ARCHITECTS
SEAL

ANTHONY DAVID ALBERDIE
STATE OF OKLAHOMA
01/19/2018
PROJECT

TRACTOR BOB
9701 Northwest Expressway
73099

Issues /
Revisions
Date | Description

100% ISSUE TO
OWNER 01/18/2018

SHEET
TITLE

DIMENSION AND
REFERENCE FLOOR
PLAN

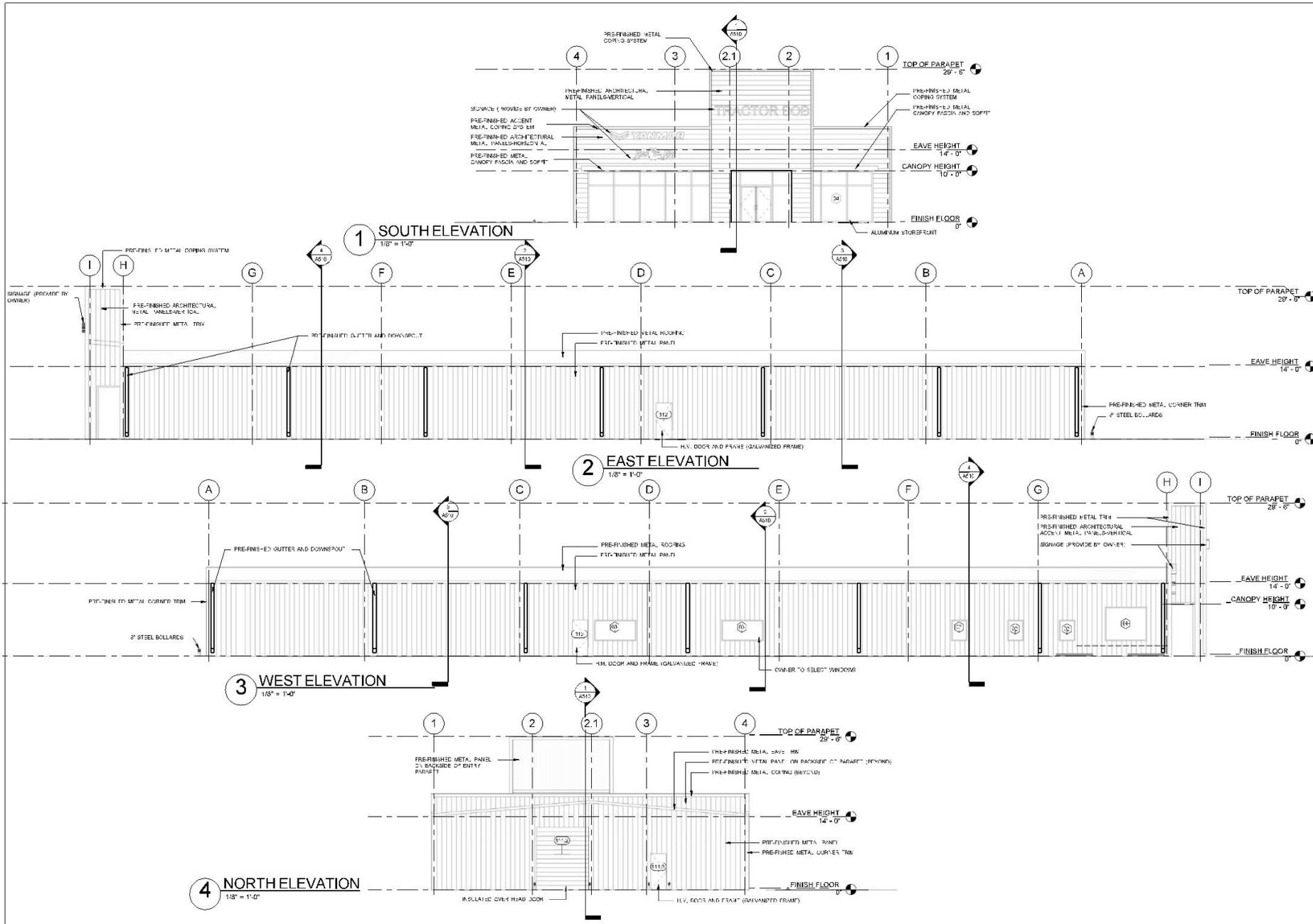
SHEET
NUMBER

A221

PROJECT
NUMBER

1720

All drawings 5/8" or less,
unless the architect certifies an
original scale of
"As Shown" shall be used
city for all drawings with their
written consent.



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ARCHITECTS SEAL

ANTHONY DAVID ROBERTS
REGISTERED ARCHITECT
STATE OF OKLAHOMA
0118/2018
PROJECT

TRACTOR BOB
9701 Northwest Expressway
73099

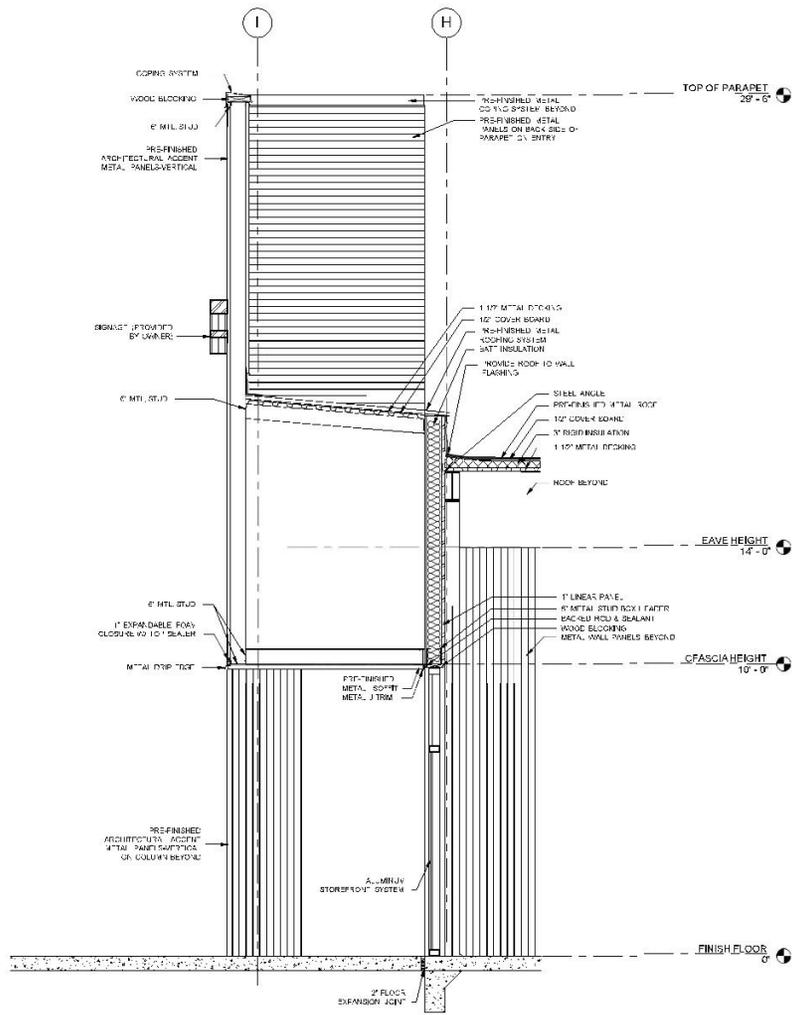
Issues / Revisions	Date / Description
100% ISSUE TO OWNER	01/18/2018

SHEET TITLE
BUILDING ELEVATIONS

SHEET NUMBER
A310

PROJECT NUMBER
1720

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1 BUILDING SECTION 1 - Callout 1
 1/2" = 1'-0"

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ARCHITECTS
 SEAL



PROJECT

TRACTOR BOB
 9701 Northwest Expressway
 73099

Issues / Revisions	Date	Description

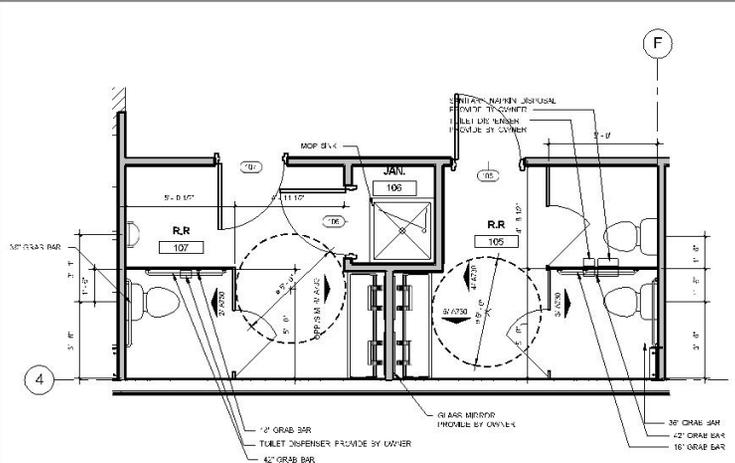
100% ISSUE TO OWNER 01/18/2018

SHEET TITLE
 WALL SECTIONS

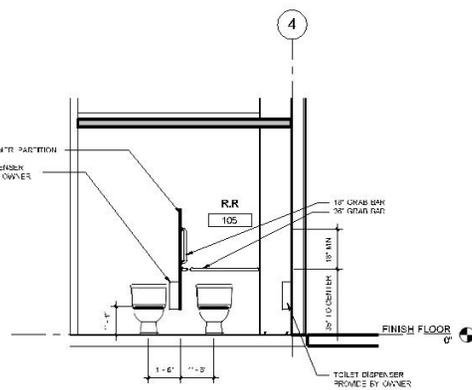
SHEET NUMBER
A520

PROJECT NUMBER
 1720

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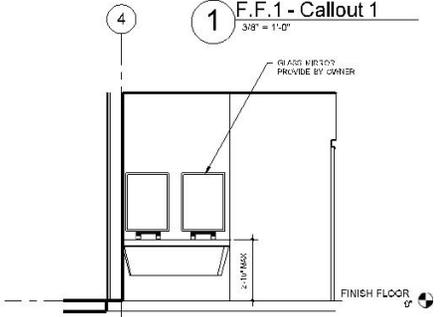


2 Elevation 9 - a
3/8" = 1'-0"

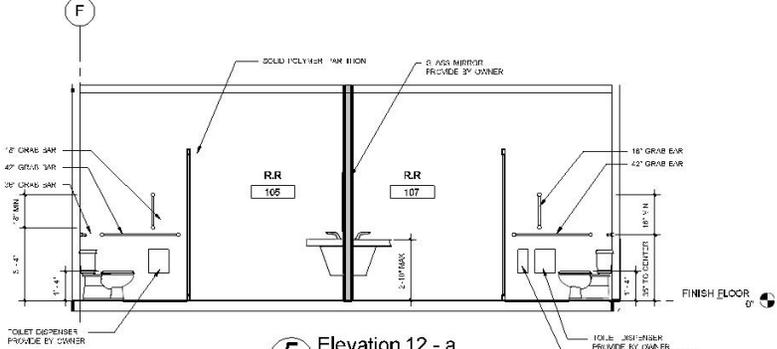


3 Elevation 10 - a
3/8" = 1'-0"

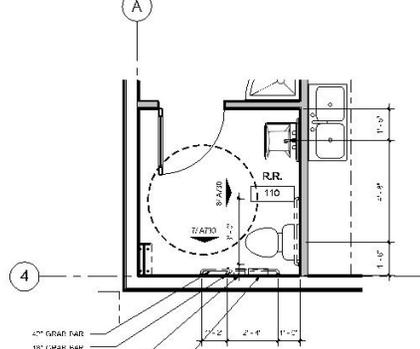
1 F.F. 1 - Callout 1
3/8" = 1'-0"



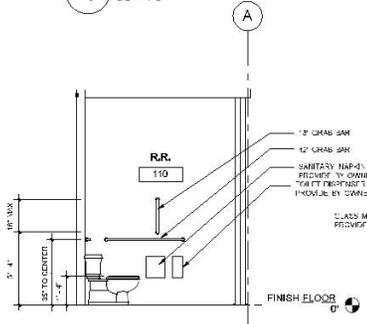
4 Elevation 11 - a
3/8" = 1'-0"



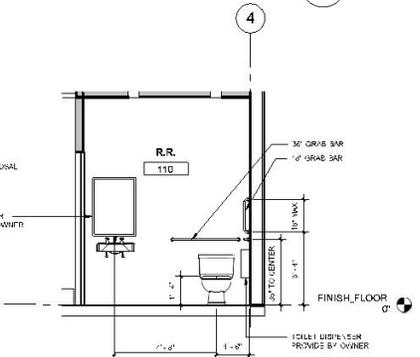
5 Elevation 12 - a
3/8" = 1'-0"



6 F.F. 1 - Callout 2
3/8" = 1'-0"



7 Elevation 13 - a
3/8" = 1'-0"



8 Elevation 14 - a
3/8" = 1'-0"

415 Broadway
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Oklahoma 73102

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ARCHITECTS
SEAL

ANTHONY DAVID WOODRUFF
REGISTERED ARCHITECT
NO. 10000
STATE OF OKLAHOMA

01/18/2018
PROJECT

TRACTOR BOB
9701 Northwest Expressway
73099

Issues / Revisions	Date	Description

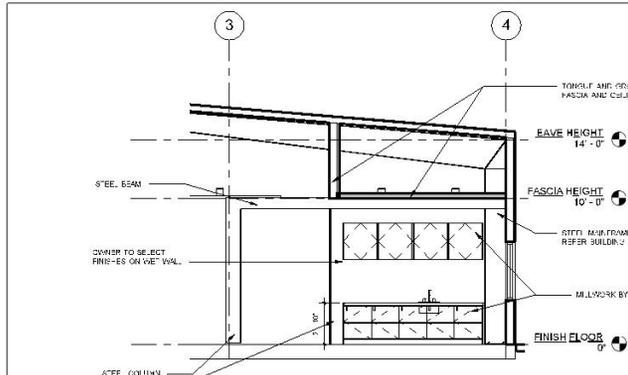
100% ISSUE TO OWNER 01/18/2018

SHEET TITLE
ENLARGED INTERIOR PLANS

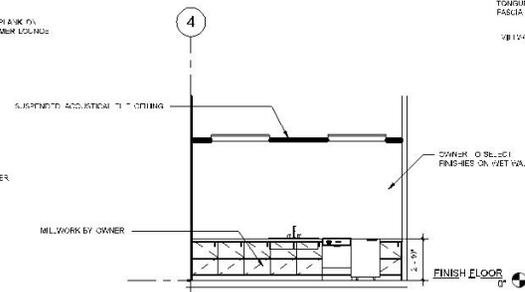
SHEET NUMBER
A730

PROJECT NUMBER
1720

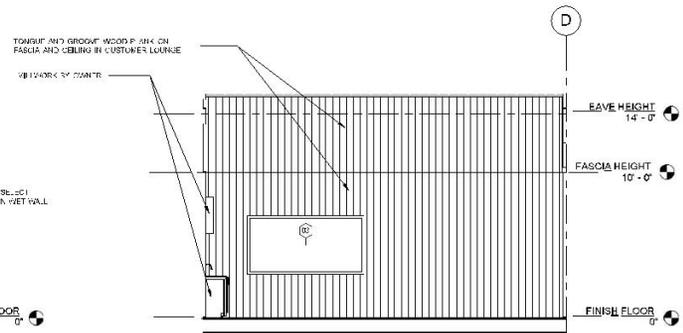
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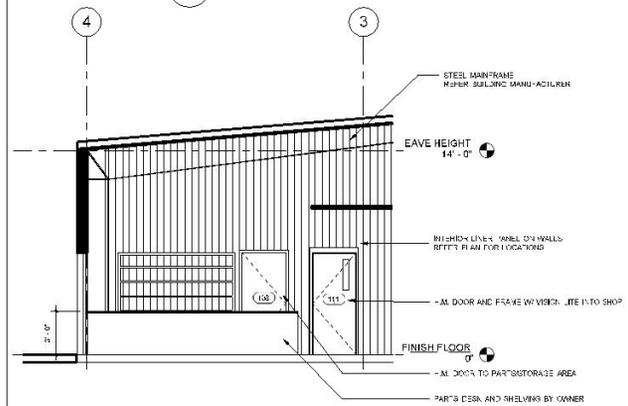
1 Elevation 1 - a / CUSTOMER LOUNGE
1/4" = 1'-0"



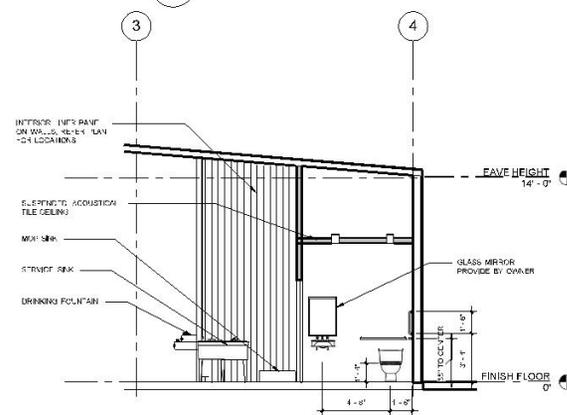
2 Elevation 2 - a / BREAK ROOM
1/4" = 1'-0"



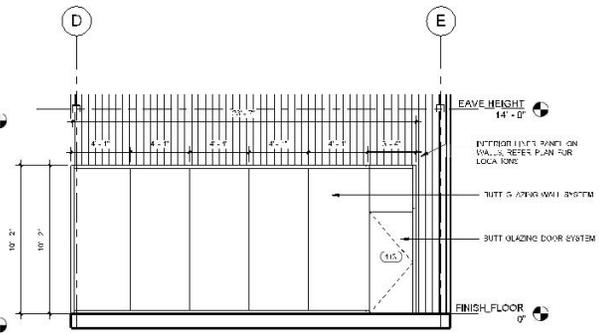
3 Elevation 3 - a / COUNTER LOUNGE
1/4" = 1'-0"



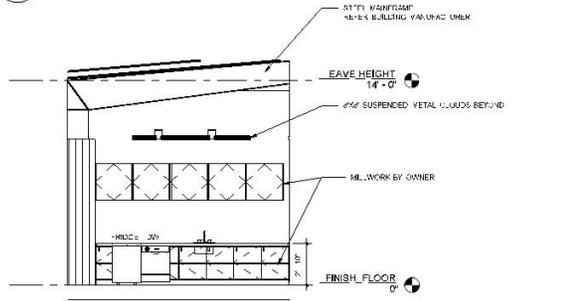
4 Elevation 4 - a / PARTS COUNTER
1/4" = 1'-0"



5 Elevation 5 - a / RESTROOM
1/4" = 1'-0"



6 Elevation 6 - a / CONFERENCE ROOM
1/4" = 1'-0"



7 Elevation 7 - a / CONFERENCE MILLWORK
1/4" = 1'-0"

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Oklahoma City
Oklahoma 73102

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ARCHITECTS
SEAL

01/18/2018
PROJECT

TRACTOR BOB
9701 Northwest Expressway
73099

Issues / Revisions	Date / Description

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SHEET TITLE
INTERIOR ELEVATIONS

SHEET NUMBER
A740

PROJECT NUMBER
1720

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